



City of Lakewood  
Board of Zoning Appeals

(216) 529-6630  
planning@lakewoodoh.gov

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AGENDA  
BOARD OF ZONING APPEALS  
CITY OF LAKEWOOD  
12650 DETROIT AVENUE  
FEBRUARY 20, 2025

PRE-REVIEW MEETING  
6:00 P.M.  
EAST CONFERENCE ROOM

REVIEW MEETING  
6:30 P.M.  
AUDITORIUM

1. ROLL CALL
2. APPROVE MINUTES OF THE JANUARY 16, 2025 MEETING
3. OPENING REMARKS

OLD BUSINESS

4. Docket No. 01-01-25  
1464 Riverside Dr.

Applicant Gary R. Fischer of Fischer & Associates Architects LLC for property owner Linda Frederickson proposes the construction of a new two-family home with an attached two car garage on an existing lot. The property is located in the R2, Single- and Two-Family District. (Page 4)

- Variance 1: Owner proposes the construction of a new home with an attached two-car garage. The two proposed side yards are 5 feet and 7 feet, combined the total is 12 feet where 15 feet is the minimum required. Request a variance to reduce the permitted combined side yard setback total to 12 feet, as proposed. Pursuant to schedule 1123.07 Minimum Yard Requirements (Ord.91-95. Passed 10-07-96.)

- Variance 2: Owner proposes the construction of a new house with an attached two car garage; the maximum total primary lot coverage permitted is 35%, the proposed is 46%. Request a variance to increase the maximum permitted total primary structure lot coverage to 46%, as proposed. Pursuant to section 1123.09(a) Maximum Lot Coverage (Ord. 07-2023. 11-20-23)

## NEW BUSINESS

### 5. Docket No. 02-02-25 1052 Edgewater Ln.

Applicant and property owner Francis C. Hornung III proposes the installation of a shed in the rear yard. The property is located in the R1M, Single-Family Medium Density District. (Page 27)

- Variance 1: Owner proposes a shed that is 10 feet wide and 16 feet long, which totals 160 sq. feet in area and is 11' 1" in height. The maximum permitted shed height is 10 feet. Request a variance to increase the maximum permitted shed height to 11'1", as proposed. Pursuant to section 1121.03 (f) Permitted Accessory Uses (Ord. 07-2023. Passed 11-20-23.)

### 6. Docket No. 02-03-25 Appeal of Denial

Applicant Christopher Brynner of Best Choice Roofing appeals the denial for a solicitor's permit pursuant to section 741.12 – Appeal Procedure. (Page 40)

### 7. Docket No. 02-04-25 2143 Glenbury Ave.

Applicant and property owner Maya Camhi proposes the demolition and replacement of an existing two car garage. The property is located in the R1H, Single-Family High-Density District. (Page 43)

- Variance 1: Owner proposes the demolition of an existing two car garage and the construction of a new two car garage that is 22' x 26' feet, totaling 572 sq feet in area. Maximum permitted rear lot coverage is 480 sq. ft. Request a variance to exceed maximum permitted rear lot coverage by to build a two-car garage that is 572 sq. ft, as proposed. Pursuant to 1121.03(a) Permitted Accessory Uses (Ord. 07-2023, Passed 11-20-23)

### 8. Docket No. 02-05-25

## 17852 Lake Rd.

Applicant David T. Maddux of The Arcus Group for property owner Jack Griffiths proposes the construction of several additions to the principal structure, including a rear addition that has a second-floor unroofed patio deck. The property is in the R1L, Single-Family Low-Density District. (Page 54)

- Variance 1: Owner proposes the construction of several additions to the principal structure. An addition to the side of the home will reduce one side yard to 8'8" where 10 feet is the minimum required. Request a variance to reduce the permitted size of the side yard to 8'8" as proposed. Pursuant to Schedule 1121.07 Minimum Yard Requirements for Principal Buildings (Ord. 91-95 Passed 10-07-1996)
- Variance 2: Owner proposes the construction of several additions to the principal structure. An addition to one side of the home will reduce the combined side yard setback total to 19'8" where the minimum required is 25 ft. Request a variance to reduce the permitted combined side yard total to 19'8" as proposed. Pursuant to Schedule 1121.07 Minimum Yard Requirements for Principal Buildings (Ord. 91-95 Passed 10-07-1996)
- Variance 3: Owner proposes an addition on the rear of the principal structure that includes a 521 sq. foot unroofed patio deck on the second floor at a height of 9 feet. The maximum permitted is 300 sq. ft in area and 42 inches above grade. Request a variance to increase the maximum permitted height to 9 feet and the maximum permitted area to 521 sq. feet as proposed. Pursuant to 1121.03(d) Permitted Accessory Uses (Ord. 07-2023 Passed 11-20-2023)

## ADJOURN

*"Individuals with disabilities, who require accommodations for participation in meetings, must request accommodations at least 3 business days ahead of the scheduled meeting. Contact Michelle Nochta at (216) 529-5906 [michelle.nochta@lakewoodoh.net](mailto:michelle.nochta@lakewoodoh.net)."*



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Application Cover Page

Docket No.: 01-01-25

Reference No.: BZA24-000045 and BZA 25-000004

Applicant Name: Gary Fischer, Fischer & Associates Architects Inc.

Project Address: 1464 Riverside Dr.

Project Name: n/a

Proposal: The construction of a new two-family home on an existing lot. The property is located in the R2, Single- and Two-Family District.

Re: 1464 Riverside Drive

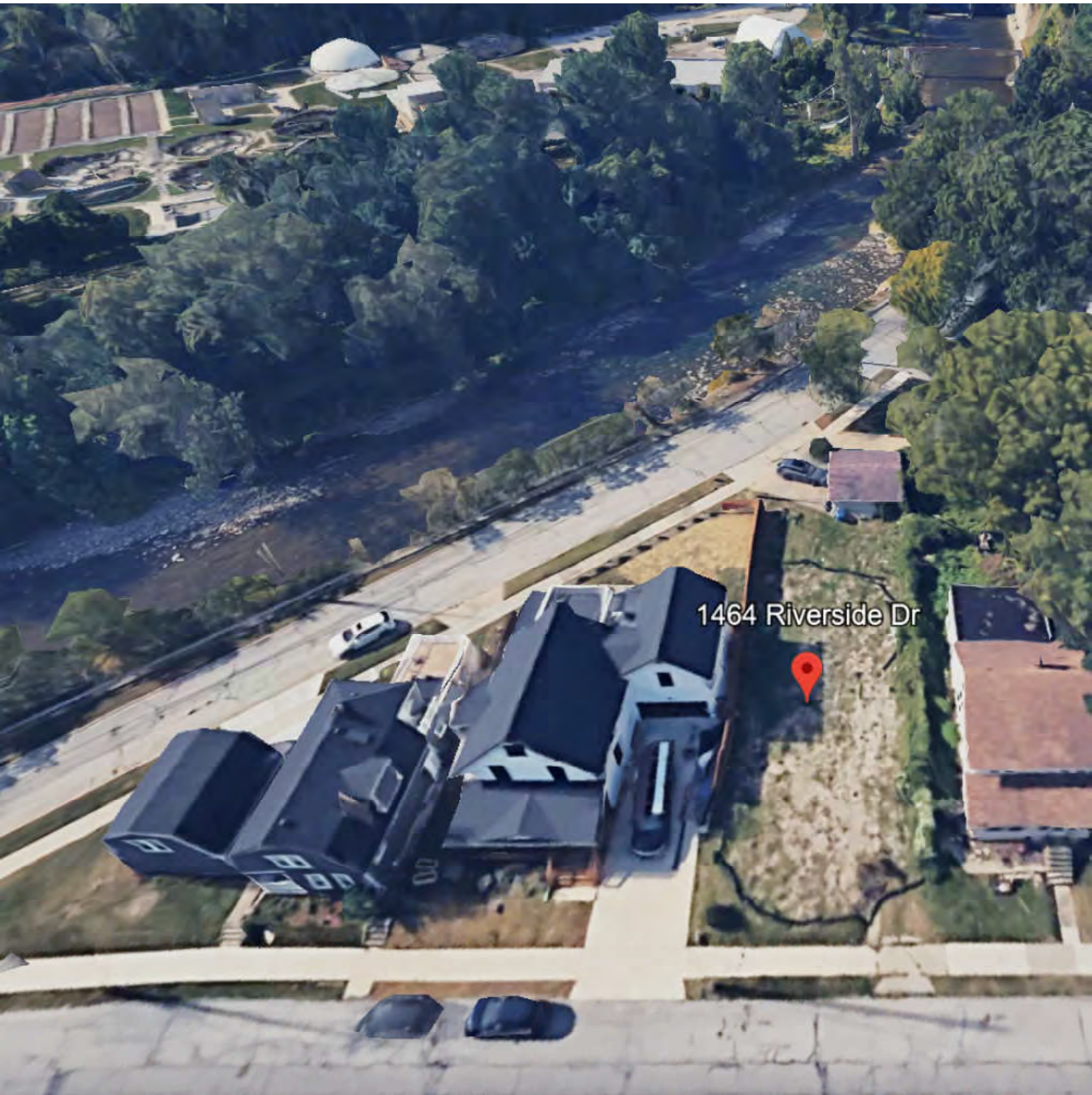
To Whom it may concern:

This document provides consent for Gary Fischer to act on my behalf as Agent for the BZA for the property located at 1464 Riverside Drive

Respectfully:

Linda Fredrickson.

Gary Fischer

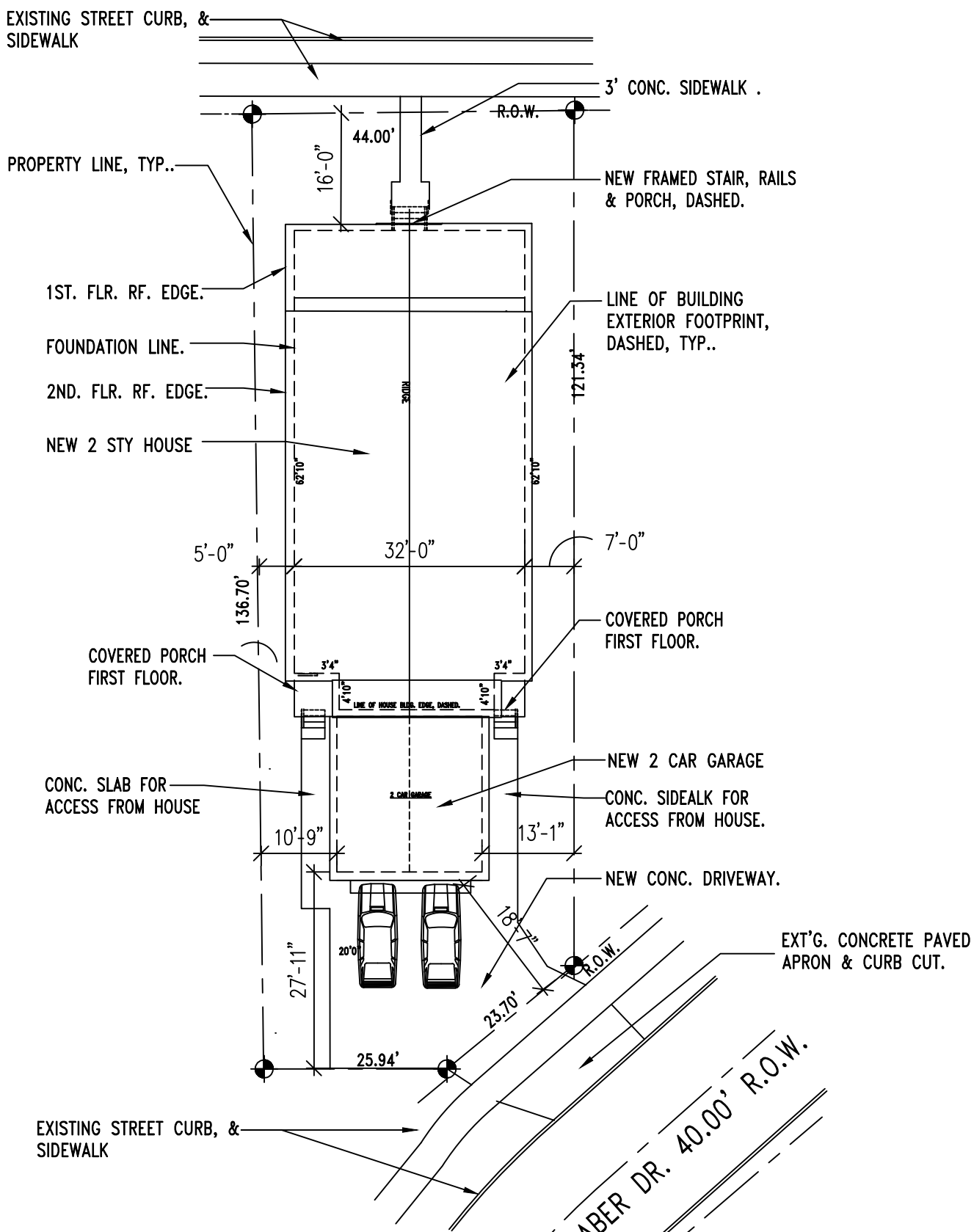


1464 Riverside Dr

R.O.W.

RIVERSIDE DR. 57.00' R.O.W.

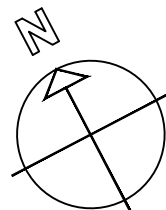
LOT SIZE	- 5,875 SQ. FT.
HOUSE	- 2,216 SQ. FT.
NEW GAR.	- 453 SQ. FT.
LOT COVERAGE	- .46% INCL. GAR. & PORCHES.
IM. SURF. BLDG, DRIVE & S.W.	- 3,754 SQ. FT. = 63%



FREDRICKSON RESIDENCE  
1464 RIVERSIDE DRIVE

### ARCHITECTUAL SITE PLAN

1" = 20'-0"



# 1464 RIVERSIDE DRIVE

(New House & Garage Addition)

1464 Riverside Drive – Lakewood, Ohio 44107

## GENERAL NOTES:

THE CONTRACTOR(S) WARRANTS THAT ALL CONSTRUCTION AND INSTALLATION WORK FOR THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL THE REQUIREMENTS OF LOCAL, STATE & FEDERAL LAWS AND AUTHORITIES HAVING JURISDICTION.

GOVERNING CODE: LATEST (R.C.O. 2024 RESIDENTIAL BUILDING CODE INCLUDING AMENDMENTS GROUPS AND ALL APPLICABLE STATE & LOCAL APPLICABLE STATE OF OHIO AND LOCAL CODES AND ORDINANCES.

IT IS THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS. ANY VARIATIONS BETWEEN ACTUAL CONDITIONS AND THOSE SHOWN ON THE CONTRACT DOCUMENT DRAWINGS SHALL BE PRESENTED TO THE ARCHITECT PRIOR TO SUBMITTING ANY BID. NO EXTRAS OR CONSIDERATIONS WILL BE GIVEN FOR CONFLICTS BETWEEN ACTUAL CONDITIONS AND THOSE SHOWN ON THE CONSTRUCTION DOCUMENT DRAWINGS.

ANY SUBSTITUTIONS, CHANGES OR DELETIONS OF MATERIALS, TECHNIQUES OR LOCATIONS SHALL BE PRESENTED TO THE ARCHITECT FOR APPROVAL PRIOR TO SUBMITTING ANY BID/S; OTHERWISE WORK SHALL BE BID AND CONSTRUCTED AS SHOWN IN THE CONTRACT CONSTRUCTION DOCUMENT DRAWINGS.

