

**AGENDA  
BOARD OF ZONING APPEALS  
CITY OF LAKEWOOD  
12650 DETROIT AVENUE  
MARCH 16, 2023**

**PRE-REVIEW MEETING  
6:00 P.M.  
EAST CONFERENCE ROOM**

**REVIEW MEETING  
6:30 P.M.**

- 1. ROLL CALL**
- 2. APPROVE MINUTES OF THE FEBRUARY 16, 2023 MEETING**
- 3. OPENING REMARKS**

**OLD BUSINESS**

- 4. Docket No. 12-32-22\***  
**1655 Roosevelt Ave.**

Applicant homeowner Christopher Walling proposes the construction of a new garage on the site of a previously demolished garage. The proposed garage has a calculated height of 17 feet, permitted maximum is 15 feet. The property is in the R1H, Single Family High-Density Residential District. (Page 3)

- Variance 1: Request a variance to exceed the maximum permitted height of an accessory structure. The maximum permitted accessory structure height is 15 feet calculated. The proposed garage height is calculated at 17 feet. Request a variance to exceed the permitted maximum height by 2 feet, as proposed. Pursuant to section 1121.05(b) Height Regulations (Ord. 91-95. Passed 10-7-1996.)
- Variance 2: Request a variance to reduce the minimum required side yard setback of an accessory structure. The permitted minimum setback for a wood structure is 18 inches. Request a variance to reduce the side setback of the garage on the south side to 12 inches, as proposed. Pursuant to section 1121.10(a) (Ord. 32-16. Passed 9-6-2016.)

\*The applicant has requested a deferral from the March 16, 2023 meeting.

- 5. Docket No. 02-02-23**  
**2183 Eldred Ave.**

Applicant Susan Broadwater of Beegan Architecture for property owner Daniel Boich proposes the construction of a new garage. The proposed garage has a calculated height of 17 feet, permitted maximum is 15 feet. The property is in the R1H, Single Family High-Density Residential District. (Page 4)

- Variance 1: Request a variance to exceed the maximum permitted height of an accessory structure. The maximum permitted accessory structure height is 15 feet calculated. The proposed garage height

is calculated at 16 feet 4 inches. Request a variance to exceed the permitted maximum height by 1 foot 4 inches feet, as proposed. Pursuant to section 1121.05(b) Height Regulations (Ord. 91-95. Passed 10-7-1996.)

## **NEW BUSINESS**

### **6. Docket No. 03-04-23 1209 Westlake Ave.**

Applicant and property owner Armand Borick proposes the construction of a 173 sq ft. single-story addition on the back of the house. The proposal will increase the lot coverage to 30% of the lot, where 25% is permitted, and reduce the rear setback to 34 feet 5 inches, where 40 feet is required. Property is located in the R2 Single- and Two-Family Residential District. (Page 11)

- Variance 1: Request a variance to exceed the maximum permitted lot coverage of a primary structure. Maximum permitted primary lot coverage is 25%. The proposed 173 sq foot single story addition will increase the lot coverage to a total of 1,052 square feet which is 30% on the 3,500 sq foot lot. Request a variance to exceed primary lot coverage by 5%. Pursuant to section 1123.09(a) Maximum Lot Area Coverage Regulations (Ord. 91-95. Passed 10-7-1996.)
- Variance 2: Request a variance to reduce the rear yard setback of a primary structure. Required primary structure setback from the rear property line is 40 feet, the proposed single story 173 sq ft addition will reduce the setback on the 3,500 sq ft lot to 34 feet and 5 inches. Request a variance to reduce the required rear setback by 5 feet 7 inches as proposed, pursuant to Schedule 1123.07 Minimum Yard Requirements (Ord. 91-95. Passed 10-7-1996.)

## **ADJOURN**

*"Individuals with disabilities who require accommodations for participation in meetings must request accommodations at least 3 business days ahead of the scheduled meeting. Contact Michelle Nochta at (216) 529-5906 [michelle.nochta@lakewoodoh.net](mailto:michelle.nochta@lakewoodoh.net)."*



BOARD OF ZONING APPEALS

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www.lakewoodoh.gov

## Application Cover Page

**Docket No.: 12-32-22\***

**Reference No.: BZA22-000052, BZA23-000004**

**Applicant Name: Christopher Walling**

**Project Address: 1655 Roosevelt Ave.**

**Project Name:**

**Proposal: The construction of a new garage on the previously demolished garage site. The proposed garage has a calculated height of 17 feet, permitted maximum is 15 feet. The property is in the R1H, Single Family High-Density District.**

**\*This item has been deferred from the March 16, 2023 meeting.**



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## Application Cover Page

**Docket No.: 02-03-23**

**Reference No.: BZA23-000002**

**Applicant Name: Susan Broadwater, Beegan Architecture**

**Project Address: 2183 Eldred Ave.**

**Project Name:**

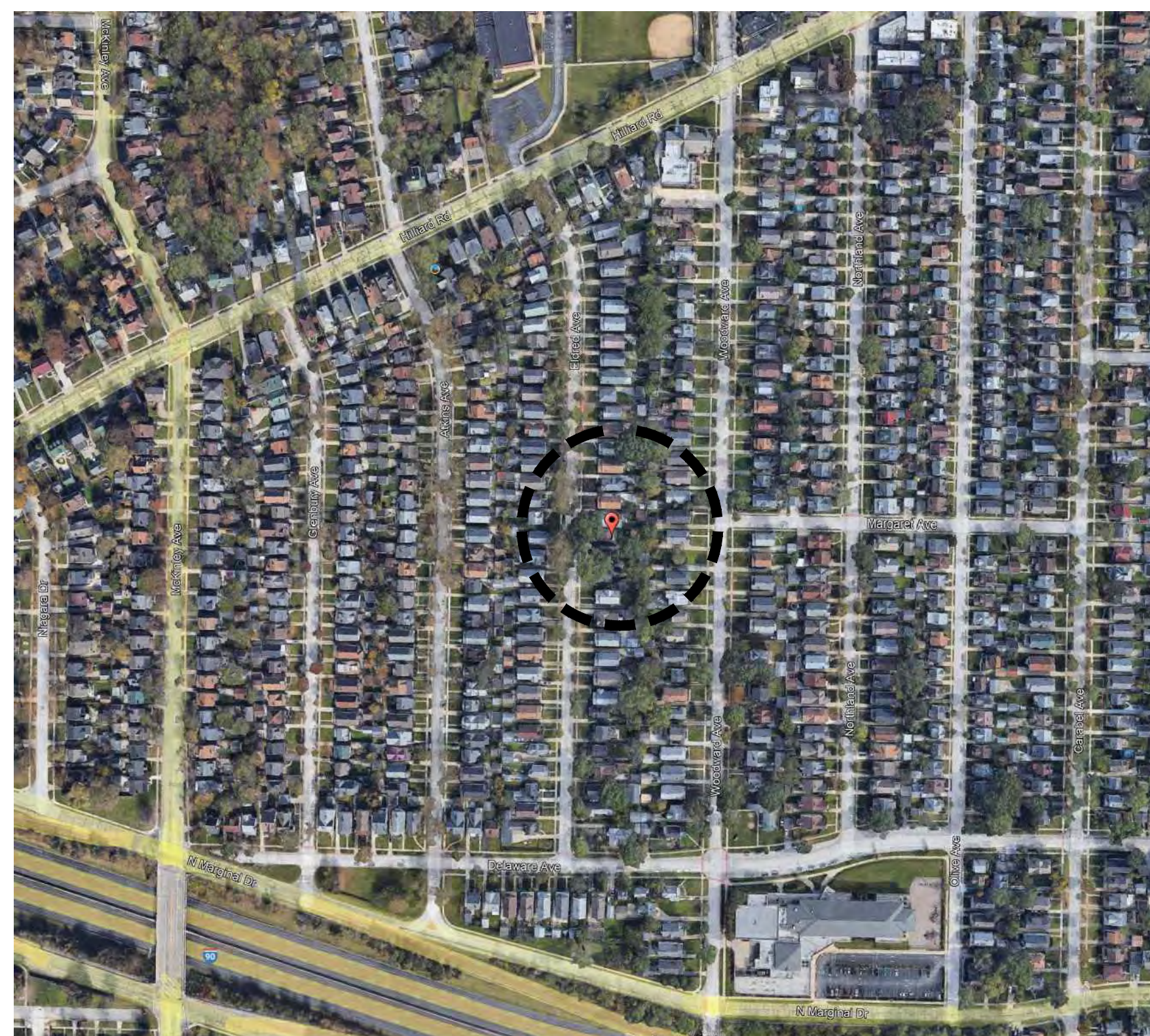
**Proposal: The construction of a new garage. The proposed garage has a calculated height of 17 feet, permitted maximum is 15 feet. The property is in the R1H, Single Family High-Density District.**

# 2183 Eldred Avenue

ISSUE	DATE	DESCRIPTION
1	09.23.22	plan review and permit
2	03.01.23	revisions

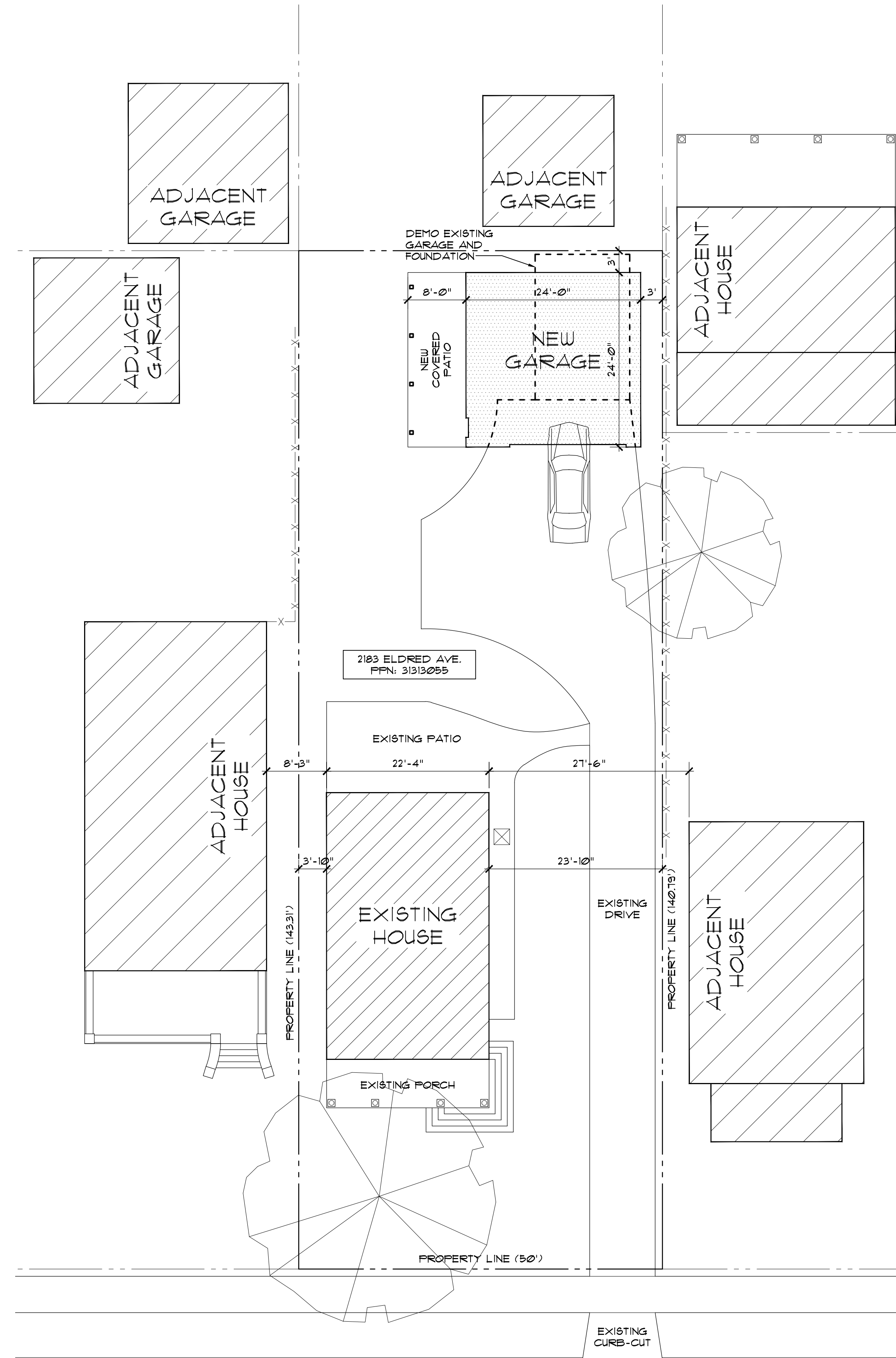
<b>PROJECT DESCRIPTION:</b>	
<b>A. ARCHITECTURAL:</b>	NEW SLAB AND FRAMING OF NEW GARAGE
WALL SYSTEM:	NEW WOOD FRAMING W/ BATT INSULATION
FOUNDATION SYSTEM:	NEW CONCRETE FOUNDATION AND FOOTERS
FLOOR SYSTEM:	NEW WOOD FLOOR JOISTS AND SUBFLOOR
ROOF SYSTEM:	NEW ASPHALT SHINGLES ON FLYWOOD SHEATHING
<b>B. STRUCTURAL:</b>	NEW WOOD FRAMING 4 LVL BEAMS
<b>C. MECHANICAL:</b>	NEW HVAC SYSTEM - AIR HANDLER, CONDENSER, AND DUCTWORK
<b>D. PLUMBING:</b>	TIE NEW DOWNSPOUTS INTO EXISTING STORM WATER LEAD AND NEW FLOOR DRAIN INTO EXISTING SANITARY SYSTEM
<b>E. ELECTRICAL:</b>	NEW WIRING INCLUDING LIGHTS, OUTLETS, AND SWITCHES ON NEW ELECTRICAL PANEL, NEW SERVICE FOR RESIDENTIAL USE
<b>SITE INFORMATION:</b>	
PROPERTY LOCATION:	2183 ELDRED AVE. LAKEWOOD, OH 44107
ZONING DISTRICT:	RESIDENTIAL
SURROUNDING LAND USES:	RESIDENTIAL
PARCEL SIZE:	1000 SF (0.16 ACRES)
<b>BUILDING INFORMATION:</b>	
A. USE GROUP CLASSIFICATION:	RESIDENTIAL - 1 FAMILY PLATTED LOT
B. CONSTRUCTION CLASS	YB, UNPROTECTED, NONCOMBUSTIBLE / COMBUSTIBLE
C. PROJECT AREA:	NEW GARAGE: 516 SF