THE CONTRACT CONSTRUCTION DOCUMENTS ARE INTENDED TO BE EXPLANATORY. SHOULD ANY DISCREPANCIES COME ABOUT, OR ANY MISUNDERSTANDING/S APPEAR AS TO THE IMPORTANCE OF ANYTHING CONTAINED IN THE CONSTRUCTION DOCUMENT DRAWINGS, THE EXPLANATION FROM THE ARCHITECT SHALL BE FINAL AND BINDING UPON THE CONTRACTOR/S.

THE CONTRACT DOCUMENTS, IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED OR DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

ALL WORK AND MATERIALS NORMALLY REQUIRED PER INDUSTRY STANDARDS TO COMPLETE THE WORK, ALTHOUGH NOT INDICATED SPECIFICALLY, SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR AS IF SHOWN ON THE CONSTRUCTION DOCUMENT DRAWINGS. FAILURE TO SHOW OR INDICATE MINUTE DETAILS SHALL NOT WARRANT OMISSION OF NECESSARY WORK FOR THE PROPER COMPLETION OF THE PROJECT.

VISUAL CONTACT WITH THESE CONSTRUCTION DOCUMENT DRAWINGS AND/OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE REQUIREMENTS & RESTRICTIONS.

ALL INFORMATION RELATED TO EXISTING CONDITIONS HAS BEEN PROVIDED BY OWNER. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF ANY WORK.

USE WRITTEN DIMENSIONS ONLY (DO NOT SCALE DRAWINGS) DIMENSIONS INDICATED WITH A (±) MUST BE FIELD VERIFIED.

THE CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL MECHANICAL & ELECTRICAL INSTALLATIONS WITH THE STRUCTURAL SYSTEM TO ASSURE PROPER CLEARANCES CAN BE ACHIEVED PRIOR TO FINAL SELECTION AND FABRICATION OF ANY SYSTEMS.

REPORT ALL DISCREPANCIES OR CONFLICTS IN DIMENSIONS, CODE COMPLIANCE AND/OR OTHER TO ARCHITECT PRIOR TO PROCEEDING WITH THE PROJECT WORK OR ORDERING ANY MATERIALS.

IF CONDITIONS AT THE PROJECT JOB SITE ARE DIFFERENT THAN THOSE INDICATED IN THE CONTRACT CONSTRUCTION DOCUMENTS, CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IN WRITTEN FORM.

THE CONTRACTOR SHALL VERIFY DIMENSIONS PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR COORDINATING ROUGH OPENINGS AND DIMENSIONS IN THE FIELD FOR ALL TRADES.

DO NOT PROCEED WITH CHANGES TO THESE CONSTRUCTION DOCUMENTS BASED ON VERBAL INSTRUCTIONS. WRITTEN AUTHORIZATION BY THE ARCHITECT FOR CHANGES MUST BE RECEIVED PRIOR TO MAKING ANY CHANGES AND ORDERING MATERIALS.

IT IS EACH CONTRACTORS RESPONSIBILITY TO CHECK MODEL NUMBERS OF ALL COMPONENTS SPECIFIED FOR THIS PROJECT WITH DESCRIPTION OF PRODUCT FOR CONFORMANCE WITH DESIGN INTENT. NOTIFY ARCHITECT OF ANY DISCREPANCIES DISCOVERED PRIOR TO ORDERING OF MATERIALS.

PROVIDE PENETRATIONS, OPENINGS AND SLEEVES FOR MECHANICAL AND ELECTRICAL WORK AS REQUIRED BY THE CONSTRUCTION DOCUMENT DRAWINGS, OR IF NOT SHOWN, FOLLOW APPLICABLE INDUSTRY STANDARD.

## DEMOLITION:

PROVIDE ALL DEMOLITION AS INDICATED ON DRAWINGS AND AS REQUIRED TO COMPLETE THE WORK. PROVIDE REQUIRED TEMPORARY BRACING. SECURE ALL WORK TO REMAIN. ALL DEMOLITION IS SHOWN DASHED UNLESS OTHERWISE INDICATED. REF. DEMO. PLAN & NOTES/G-100.

PROVIDE ALL CUTTING AND PATCHING OF EXISTING FLOORS, WALLS AND CEILING AS REQUIRED TO ACCOMMODATE NEW LAYOUT, WHERE APPLICABLE. PATCH, AS REQUIRED AND INDICATED, TO MATCH EXISTING AND/OR NEW ADJACENT WALLS, FLOORS AND CEILING IN A MANOR TO ACHIEVE A SMOOTH EVEN AND UNIFORM APPEARANCE UNLESS OTHERWISE INDICATED.

## STRUCTURAL NOTES: (GENERAL)

1. THE STRUCTURE IS DESIGNED TO BE AND REMAIN SELF-SUPPORTING AND STABLE AFTER THE INDICATED PROJECT WORK IS FULLY COMPLETED. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE AND TO INSURE THE SAFETY OF THE BUILDING/S AND ALL ITS COMPONENT PARTS DURING ERECTION. THIS INCLUDES THE ADDITION OF WHATEVER TEMPORARY BRACING, SHORING, SHEETING, GUYS AND THE DOWNS WHICH MAY BE NECESSARY. ALL SUCH MATERIAL SHALL REMAIN THE CONTRACTORS PROPERTY AFTER THE PROJECT IS COMPLETED.

2. SHOULD ANY OF THE DETAILED INSTRUCTIONS SHOWN ON THE CONSTRUCTION DOCUMENTS CONFLICT WITH THE GENERAL STRUCTURAL NOTES, STRUCTURAL SPECIFICATIONS, OR WITH EACH OTHER, THE STRICTEST PROVISION SHALL GOVERN.

3. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.

## DESIGN CRITERIA:

- DEAD LOAD 1ST. FLOOR – 10 PSF LIVE LOAD FLOOR – 40 PSF
- DEAD LOAD 2ND. FLOOR/PORCH – 10 PSF LIVE LOAD FLOOR – 30 PSF
- DEAD LOAD ROOF – 20 PSF LIVE LOAD ROOF – 25 PSF
- WIND LOAD 115 MPH EXPOSURE B
- GROUND SNOW LOAD – 30 PSF
- SEISMIC – SITE CLASSIFICATION (C) USE GROUP (1) DESIGN (A) (WIND LOAD GOVERNS)

## CONCRETE AND MASONRY (WHERE APPLICABLE)

- CAST IN PLACE CONCRETE TO BE MIN. 4000 PSI STRENGTH.
- CAST IN PLACE CONC. FOOTINGS TO BE SET ON MIN. 1,500 PSF SOIL BEARING.
- EXTERIOR CONC. FOOTINGS & PIERS SHALL BE SET A MIN. DEPTH OF 3'-6" BELOW FINISHED GRADE.
- ALL REINFORCING SHALL BE A.S.T.M. A-36.
- CONC. BLOCK: ASTM C90 (HOLLOW) ASTM C145 (SOLID).
- MORTAR: TYPE S, MIN. COMPRESSIVE STRENGTH: 1,800 PSI.
- CORE FILL: ASTM C476, COARSE TYPE.
- JOINT REINFORCING: STANDARD DURAWALL, MILL GALVANIZED FINISH.
- ALL C.M.U. SHALL BE MADE USING DRY BLOCK.
- PROVIDE UNITS OF SIZE INDICATED AND IN SPECIAL SHAPES FOR APPLICATION WHERE FORMS, SIZE OR FINISH CANNOT BE PRODUCED FROM STANDARD SHAPES. TYPICAL ALL BRICK VENEER THROUGHOUT, WHERE APPLICABLE.

## ROUGH CARPENTRY

- SPECIFICATIONS: UNLESS SPECIFICALLY SHOWN OTHERWISE, DESIGN, FABRICATION AND ERECTION SHALL BE GOVERNED BY THE LATEST REVISIONS OF:
  - NATIONAL DESIGN SPECIFICATION FOR WOOD & METAL FRAME CONSTRUCTION.
  - U.S. PRODUCT STANDARDS PS-1 FOR CONSTRUCTION & INDUSTRIAL PLYWOOD.
  - APA CONSTRUCTION GUIDE – RESIDENTIAL.
- CONNECTIONS:
  - PLYWOOD TO RAFTERS/JOISTS ROOFS & FLOORS – USE 8D NAILS @ 6" O.C. @ PANEL EDGES AND 12" O.C. @ INTERMEDIATE SUPPORTS.