<b>PROJECT SCOPE NOTES</b>		<b>DESIGN DATA</b>	
1.	ALL FINISH MATERIALS TO BE SELECTED BY OWNER. PROVIDE SAMPLES OF ALL FINISH MATERIALS FOR REVIEW AND APPROVAL BY OWNER.	FLOOR LIVE LOAD:	40 PSF
2.	NEW WINDOWS TO BE SELECTED BY OWNER.	ROOF LIVE LOAD:	30 PSF
3.	NEW PLUMBING SUPPLY AND WASTE TO TIE INTO EXISTING SUPPLY AND SANITARY. PROVIDE 1" HW & CW SUPPLY PIPING (PEX OR COPPER) WITH PVC WASTE CONNECTIONS (2" FOR SINKS, 3" FOR TOILETS, 4" FOR STACKS) WITH CLEANOUTS AS REQUIRED.	GROUND SNOW LOAD (Pg)	20 PSF
		SNOW EXPOSURE FACTOR (Ce)	1.0
		THERMAL FACTOR (Ct)	1.0
		SNOW IMPORTANCE FACTOR (Is)	1.0
		BASIC WIND SPEED (3 SEC. GUST)	115 MPH
		WIND IMPORTANCE FACTOR (Iw)	1.0
		WIND EXPOSURE CATEGORY	B



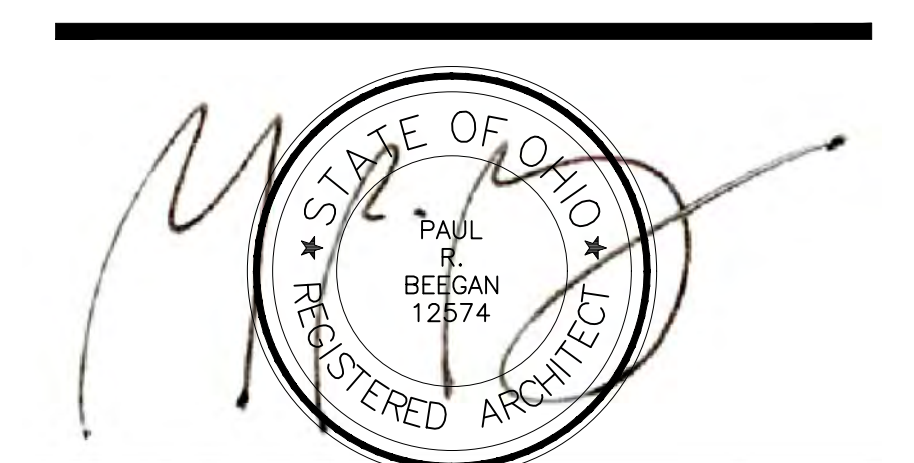
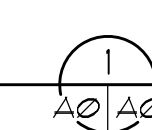
SITE LOCATION MAP

N.T.S.



SITE PLAN

1" = 10'



PAUL R. BEEGAN, LICENSE #12574  
EXPIRATION DATE: 12.31.2023

**BEEGAN**  
ARCHITECTURAL DESIGN

15703 MADISON AVENUE  
LAKEWOOD, OHIO 44107  
WWW.BEEGAN-AD.COM

216.521.9000 PHONE  
216.916.4591 FAX  
PAUL@BEEGAN-AD.COM

project no. 22-041

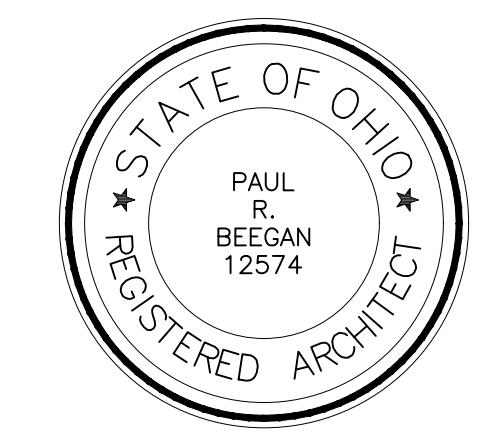
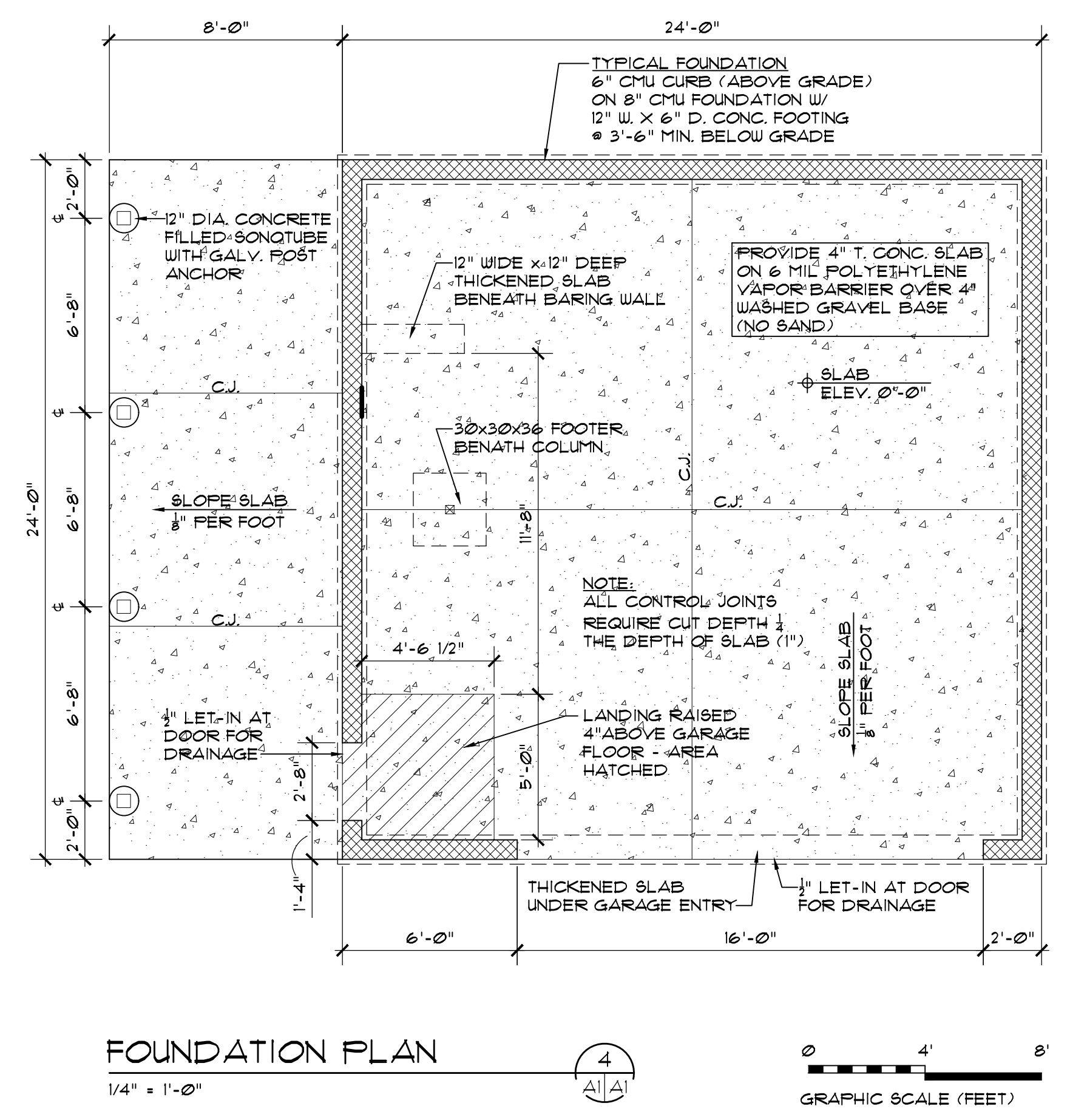
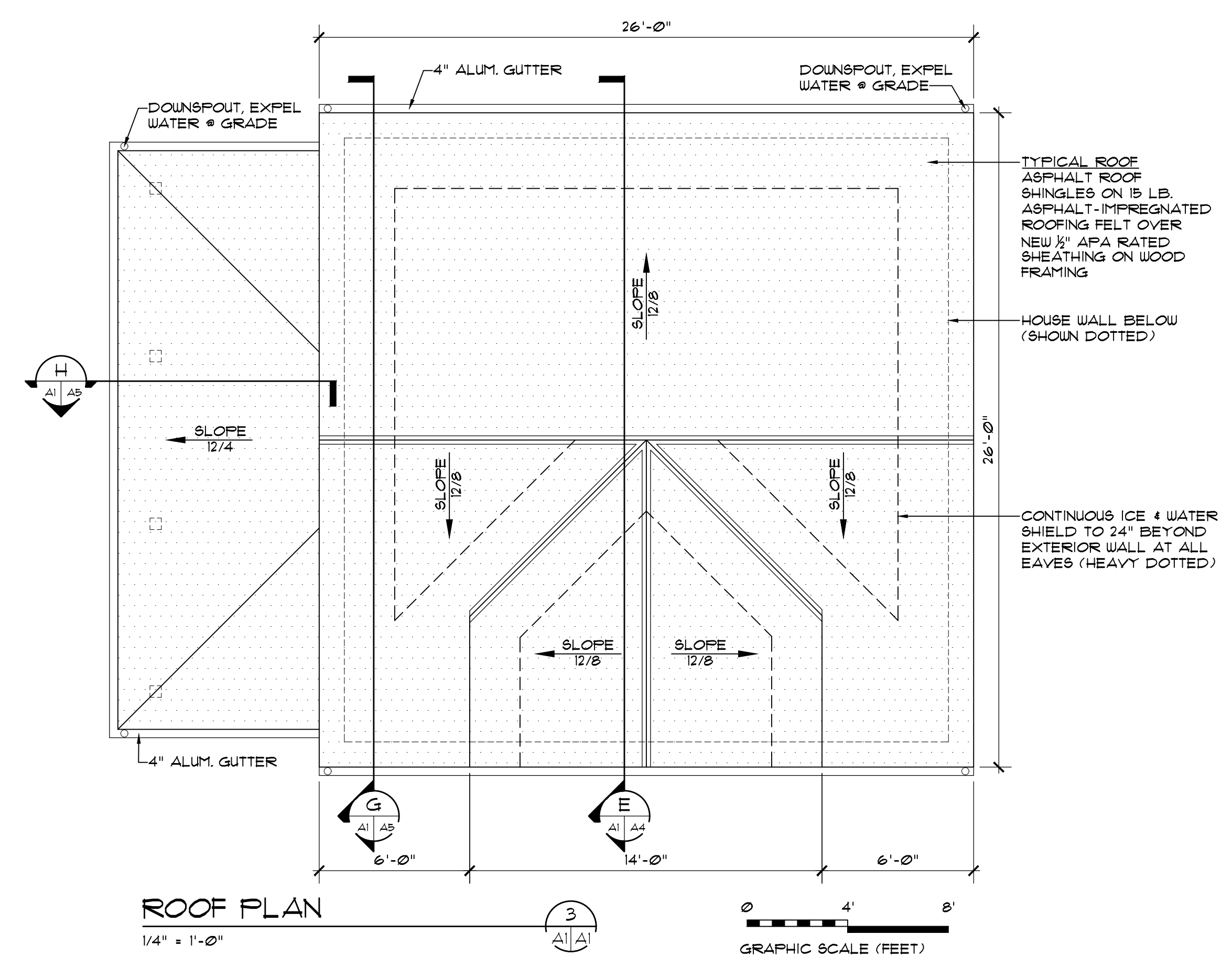
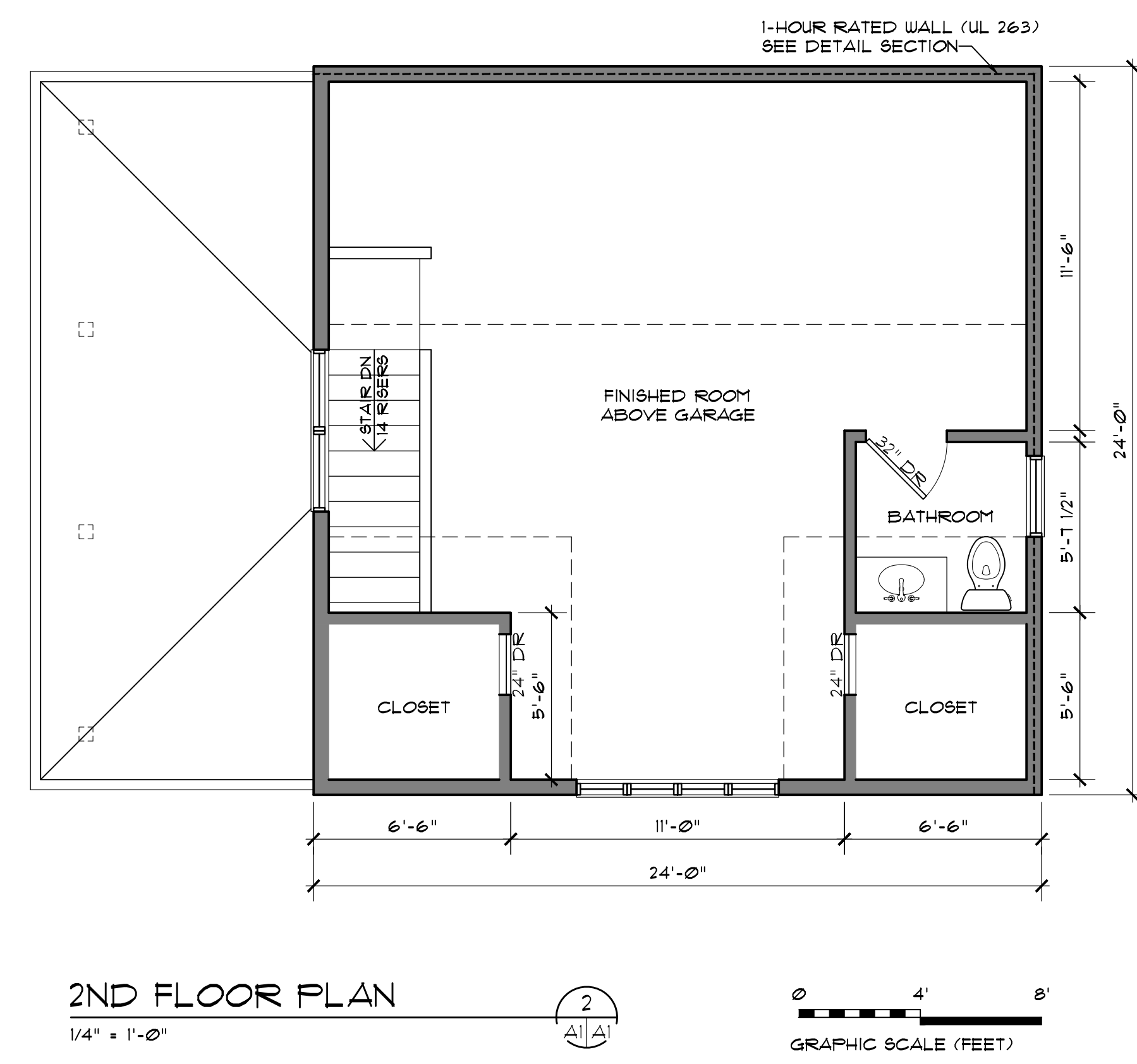
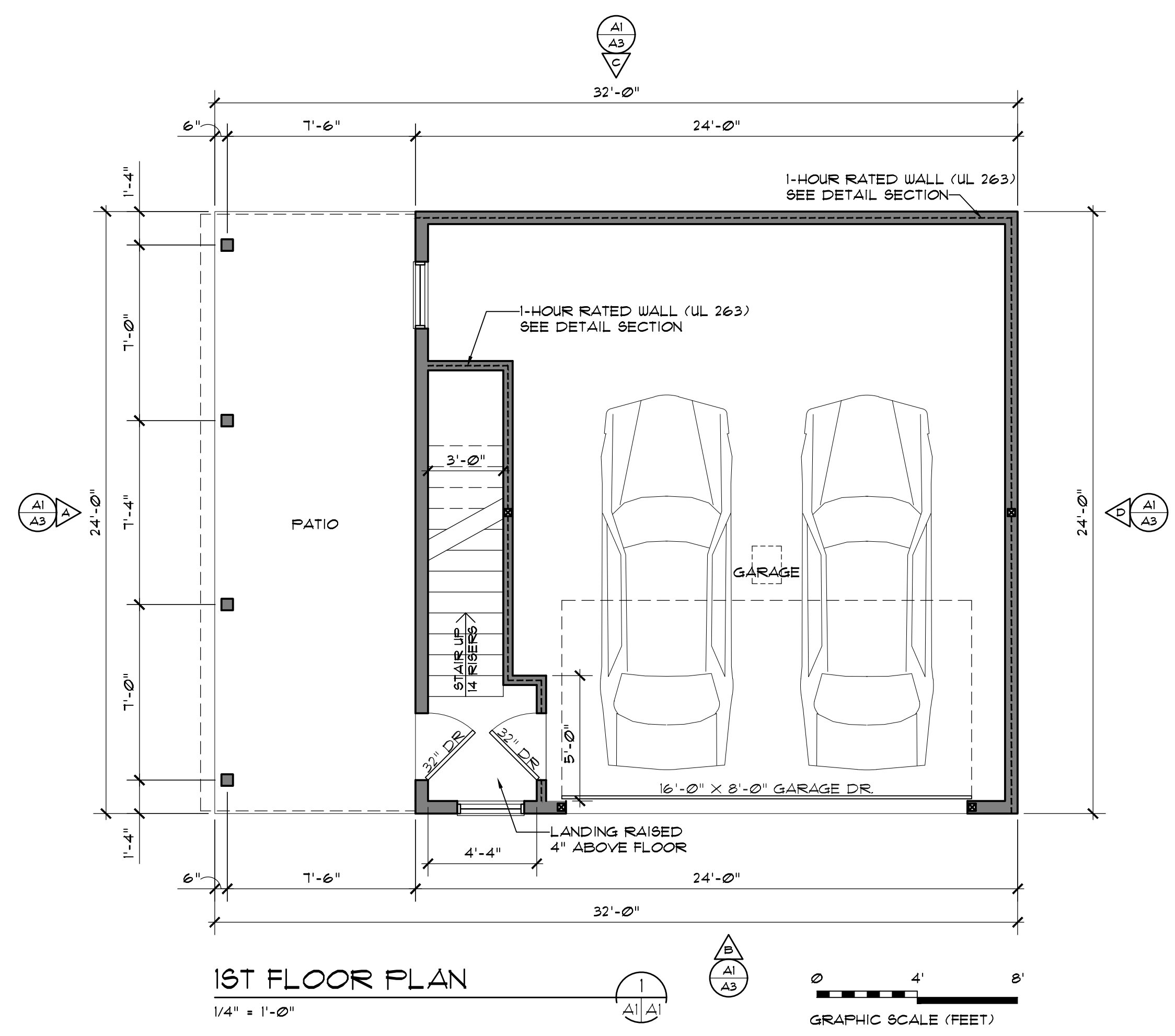
**Boich Residence**  
**New Garage**