## ROUGH CARPENTRY (CONTINUED)

- ALL CONNECTIONS OF STRUCTURAL BEAMS & RIDGE MEMBERS SHALL BE MADE UTILIZING HIGH STRENGTH (MIN. 14 GA.) HURRICANE STRENGTH, METAL FRAMING HANGERS/CONNECTORS WITH NAILING AT ALL HOLES.
- ANY LUMBER EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE AND/OR MASONRY MUST BE TREATED. ALL FASTENERS MUST BE COMPATIBLE WITH SELECTED WOOD OR METAL TREATMENT MATERIAL UTILIZED USING HDC. OR SS WHERE APPLICABLE.
- CORNER BRACING TO BE METAL T STRIP DIAGONAL BRACING, SIMPSON TWB OR EQUAL. LOCATE AT ALL BUILDING CORNERS AND UNINTERRUPTED SPANS OF 8'-0" OR GREATER.
- ALL EXTERIOR DOOR AND WINDOW OPENINGS SHALL UTILIZE MIN. 30 2"x8" HEADER WITH 20 2"x6" JAMB BLOCKING EACH END OF OPENING UNLESS OTHERWISE INDICATED OR STRUCT. REQUIRED. ALL INTERIOR DOOR, DOORWAY, WINDOW AND PASS THRU OPENINGS SHALL UTILIZE MIN. 20 2"x6" HEADER WITH 20 2"x4" BLOCKING EACH END OF OPENING. TYPICAL UNLESS OTHERWISE INDICATED.
- ALL SOLID BLOCKING, (S.B.) AT EXTERIOR OPENINGS, BEARING POINTS AND EXTERIOR CORNERS AS REQUIRED AND SHOWN ON DRAWINGS SHALL BE 302" x 6", FOR INTERIOR 302x4 WALLS, STRUCT. SET ALL ON SOLID BEARING. SOLID BLOCKING AT BEARING POINTS HIDDEN IN WALLS SHALL HAVE 2x4 LATERAL BRACING TO NEXT STUDS @2'-0" O.C. HORIZONTAL.
- PROVIDE ALL NECESSARY MISCELLANEOUS BLOCKING AND FRAMING AS REQUIRED FOR PROPER INSTALLATION OF EQUIPMENT AND ACCESSORIES INCLUDING BUT NOT LIMITED TO WINDOWS, DOORS AND HARDWARE, CABINETS, COUNTERS AND KITCHEN, LAUNDRY ROOM AND ACCESSORIES.
- DOUBLE JOISTS UNDER PARTITIONS, AT FLOOR OPENINGS IN A MANOR TO AFFORD STRUCTURAL INTEGRITY.
- ALL NEW INTERIOR AND EXTERIOR STAIRS AND STEPS SHALL HAVE MAX. 8.25" RISERS AND MIN. 10" TREADS, TYP. U.O.N.. V.I.F. ALL ELEVATION CHANGES PRIOR TO START OF ANY WORK.
- ALL NEW EXTERIOR WALL INSULATION SHALL BE MIN. R-20. ALL NEW EXTERIOR ROOF INSULATION SHALL BE MIN R-49. FLOOR ABOVE BASEMENT SPACE SHALL BE R-30. TYP. IN A MANOR COMPLETE BUILDING ENVELOPE.
- WHERE BEAMS MAY END ON OPEN POCKET, PROVIDE BEAM ATTACHMENT BY WELDING OR BOLTED CLIP ANGLE EACH SIDE W/ NOT LESS THAN ONE ½" BEAM BOLT AND ONE ½" WALL ANCHOR PER ANGLE, AS REQUIRED FOR ADEQUATE STRUCT. SUPPORT, WHERE MAY BE APPLICABLE.

## FINISHES

- ALL FINISH MATERIALS AND COLORS, EXTERIOR AND INTERIOR, NOT SPECIFIED SHALL BE SELECTION BY OWNER.
- ALL WINDOWS ARE SHOWN WITH NOMINAL DESIGNATIONS. COORDINATE WITH OWNER FOR MANUF. AND ACCESSORIES.
- ALL MATERIALS AND FINISHES SHALL BE AS SPECIFIED OR ARCHITECT APPROVED EQUIVALENT. ANY SUBSTITUTIONS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO FINAL SELECTION.

## CUSTOM FINISH SPECIAL NOTES:

- ALL INTERIOR FLOOR FINISH SHALL BE SELECTION BY OWNER.
- ALL INTERIOR TRIM SHALL BE FINISH WOOD INCLUDING BUT NOT LIMITED TO BASE, DOOR TRIM AND WINDOW TRIM. SELECTION BY OWNER.
- ALL COUNTER TOPS SHALL BE PER OWNERS SELECTION.
- ALL KITCHEN & OTHER CABINETS/VANITYS SHALL BE FULL CUSTOM.
- ALL EXTERIOR WINDOWS AND DOORS SHALL BE INSUL. AS SELECTED BY OWNER
- ALL EXTERIOR FINISHES SHALL BE NEW TO REPLACE EXT'G. SELECTED BY OWNER INCLUDING BUT NOT LIMITED TO SIDING, TRIM, DECKING & ROOFING U.O.N..
- COORDINATE ALL WITH OWNER, U.O.N..

## SHOP DRAWINGS

MIN. 4 COPIES SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO FABRICATION FOR THE ITEMS LISTED BELOW INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

- MASONRY UNITS, MORTAR, GROUT, REINFORCEMENT & ACCESSORIES
- WINDOWS, DOORS AND HARDWARE
- CABINETS & COUNTERS PER OWNERS SELECTION
- MECHANICAL & ELECTRICAL FIXTURES, EQUIPMENT & ACCESSORIES
- KITCHEN COUNTERS, CABINETS, FIXTURES & ACCESSORIES
- STAIRS, RAILING, GUARD & HAND RAILS.
- FLASHINGS, CAULKING & SEALANTS
- INTERIOR AND EXTERIOR TRIM/MOLDED MILLWORK
- EXTERIOR FINISHES
- ROOFING, ROOFING MATERIALS, GUTTERS & DOWNSPOUTS
- FIRE PLACES, CHIMNEYS & ELEMENTS

## GENERAL CONSTRUCTION NOTES:

FIELD VERIFY ALL EXISTING CONDITIONS/DIMENSIONS PRIOR TO START OF WORK.

- NEW WET AREAS. USE MOISTURE RESISTANT G.W.B. AT ALL NEW WET WALLS ON THE SIDE OF THE WALL THAT RECEIVES A FIXTURE WITH A WATER HOOKUP.
- ALL DIMENSIONS REFERENCE FROM CONCRETE/MASONRY WALLS ARE FROM FACE OF MASONRY AND NOT FROM FURRED GYP. BD.
- BRACE ALL INTERIOR PARTITIONS TO STRUCT. OF ADJACENT WALLS, FLOOR BELOW, CEILING &/OR ROOF ABOVE CEILING AS REQUIRED TO PREVENT WALLS FROM FLEXING.
- ALL NEW DOOR & WINDOW HEADS SHALL BE AT 6'-8" A.F.F. U.O.N..
- ALL NEW DOOR OPENINGS ARE TO BE LOCATED 4" FROM THE INTERIOR CORNER OF THE WALL UNLESS INDICATED OTHERWISE.

- FRAMING CONTRACTORS SHALL PROVIDE SOLID BLOCKING CONCEALED IN WALLS AND ROUGH OPENINGS, AS REQUIRED, FOR ALL ACCESSORIES INCLUDING BUT NOT LIMITED TO DOORS, WINDOWS, CLOSET SHELVING/RODS, BATHROOM FIXTURES & ACCESSORIES, ETC.
- CABINET/MILLWORK CONTRACTOR SHALL VERIFY ARCHITECTS SPECIFYING DIMENSIONS FOR REFRIGERATORS, MICROWAVES, CABINETS, FURNITURE AND OTHER EQUIPMENT TO ENSURE ADEQUATE FIT, CLEARANCE AND VENTILATION.