2183 Eldred Avenue  
Lakewood, Ohio 44107

Architectural Site Plan

**A0**

ISSUE	DATE	DESCRIPTION
1	09.23.22	plan review and permit
2	03.01.23	revisions



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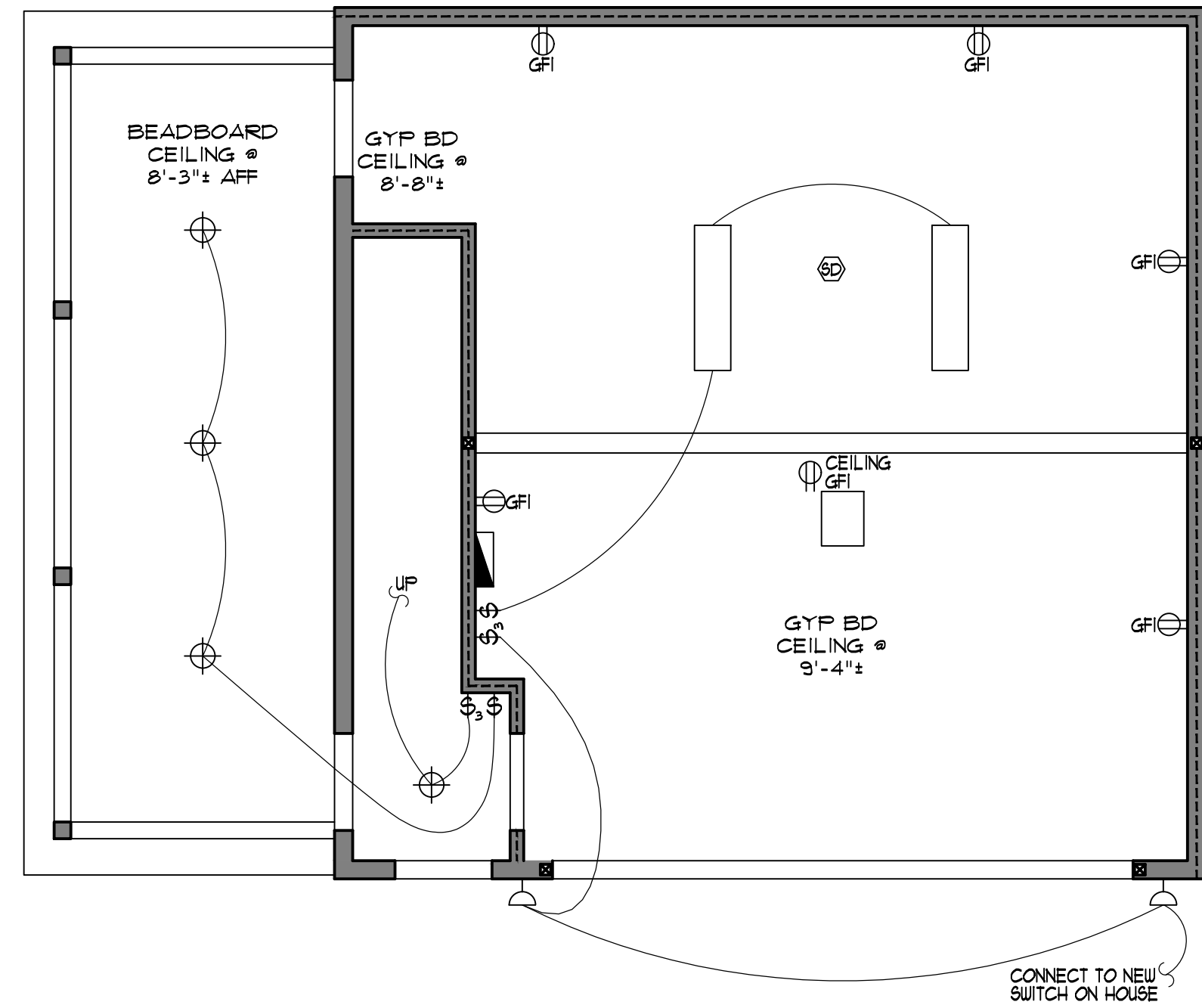
## Boich Residence New Garage