- VERIFY ALL ROUGH OPENINGS OF ALL NEW DOORS AND WINDOWS WITH THE SELECTED MANUFACTURER'S REQUIREMENTS.
- IN AREAS WHERE EXISTING FLOORING MATERIALS ARE TO BE REMOVED. PREP FLOORS TO RECEIVE NEW FINISHES IN A MANOR TO MAINTAIN LEVEL UNIFORM TRANSITION.

## ENGINEERING COORDINATION

### PLUMBING:

COORD. WITH FLOOR PLANS/A-100 FOR SCHEMATIC PLUMBING FIXTURE LOCATIONS. REFERENCE SPECS. & RISER DIAGRAMS /MPE-100.

### H.V.A.C.

PROVIDE H.V.A.C. ADDITIONS & ALTERATIONS AS REQUIRED TO ACCOMMODATE BUILDING RENOVATION LAYOUT. INSTALL PER SELECTED MANUF. SPECS. & INSTALLATION INSTRUCTIONS. COORD. WITH OWNER FOR NUMBER AND LOCATION OF ZONES. REF. MECHANICAL SPECS/MPE-100. FILED UNDER SEPARATE PERMIT.

### ELECTRICAL:

COORDINATE WITH FLOOR PLANS/A-100 FOR SCHEMATIC ELECTRICAL FIXTURE LOCATIONS & ELECTRICAL ENGINEERING SPECS. & SCHEDULE/MPE-100.

## SPECIAL CONTRACTORS NOTE:

ARCHITECT IS RESPONSIBLE FOR ARCHITECTURAL DESIGN AND DRAFTING ONLY. ALL INFORMATION SUPPLIED BY OWNER. VERIFY ALL DETAILS INCLUDING BUT NOT LIMITED TO SITE CONDITIONS, CITY UTILITY REQUIREMENTS & STANDARDS, AND STRUCTURAL LOADS AND BEARING (WHERE APPLICABLE).

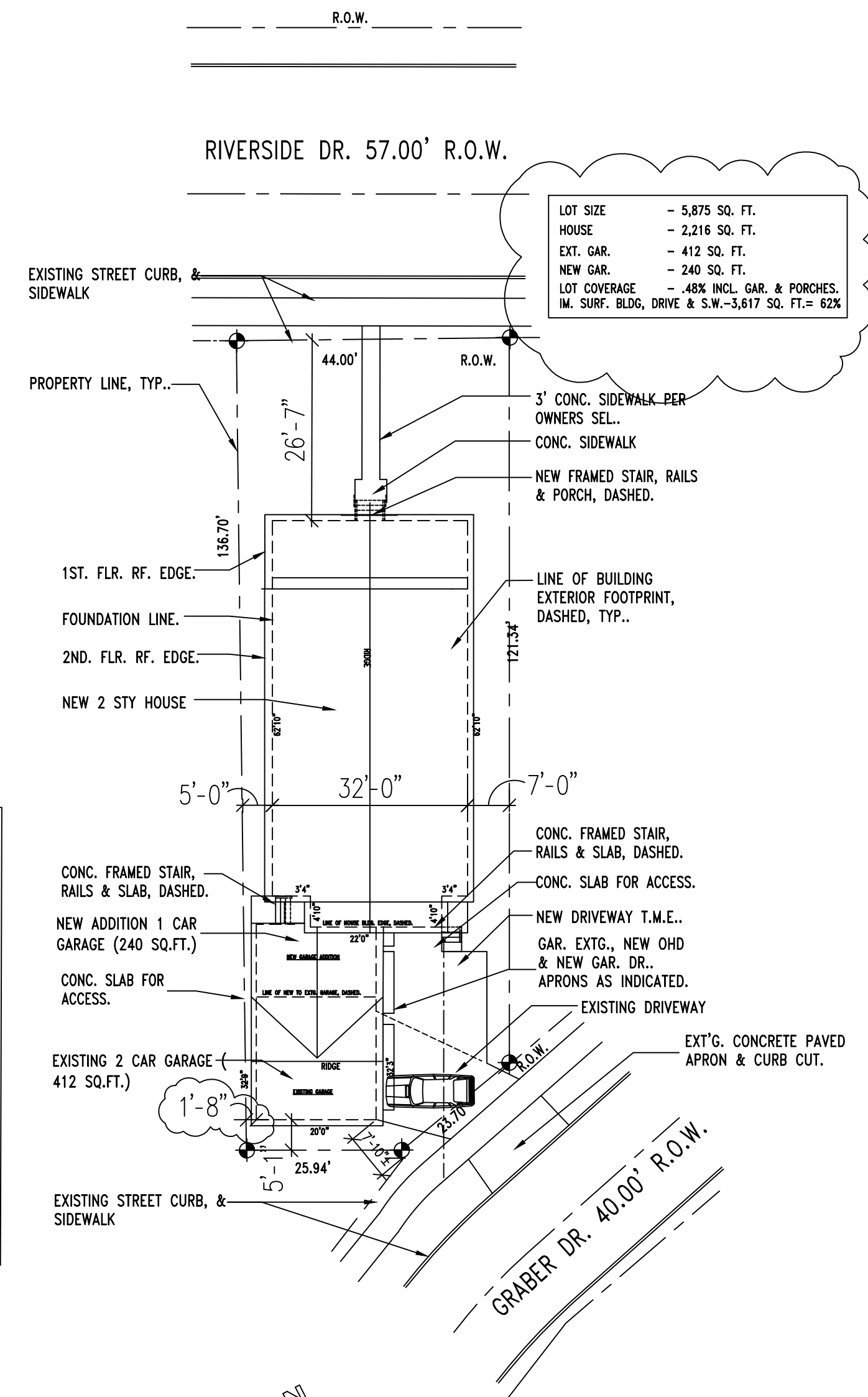
## GENERAL DEMOLITION NOTES: (WHERE APPLICABLE)

- ALL SAFEGUARDS FOR DEMOLITION SHALL FOLLOW O.B.C. CHAPTER 33.
- FIELD VERIFY ALL EXISTING CONDITIONS/DIMENSIONS PRIOR TO START OF WORK.
- ALL DEMOLITION DIMENSIONS ARE TO BE FIELD VERIFIED AND COORDINATED WITH FLOOR PLAN INFORMATION.
- COORDINATE ALL ASPECTS OF DEMOLITION WITH NEW FLOOR AND ENGINEERING PLANS, STRUCTURAL, PLUMBING, MECHANICAL AND ELECTRICAL DWGS.
- CONTRACTOR SHALL VISIT JOB SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS WHICH WILL AFFECT THE EXECUTION OF WORK. IF ADDITIONAL INTERPRETATION IS REQUIRED REGARDING THE SCOPE DEMOLITION INTENT, CONTACT THE ARCHITECT PRIOR TO START OF WORK. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR FAILURE TO OBTAIN THIS INFORMATION.
- PROVIDE ALL DEMOLITION AS INDICATED ON DRAWINGS AND AS REQUIRED TO COMPLETE THE RENOVATION WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTAINING FOLLOWING DURING WORK:
  - FIRE DETECTORS IN COMPLIANCE WITH LOCAL BUILDING CODE AND FIRE MARSHALL
  - DEBRIS DISPOSAL AND DUMPSTER
  - INTERIOR AND EXTERIOR DUST CONTROL/SANITARY SAFEGUARDS
  - EXISTING STRUCTURAL ELEMENTS
- PROVIDE SHORING/BRACING AS REQUIRED AT ALL AREAS OF DEMOLITION. STRUCTURE SHALL BE SELF-SUPPORTING AFTER DEMOLITION IS COMPLETE.
- INCLUDE ALL LABOR, MATERIALS, EQUIPMENT, SERVICES, AND PERMITS NECESSARY FOR COMPLETION OF THE DEMOLITION WORK. PROVIDE PROTECTION FOR ALL ADJACENT AREAS BEFORE, DURING AND AFTER EXECUTION OF THE DEMOLITION WORK.
- PROVIDE ALL CUTTING OF EXISTING WALLS, FLOORS & CEILING AS REQUIRED TO ACCOMMODATE EXISTING BUILDING NEW RENOVATION LAYOUT.
- CAP OFF OR DISCONNECT ALL UNUSED PLUMBING, HVAC & ELECTRICAL BEHIND WALLS, ABOVE CEILING OR UNDER FLOORS.
- CONTACTOR SHALL ENSURE THAT ALL EXTERIOR OPENINGS ARE CLOSED OFF AS REQUIRED TO SECURE AGAINST INTRUSION, WEATHER, ETC. DURING ALL PHASES OF THE DEMOLITION WORK.
- CONTRACTOR SHALL GIVE OWNER FIRST RIGHT TO SALVAGE ANY AND ALL EXISTING ITEMS, EQUIPMENT, MATERIALS, ETC. ALL ITEMS TO BE SALVAGED BY THE OWNER SHALL BE CAREFULLY REMOVED AND STORED ON SITE BY THE CONTRACTOR FOR SALVAGE BY THE OWNER. ALL OTHER MATERIALS, EQUIPMENT AND DEBRIS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE.
- IN THE REMOVAL OF ANY PART OF A DRAINAGE SYSTEM, DEAD ENDS SHALL BE PROHIBITED. CLEANOUT EXTENSIONS AND APPROVED FUTURE DRAINAGE SHALL NOT BE CONSIDERED AS DEAD ENDS PER OHIO PLUMBING CODE SECTION 704.5.
- COORDINATE UTILITY SERVICE OUTAGES WITH THE APPLICABLE LOCAL UTILITY COMPANIES.
- ALL ITEMS NOT INDICATED AS TO BE REMOVED OR RELOCATED SHALL REMAIN. PLEASE VERIFY WITH ARCHITECT PRIOR TO REMOVAL OF ANY ITEMS WHICH HAVE NOT BEEN IDENTIFIED ON ARCHITECTURAL, MECHANICAL OR ELECTRICAL DRAWINGS.



## AERIAL SITE LOCATION MAP

1" = 30'-0"



## ARCHITECTURAL SITE PLAN

1" = 20'-0"

FLOOR PLANS WALL TYPES KEY	
EXISTING GARAGE INTERIOR WALL, DASHED & EXTERIOR WALLS FOR NEW WINDOWS. PROFILE AND FINISHES MAY VARY, V.I.F..	
NEW FRAMED WALLS: EXTERIOR- 2x6 WOOD STUDS @ 16" O.C. W/ ½" O.S.B. SHEATHING, VAPOR RETARDER, R-20 FOAM INSULATION AND SIDING/FINISH AS INDICATED & SEL. BY OWNER. ALL NEW EXTERIOR WALLS SHALL HAVE ½" G.W.B. AT ALL EXPOSED INTERIOR SIDES. PREP. AND PAINT, TYPICAL U.O.N..	
INTERIOR- 2x4 WOOD STUDS @ 16" O.C. W/ FINISHES ½" G.W.B. AT ALL INTERIOR EXPOSED SIDE, PREP. AND PAINT, U.O.N..	

## GENERAL WALL NOTES:

- PROVIDE BEADED CORNERS FOR INCREASED DURABILITY AT ALL G.W.B. EXTERIOR CORNERS AND G.W.B. DOOR CASINGS WHERE APPLICABLE.
- PLUMBING WET WALLS G.W.B. SHALL BE MOISTURE RESISTANT.
- INTERIOR WALLS FROM GARAGE TO HOUSE SHALL HAVE ¾" 1 HR. FIRE RATED G.W.B. AT GARAGE SIDE FROM FNDN. UP. TO 1 HR RATED CEILING, TYP..

INDEX TO DRAWINGS	
G-100	COVER SHT.-GENERAL NOTES-ARCH. SITE PLAN-AERIAL SITE MAP
A-100	FOUNDATION PLAN-SECTION-DETAILS
A-101	FLOOR PLANS-GARAGE DEMO.-STRUCTURE DETAILS
A-102	SECTIONS-DETAILS
A-103	ELEVATIONS
A-104	ELEVATIONS
MPE-100	ENGINEERING FLOOR PLANS-ELECT. NOTES
MPE-101	ENGINEERING SPECS. - PLUMBING DETAILS-NOTES - DETAILS

## GENERAL COORDINATION NOTES:

- CONTRACTORS SHALL SCHEDULE ALL WORK TO BE EXECUTED IN SUCH A MANNER AS TO MAINTAIN ALL OUTSIDE TENANT OPERATIONS AS WELL AS ACCESS AND EGRESS FOR ALL TENANTS/CUSTOMERS WITH RESPECT TO ALL APPLICABLE CODE REGULATIONS, A.D.A. REQUIREMENTS, THE SAFETY OF ALL PERSONS IN AND AROUND THE BUILDING AND BUILDING SECURITY. ALL WORK MUST BE COORDINATED WITH OWNER/TENANT REPRESENTATIVES AND CONFORM TO FEDERAL REGULATIONS.
- CONTRACTORS WILL BE RESPONSIBLE TO SUBMIT A DETAILED PROJECT SCHEDULE TO OWNER/TENANT FOR REVIEW AND APPROVAL PRIOR TO COMMENCEMENT OF ALL WORK.
- CONTRACTORS SHALL BE RESPONSIBLE TO MAINTAIN THE BUILDING IN A SECURE AND WATERTIGHT CONDITION DURING CONSTRUCTION, WHERE APPLICABLE.
- CONTRACTORS SHALL BE RESPONSIBLE TO MAINTAIN ALL EXISTING SERVICES AND UTILITIES.

FISCHER & ASSOCIATES



ARCHITECTS INC.

554 West Ninth Street

Lorain, Ohio 44052

Tel: (440) 315-2300

E mail: andrea@fischerarch.com

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ISSUE: DATE:

NEW HOUSE PLAN PRELIM 03/28/23

NEW HOUSE ELEVATIONS PROGRESS 03/30/23

NEW HOUSE ELEV. & FLR. PLANS PROGRESS 04/05/23

NEW HOUSE, GAR. ADT. FINAL REVIEW 04/10/23

NEW HOUSE, GAR. ADT. PROGRESS 04/11/23

FINAL REVIEW-PERMIT 04/17/23

REVISED REVIEW-PERMIT 04/03/24

Client Name/Project Name/Address

1464 Riverside Drive

(NEW HOUSE & GARAGE ADDITION)

1464 Riverside Drive

Lakewood, Ohio 44107

Drawing Name

COVER SHEET-GENERAL NOTES-

ARCH. SITE PLAN-AERIAL SITE MAP

Fischer Project Number

22.113

SHEET #

G-100

Seal

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Drawing Name  
 FOUNDATION PLAN-SECTIONN-  
 SECTION DETAILS