2183 eldred avenue  
lakewood, ohio 44107

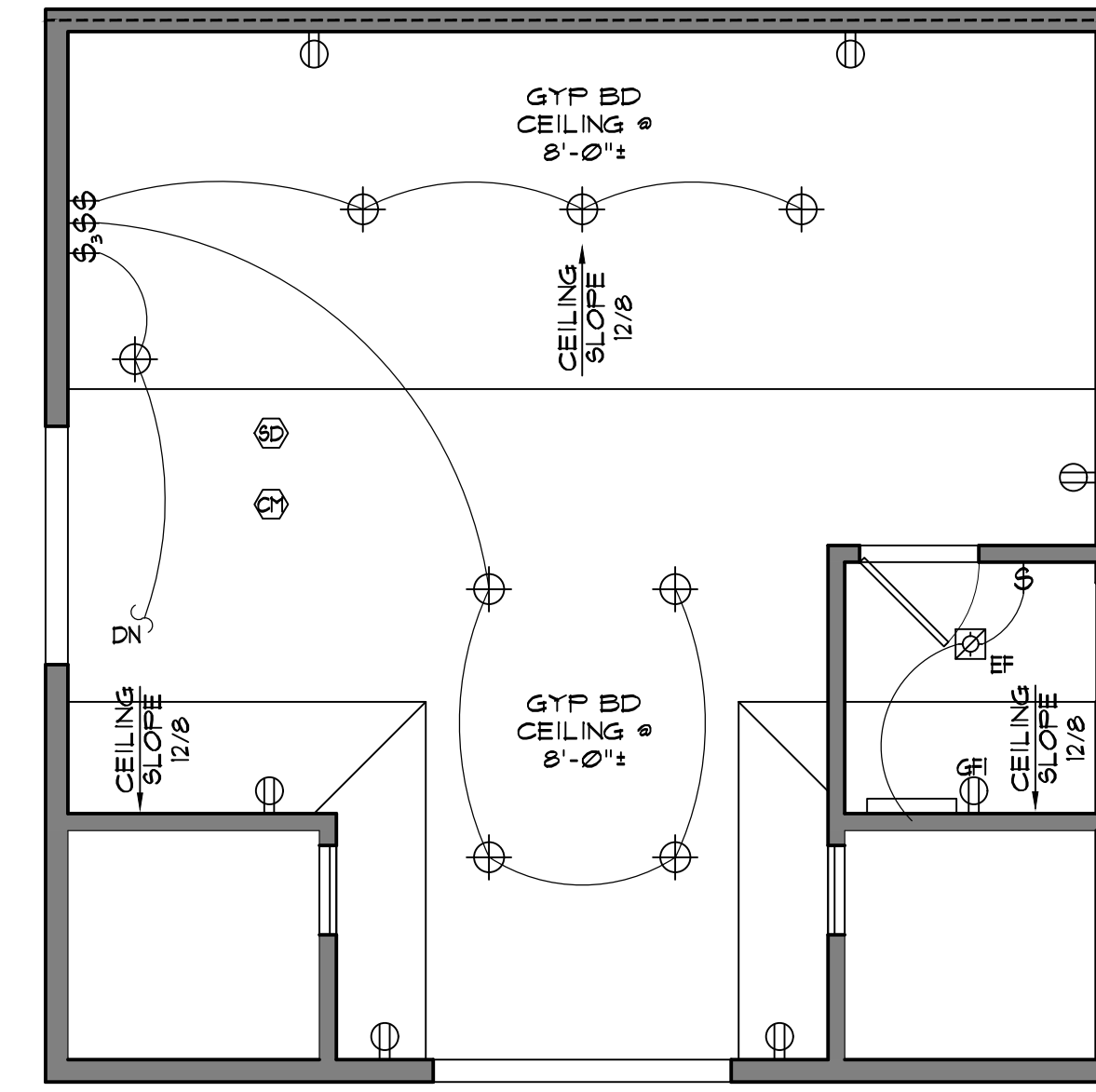
### Floor, Roof & Foundation Plans



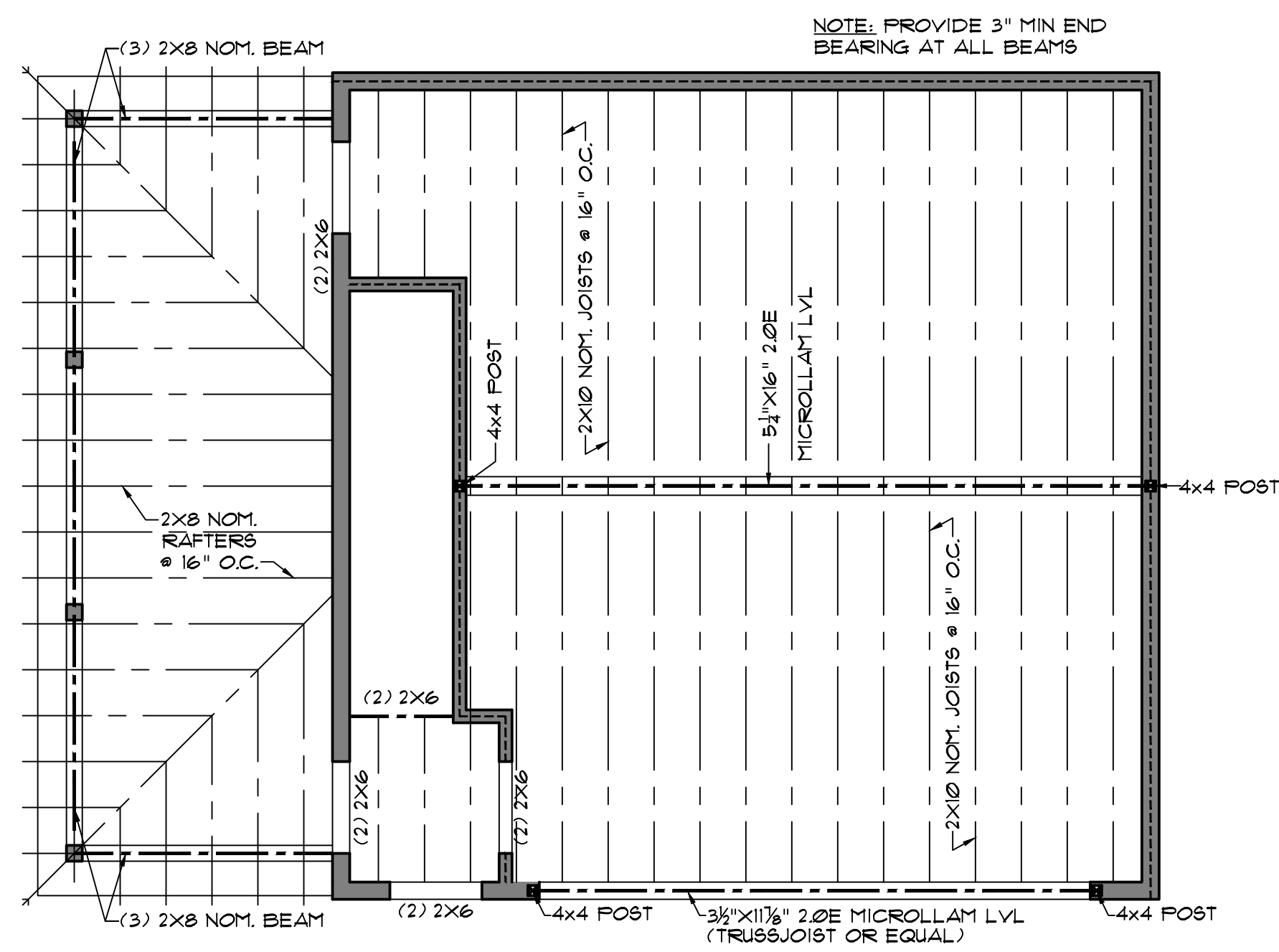
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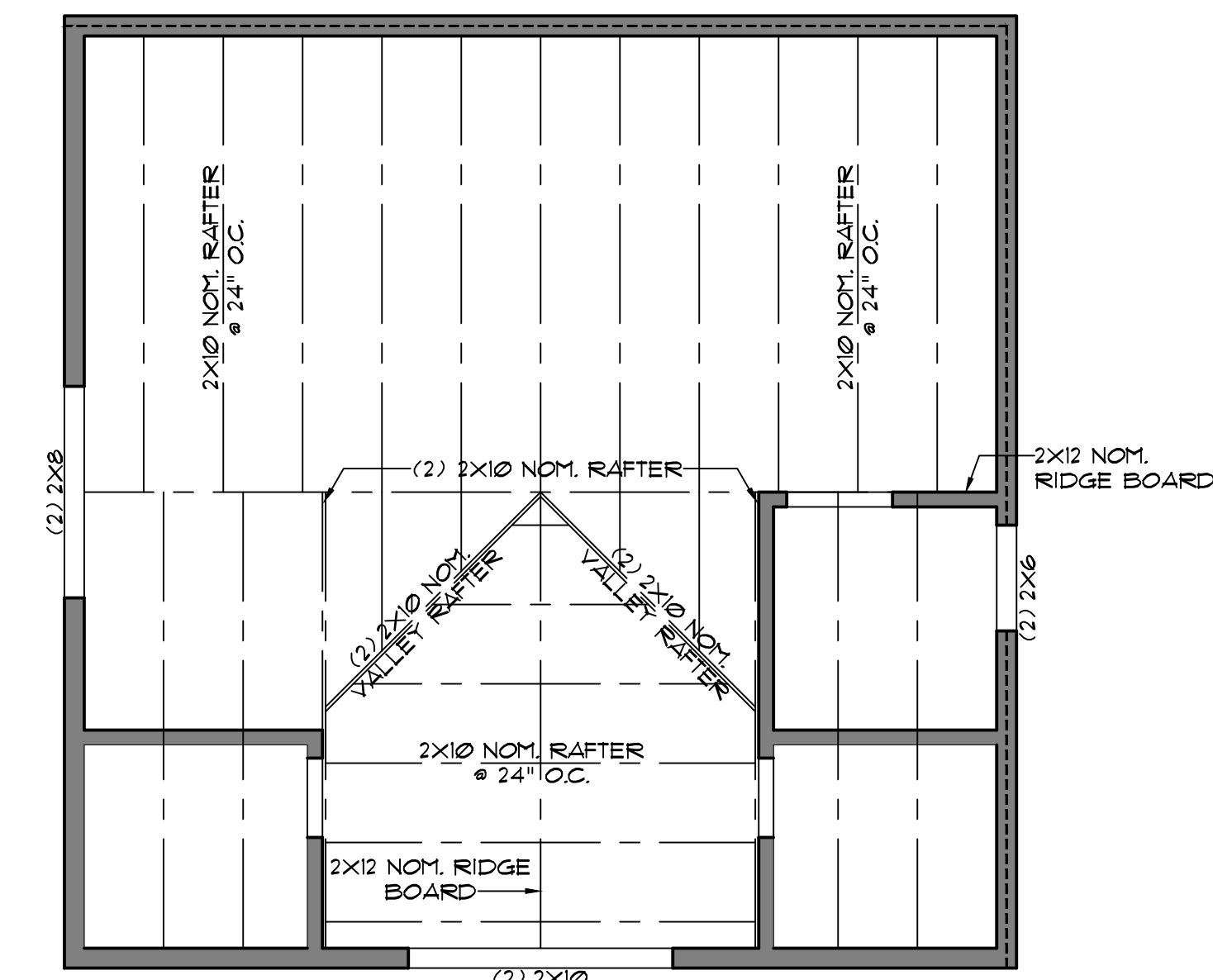
1ST FLOOR REFLECTED CEILING & ELECTRICAL LAYOUT PLAN  
 1/4" = 1'-0"  
 GRAPHIC SCALE (FEET)



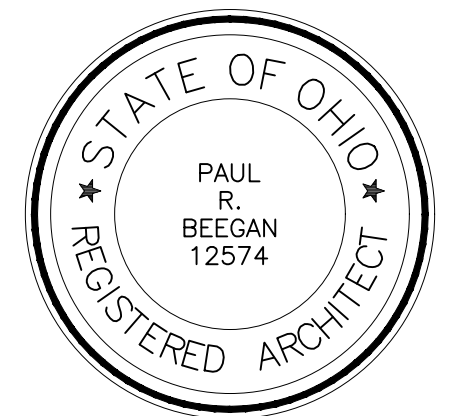
2ND FLOOR REFLECTED CEILING & ELECTRICAL LAYOUT PLAN  
 1/4" = 1'-0"  
 GRAPHIC SCALE (FEET)



1ST FLOOR FRAMING PLAN  
 1/4" = 1'-0"  
 GRAPHIC SCALE (FEET)



2ND FLOOR FRAMING PLAN  
 1/4" = 1'-0"  
 GRAPHIC SCALE (FEET)



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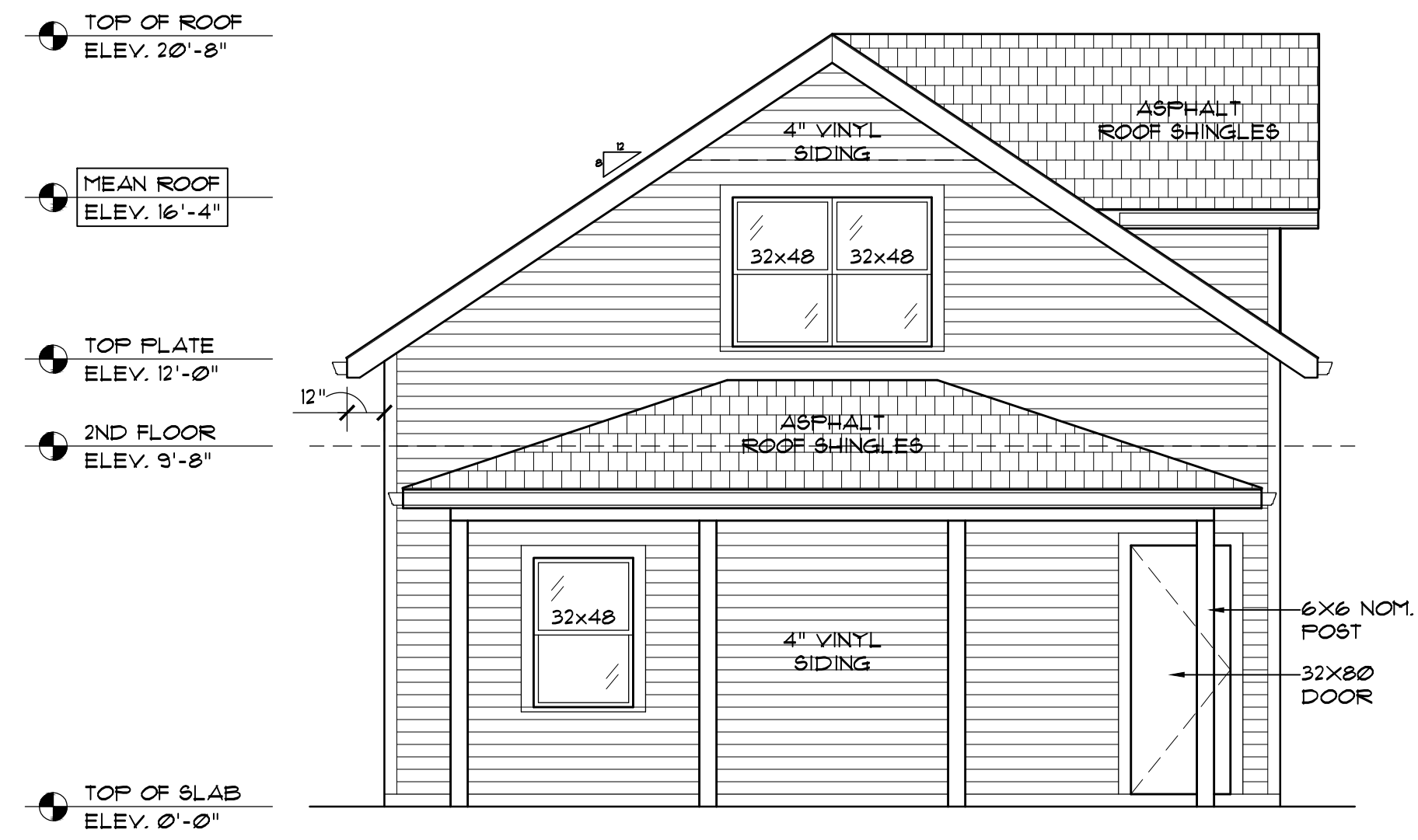
## Boich Residence New Garage

2183 eldred avenue  
 lakewood, ohio 44107

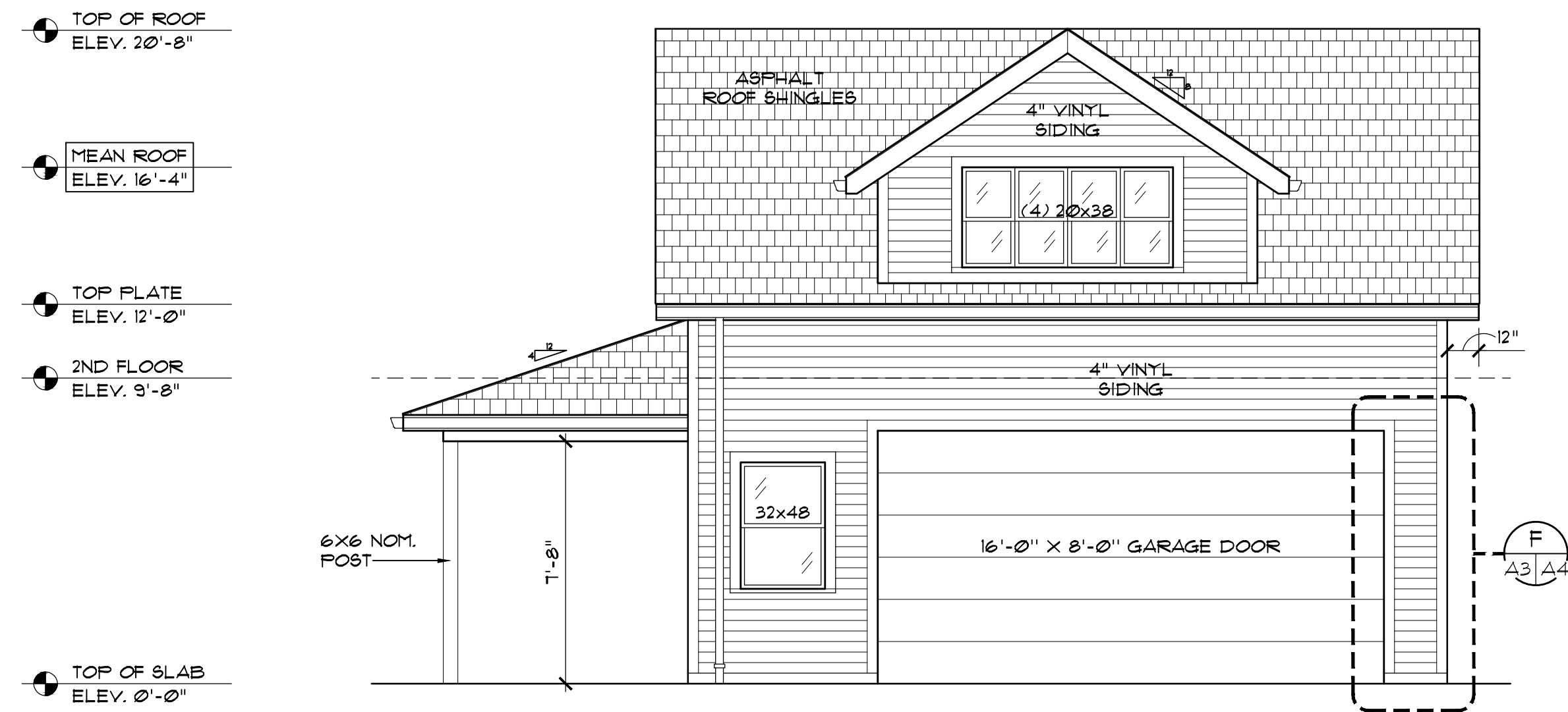
### Reflected Ceiling, Electrical Layout & Framing Plans

# A2

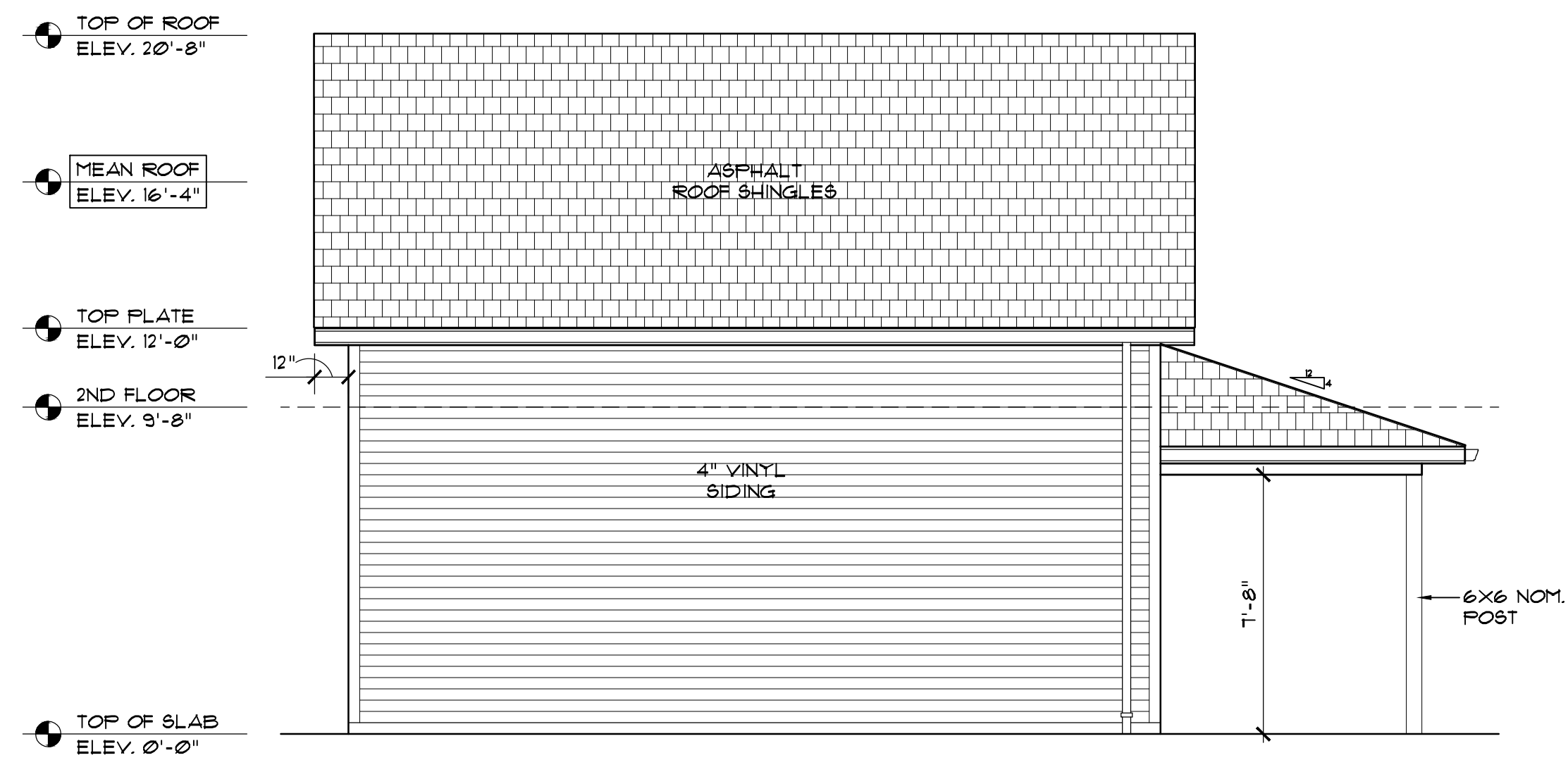
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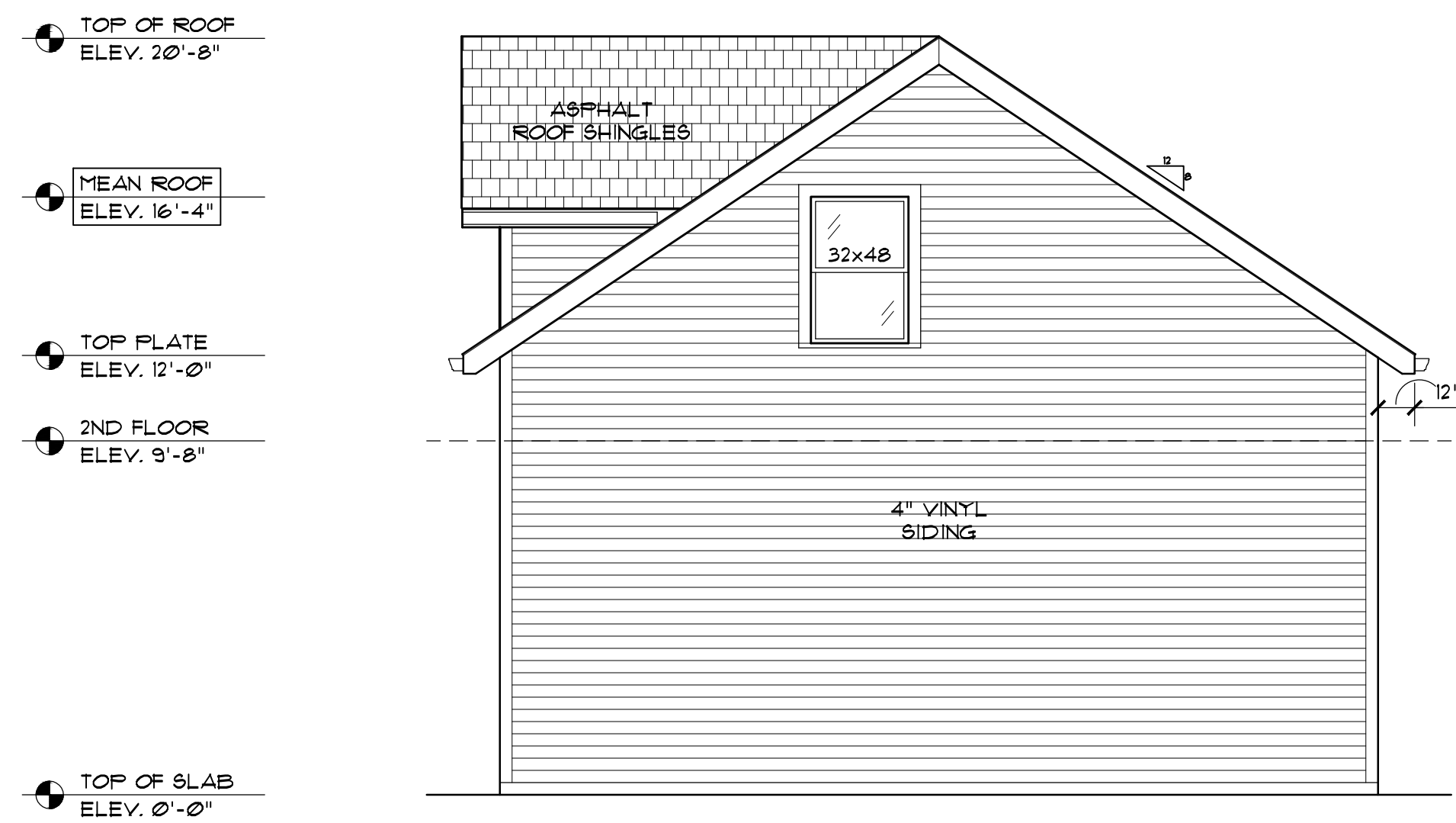
**LEFT ELEVATION**  
1/4" = 1'-0" A



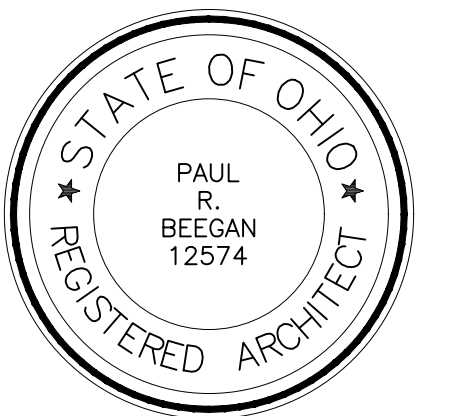
**FRONT ELEVATION**  
1/4" = 1'-0" B  
GRAPHIC SCALE (FEET)



**REAR ELEVATION**  
1/4" = 1'-0" C



**RIGHT ELEVATION**  
1/4" = 1'-0" D



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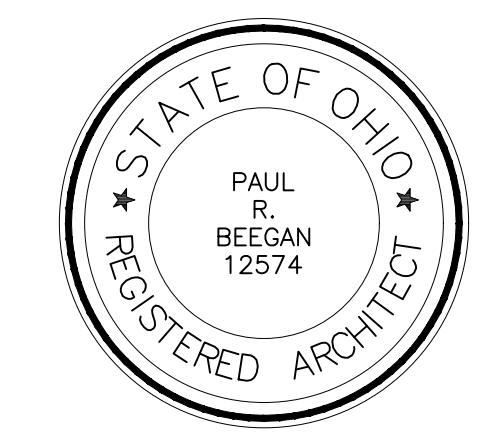
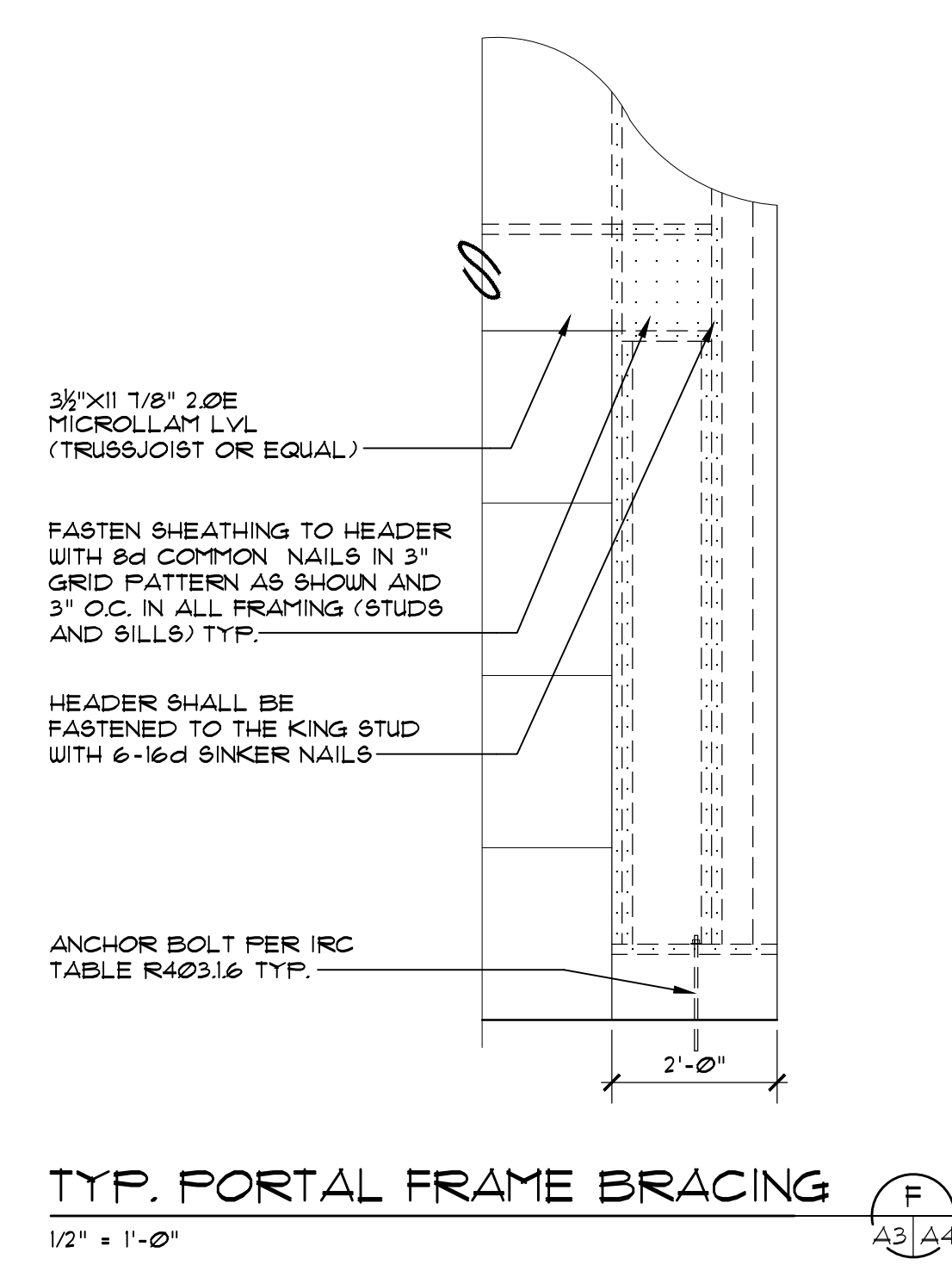
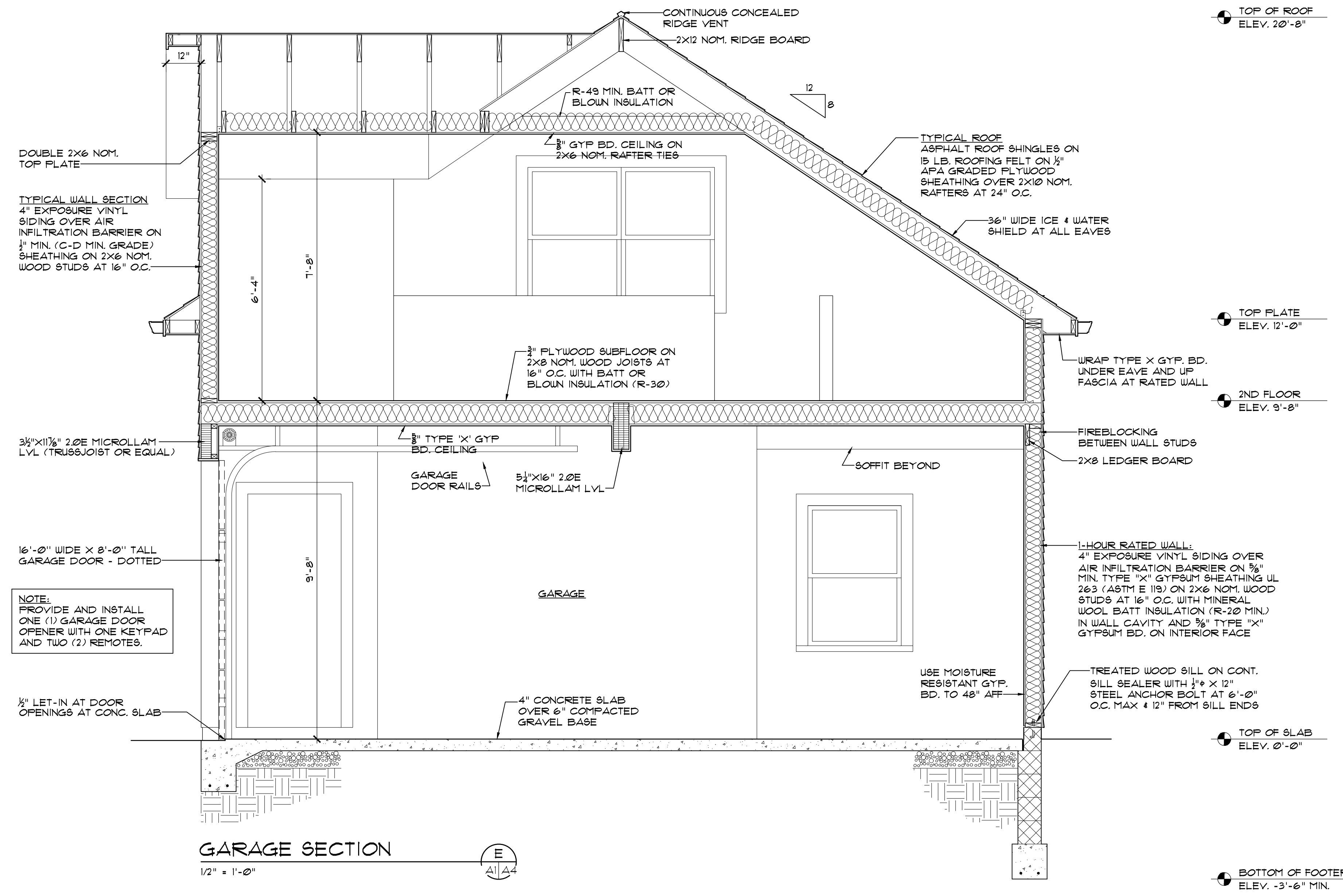
## Boich Residence New Garage