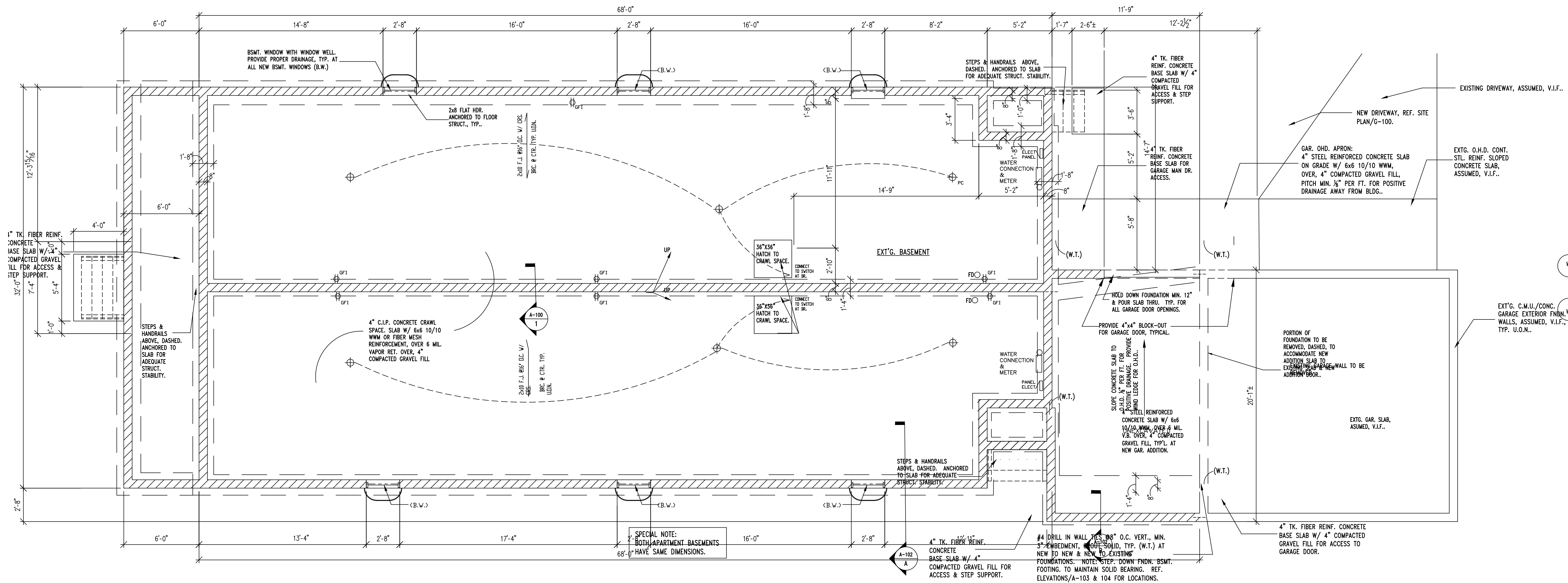
Fischer Project Number

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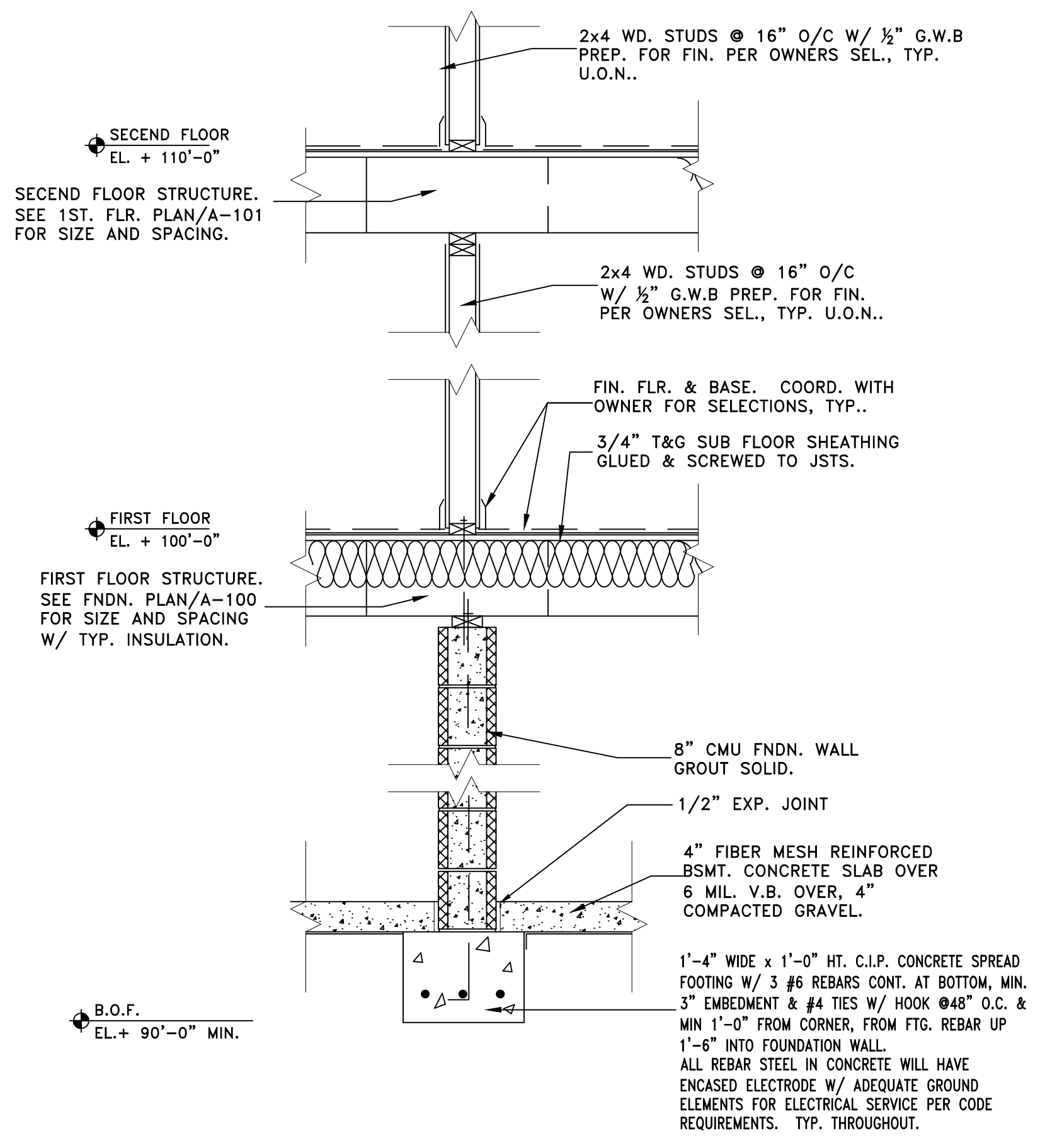
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A-100

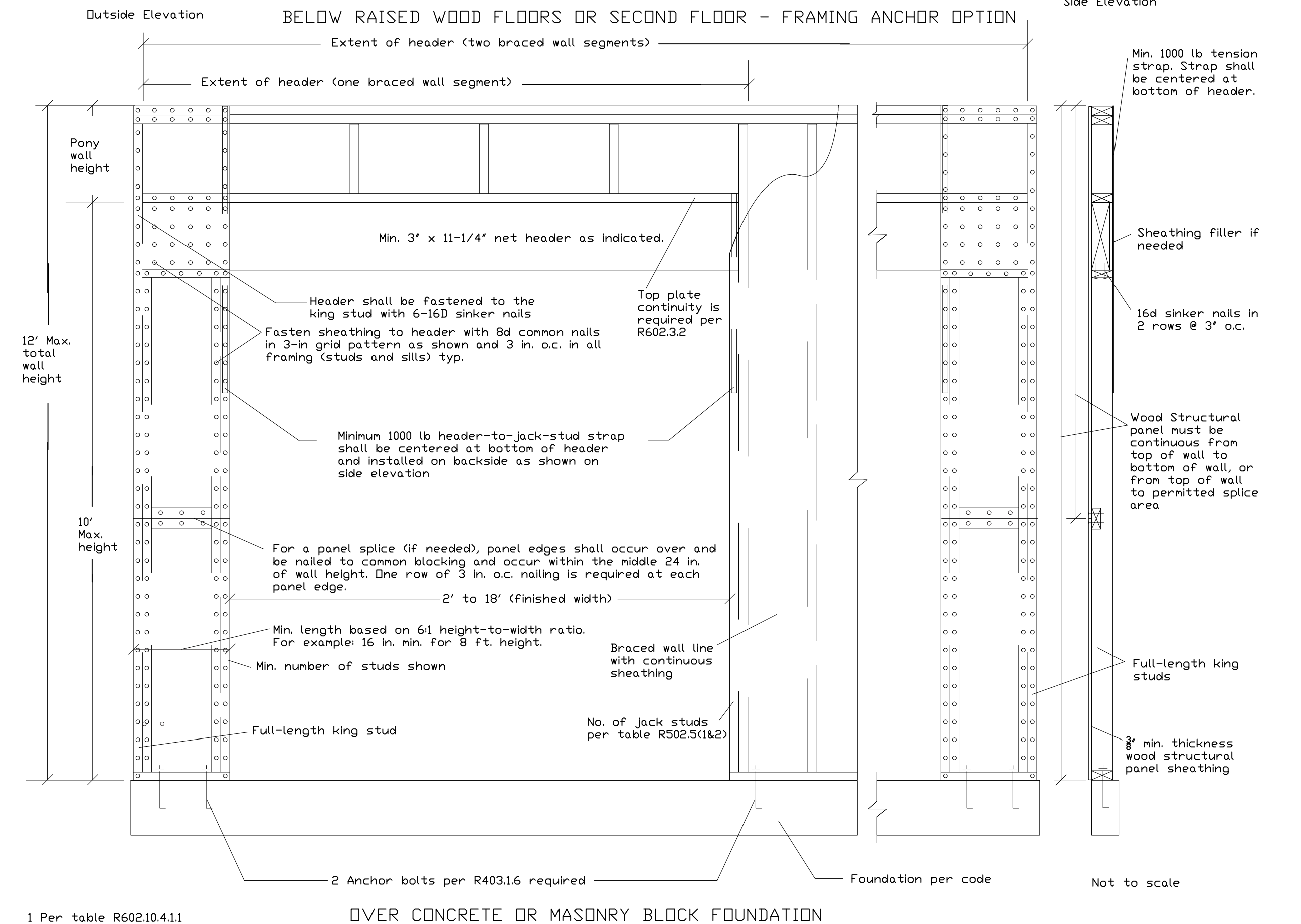
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FOUNDATION PLAN, ENGINEERING, STRUCTURAL ELEMENTS  
 1/4" = 1'-0"