2183 eldred avenue  
lakewood, ohio 44107

### Exterior Elevations

# A3

ISSUE	DATE	DESCRIPTION
1	09.23.22	plan review and permit
2	03.01.23	revisions



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project no. 22-041

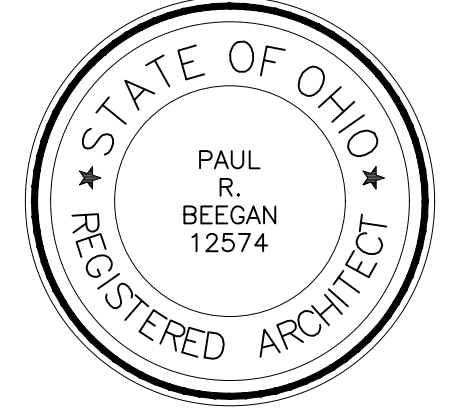
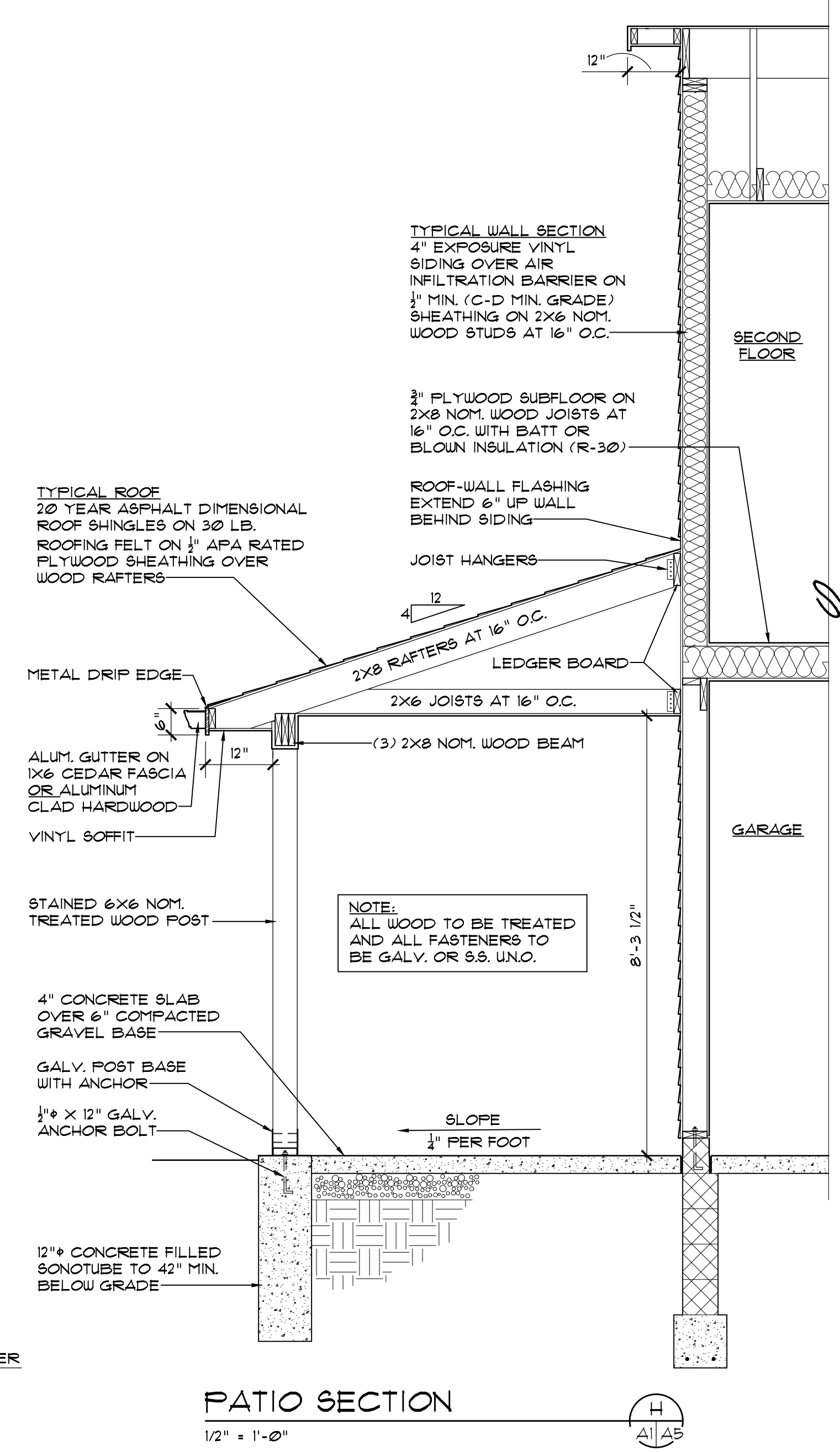
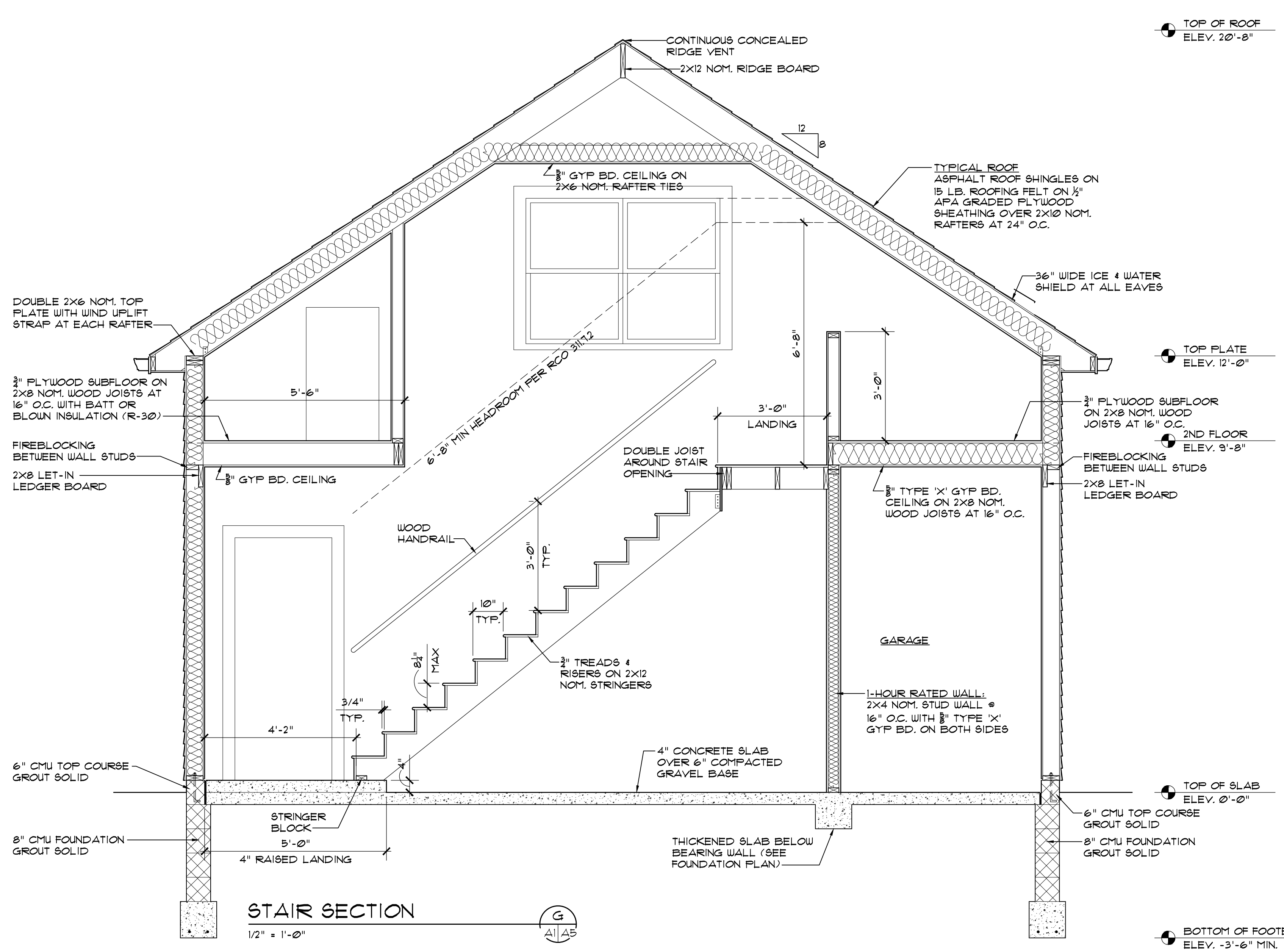
## Boich Residence New Garage

2183 eldred avenue  
lakewood, ohio 44107

### Detail Sections



ISSUE	DATE	DESCRIPTION
1	09.23.22 03.01.23	plan review and permit revisions



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EXPIRATION DATE: 12.31.2023

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project no. 22-041

## Boich Residence New Garage

2183 Eldred Avenue  
Lakewood, Ohio 44107

Detail Sections

# A5



BOARD OF ZONING APPEALS

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## Application Cover Page

**Docket No.: 03-04-23**


**Reference No.: BZA23-000006, BZA23-000008**

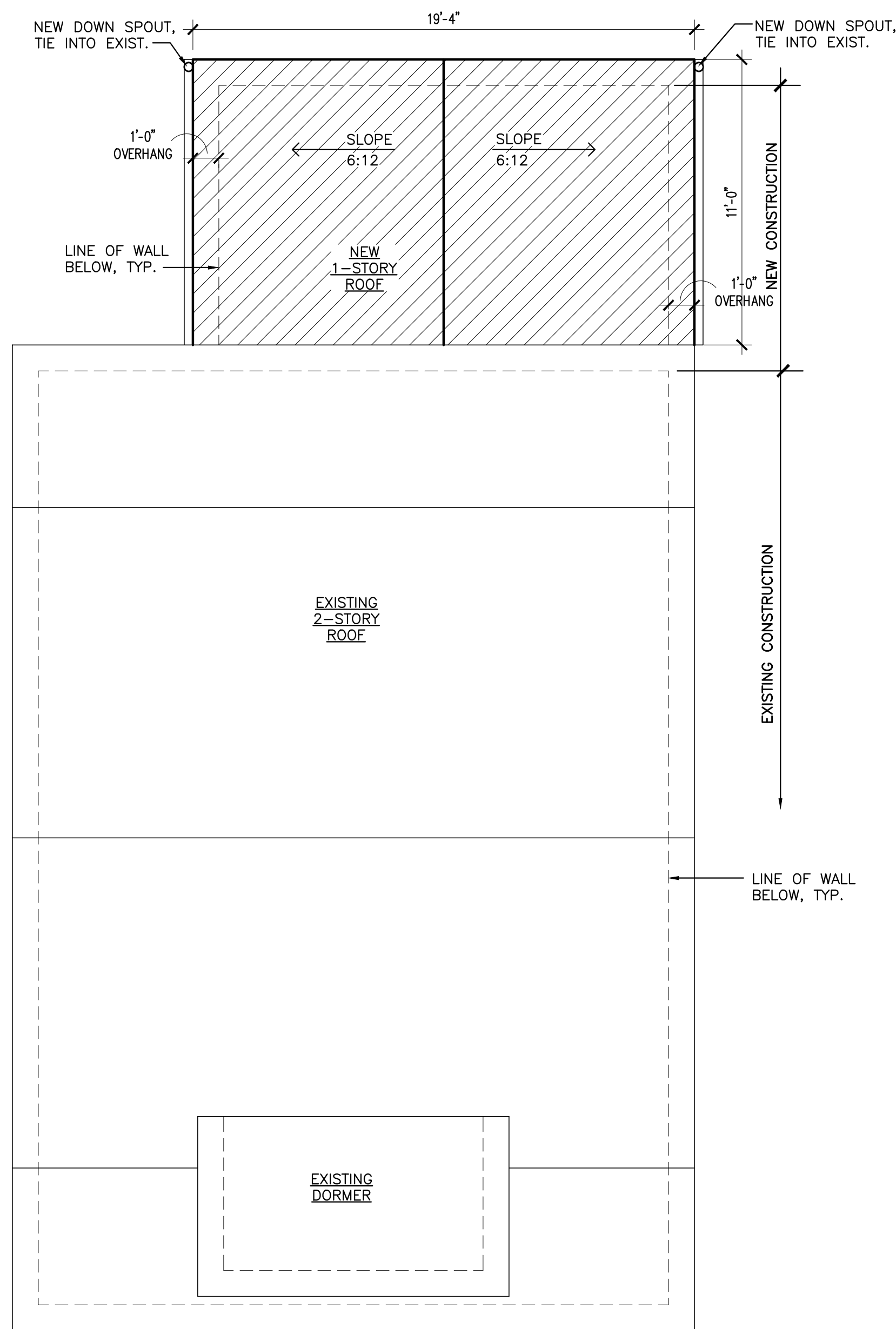
**Applicant Name: Armand Borick**

**Project Address: 1209 Westlake Ave.**

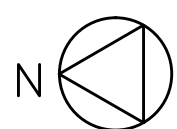
**Project Name:**

**Proposal: The construction of a 173 sq ft. single-story addition on the back of the house. The proposal will increase the lot coverage to 30% of the lot, where 25% is permitted, and reduce the rear setback to 34 feet 5 inches, where 40 feet is required. Property is located in the R2 Single- and Two-Family Residential District.**

- ROOF NOTES**
1. RUN ICE GUARD UNDERLAYMENT OVER ENTIRE ROOF
  2. MATCH EXISTING ASPHALT SHINGLES
  3. ALL FLASHING SHALL BE ALUMINUM, INSTALL PER MANUFACTURER'S RECOMMENDATIONS
-  = NEW ROOF



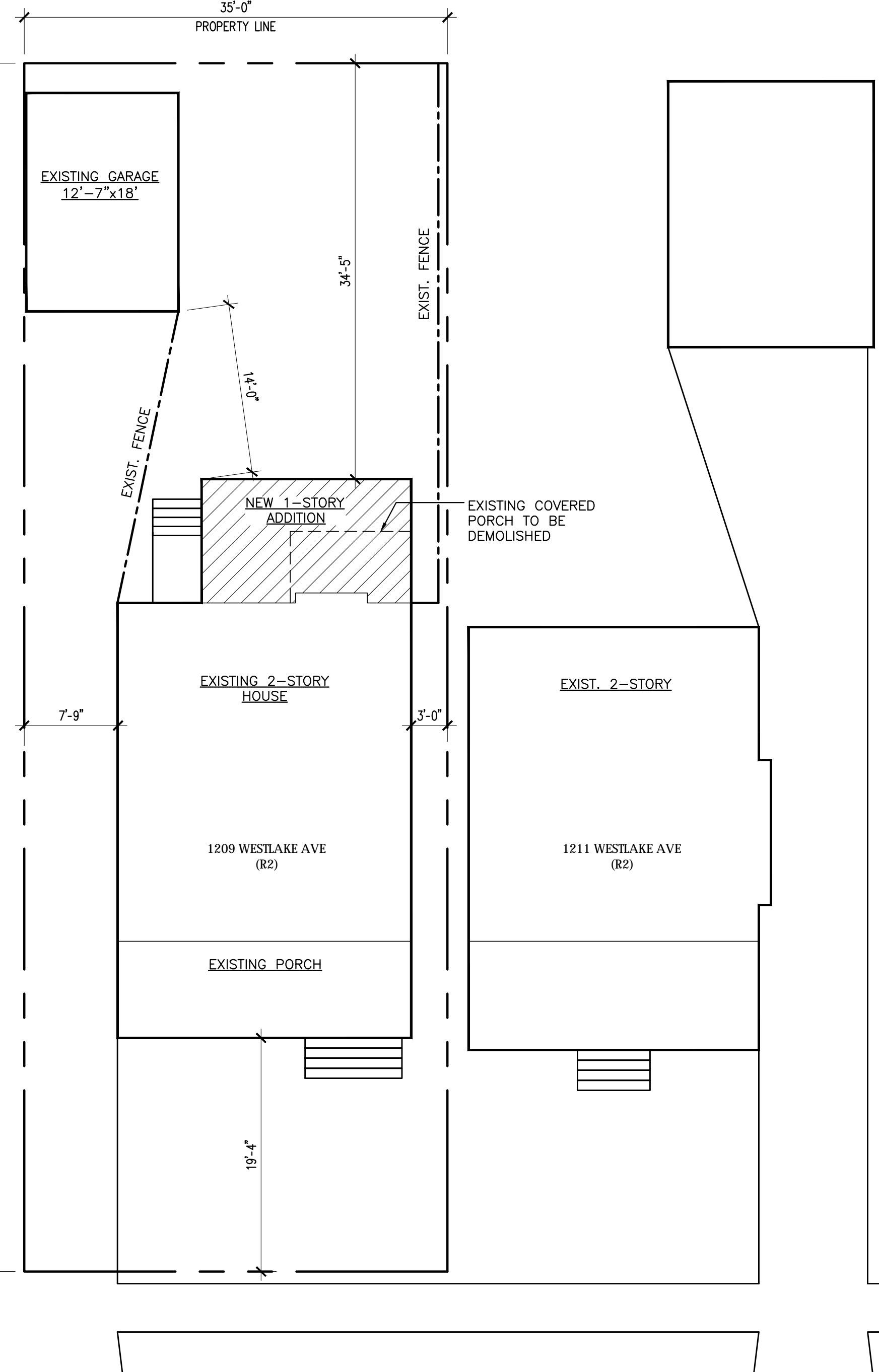
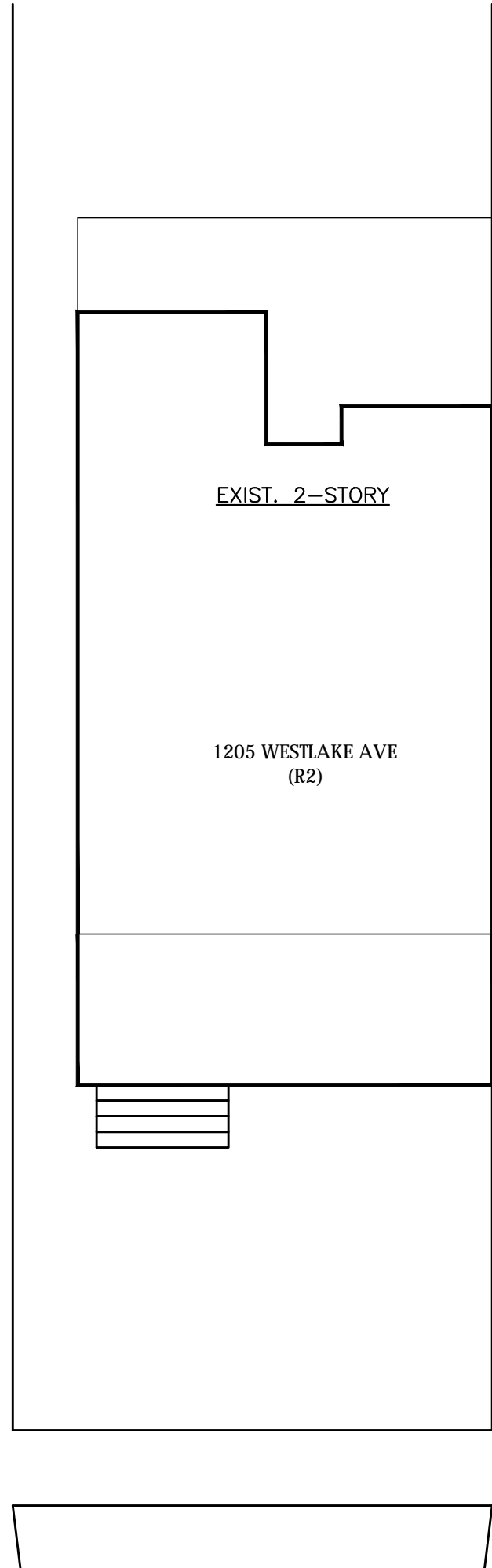
**1 ROOF PLAN**  
SCALE: 1/4" = 1'-0"



<b>% OF HOUSE TO YARD:</b>	
SITE =	3,500 S.F.
EXISTING HOUSE =	879 S.F.
ADDITION =	173 S.F.
TOTAL S.F. =	1,052 S.F.
	= 30.0%

<b>% OF GARAGE TO REAR YARD:</b>	
REAR YARD =	1,205 S.F.
EXISTING GARAGE =	227 S.F.
	= 18.8%



**2 SITE PLAN**  
SCALE: 1/8" = 1'-0"



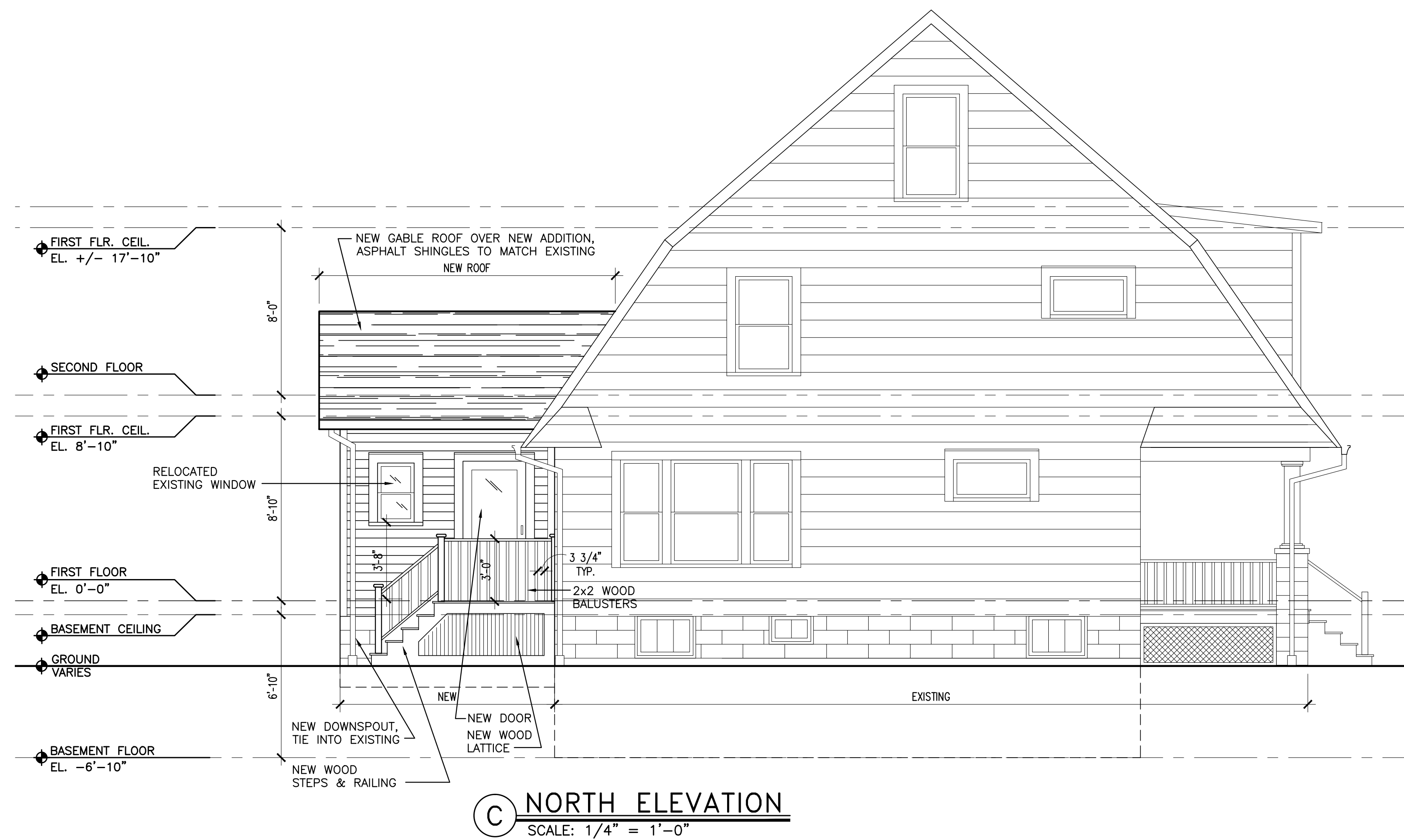
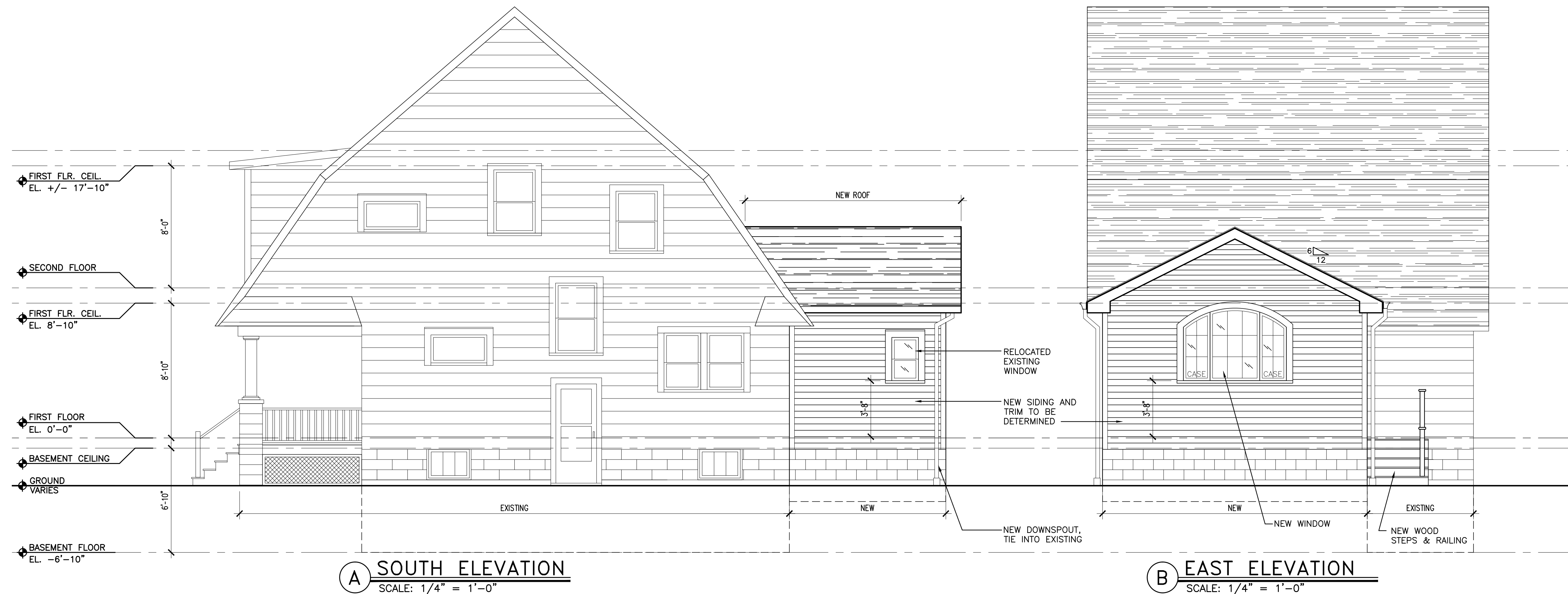
**KAREN REIGHARD**  
1081 MAPLE CLIFF DRIVE • LAKEWOOD, OH 44107  
PH 440.897.0807 • kreighard53@gmail.com

**BORICK RESIDENCE**  
1209 WESTLAKE AVE  
LAKEWOOD, OH 44107

**ROOF PLAN & SITE PLAN**

JN:  
BOR001  
Description:  
BZA\_REVISD  
Date:  
3/16/2023  
Sheet #

**A2**



**KAREN REIGHARD**

1081 MAPLE CLIFF DRIVE • LAKEWOOD, OH 44107  
 PH 440.897.0807 • kreighard53@gmail.com

**BORICK RESIDENCE**  
 1209 WESTLAKE AVE  
 LAKEWOOD, OH 44107

**EXTERIOR ELEVATIONS**

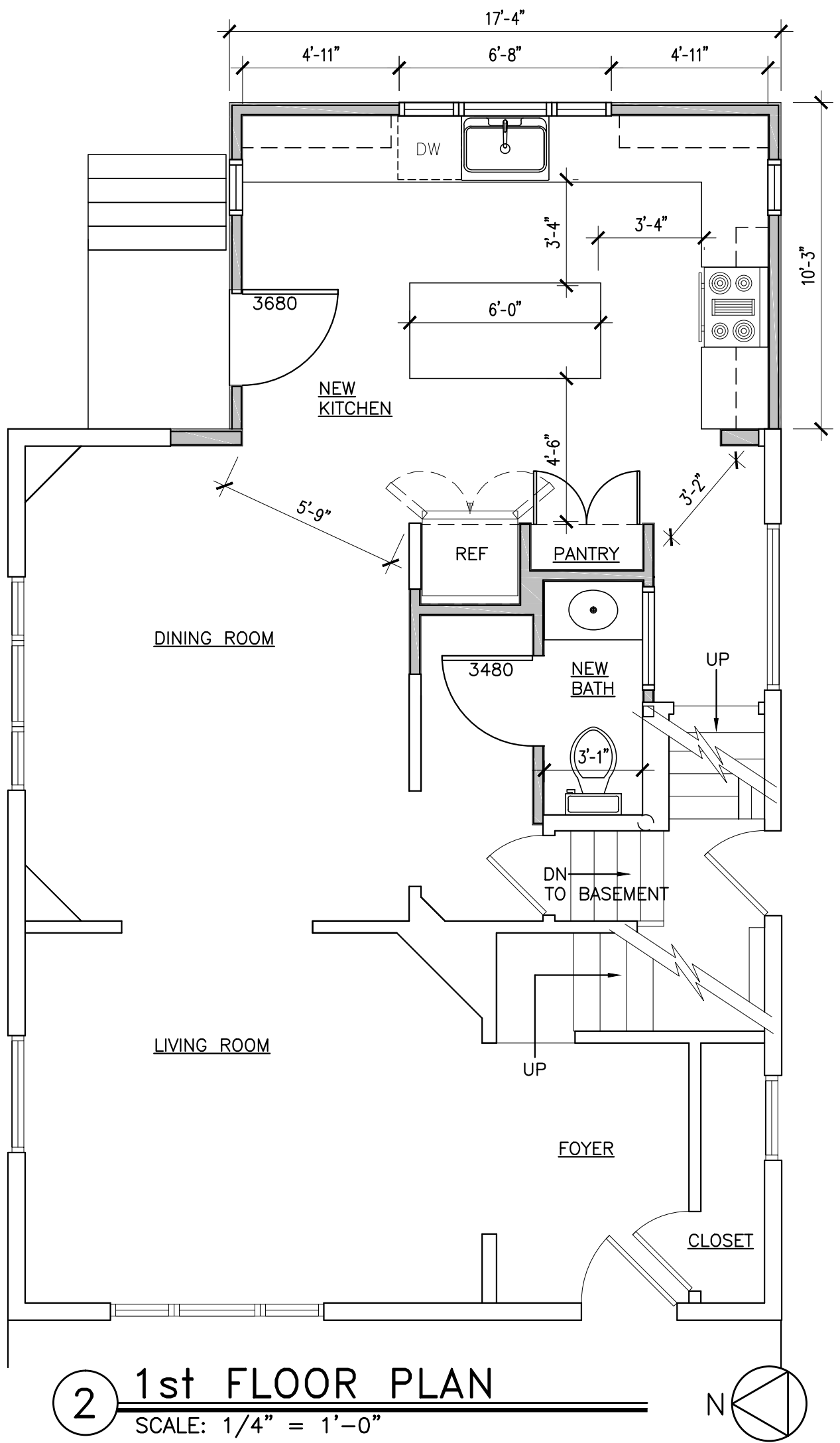
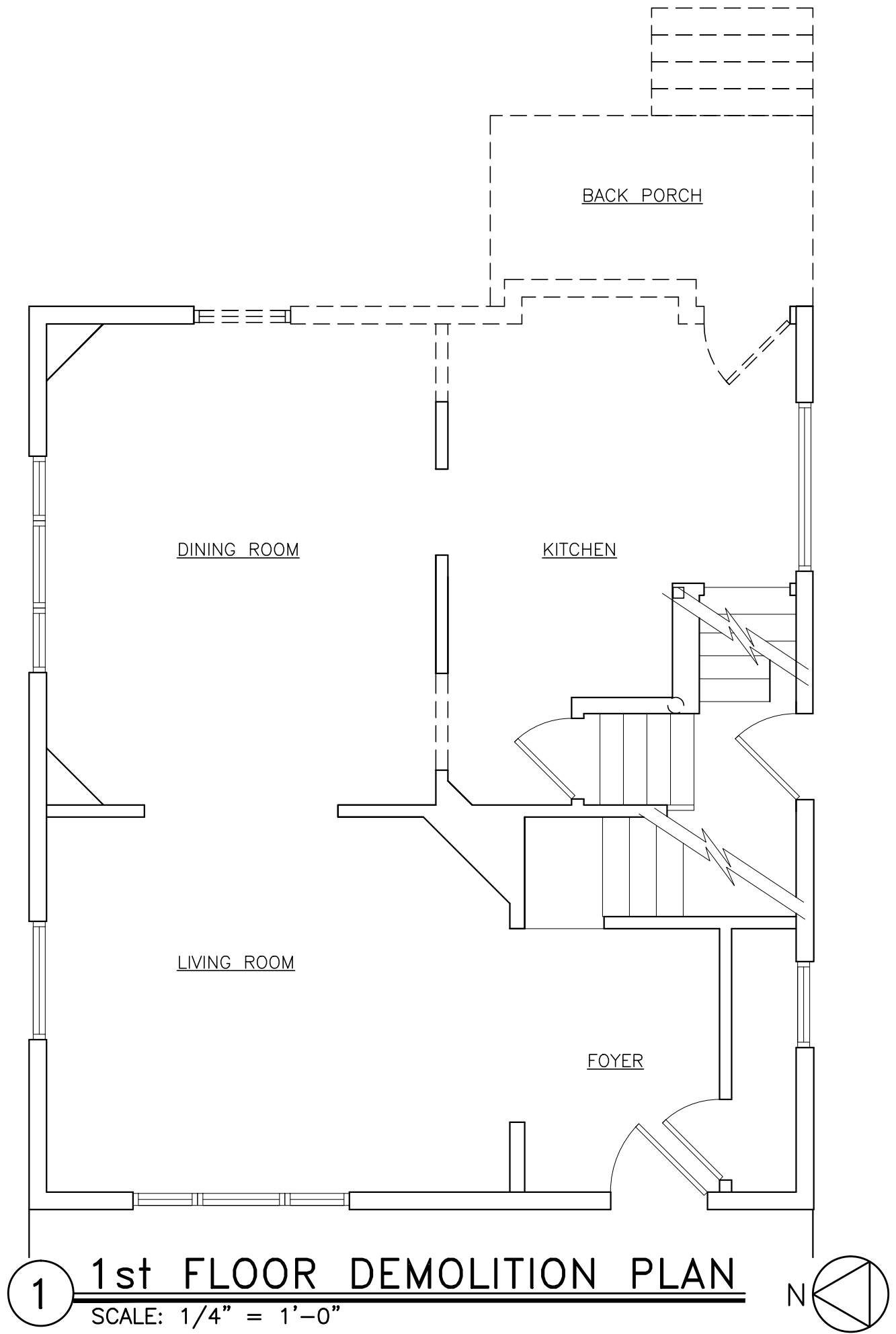
JN:  
 BOR001  
 Description:  
 BZA\_REVISD  
 Date:  
 3/16/2023  
 Sheet #

**A4**

WALL TYPE LEGEND	
	NEW WALL
	WALL OR ITEM TO REMAIN
	WALL OR ITEM TO BE DEMOLISHED

- DEMOLITION NOTES**
- GUT ENTIRE KITCHEN
  - REMOVE EXISTING KITCHEN/DINING ROOM FLOORING, PREP FOR NEW FLOOR THROUGHOUT
  - CONTRACTOR TO VERIFY EXISTING STRUCTURE AND NOTIFY DESIGNER OF ANY DISCREPANCIES

- PLAN NOTES**
- 2-2x4 WOOD STUDS AT ENDS OF ALL BEAM LOCATIONS UNLESS NOTED OTHERWISE
  - 1/2" GYP. BD. WALLS (GREEN BD. IN BATH) 5/8" GYP. BD. ALL CEILINGS.
  - ALL INTERIOR WALL STUDS ARE 3 1/2" UNLESS NOTED OTHERWISE (EXTERIOR STUD WALLS ARE 4")
  - ALL PLAN DIMENSIONS ARE FROM NEW STUD TO EXISTING FINISH, UNLESS NOTED OTHERWISE
  - PATCH TO MATCH WITH ADJACENT MATERIALS
  - ENERGY EFFICIENCY PATH SECTIONS 1101-1104 IN RCO 2013:
  - HEADERS NOT MARKED SHALL BE (2) 2x8
  - CONTRACTOR TO INSTALL SOLID BLOCKING AT ALL POINT LOAD. ENSURE THAT ALL POINT LOADS BEAR ON SOUND FOUNDATION. ALL FRAMING THAT FRAMES PERPENDICULAR TO BEAMS MUST BE SECURED WITH SIMPSON JOIST HANGERS
  - APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN THE SECOND FLOOR HALLWAY
  - SMOKE ALARMS SHALL BE LOCATED IN EACH BEDROOM, SECOND FLOOR HALLWAY, ATTIC, BASEMENT, AND ONE ON THE FIRST FLOOR.
  - ALL EXISTING STRUCTURE SHALL BE FIELD VERIFIED
  - TRUSSES ARE BY OTHERS (IF APPLICABLE)
  - MFG. OF TRUSSES SHALL SUBMIT SHOP DWGS, OF TRUSSES AND SPECIFY CONNECTIONS OF TRUSSES TO FRAMING STRUCTURE (IF APPLICABLE)
  - NEW FLOOR JOISTS SHOULD MATCH (LEVEL) WITH EXISTING SUB-FLOOR, EQUAL THICKNESS OF EXISTING AND EQUAL FINISH FLOOR
- R-10 FLOOR SLAB  
R-20 WALL (SPRAY FOAM CLOSED CELL)  
R-30 CEILING/ROOF (SPRAY FOAM CLOSED CELL) (ENCLOSED ADDITION = 166 SF)



**KAREN REIGHARD**  
1081 MAPLE CLIFF DRIVE • LAKEWOOD, OH 44107  
PH 440.897.0807 • kreighard53@gmail.com

**BORICK RESIDENCE**  
1209 WESTLAKE AVE  
LAKEWOOD, OH 44107

**FIRST FLOOR DEMOLITION AND FLOOR PLANS**

JN:  
BOR001  
Description:  
BZA\_REVISD  
Date:  
3/16/2023  
Sheet #

**A3**



1209

1209