1 INTERIOR BSMT., & 1ST. FLR. SECON DETAIL  
 3/4" = 1'-0"



2 GARAGE DOOR SHEAR WALL DETAILS  
 3/4" = 1'-0"

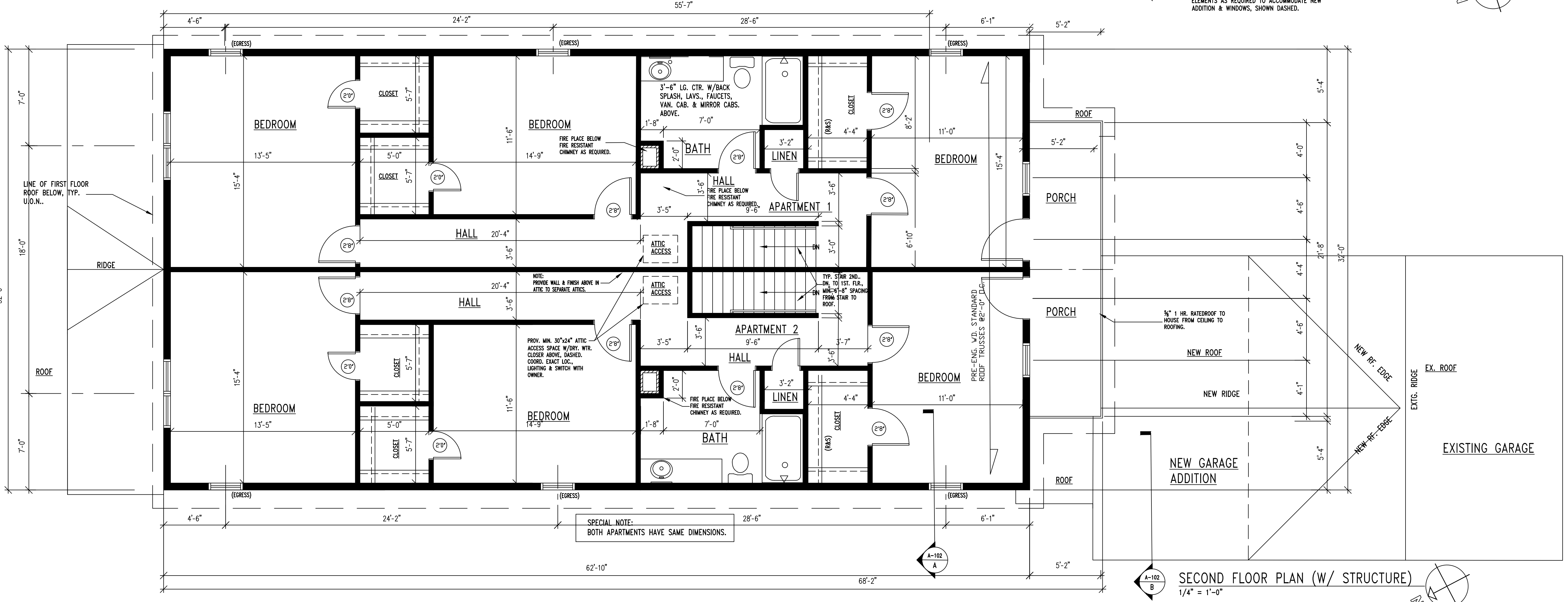
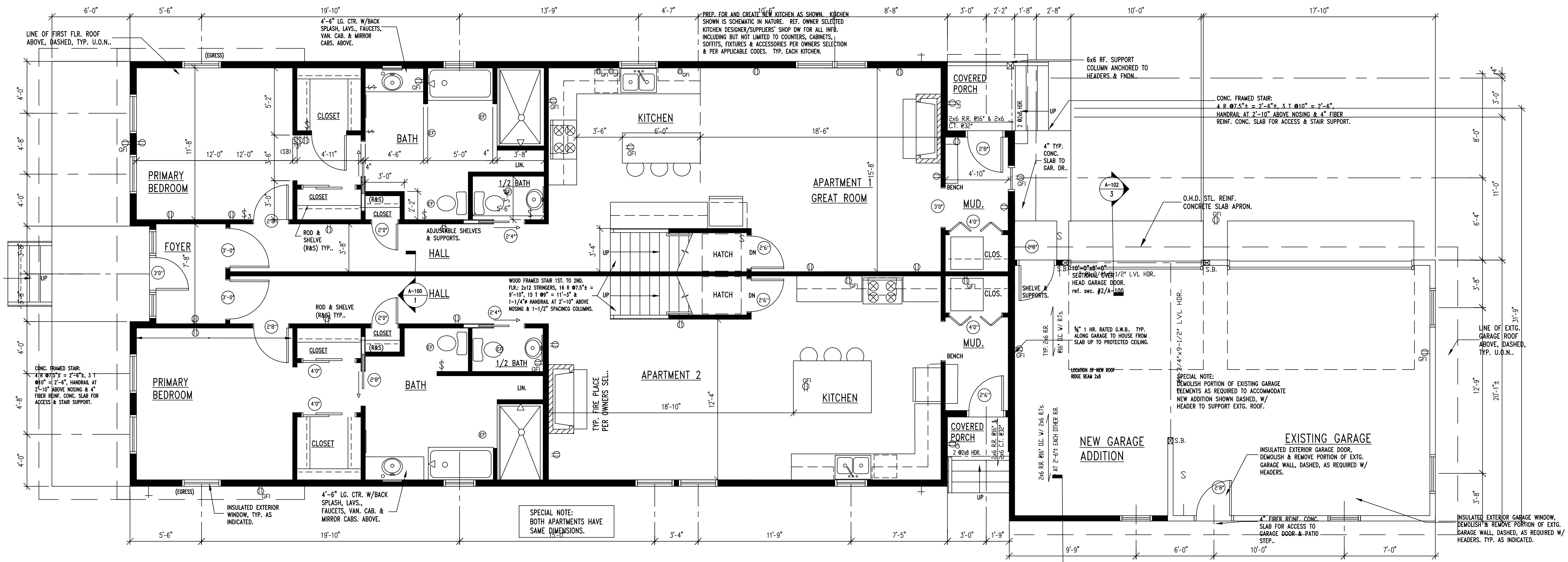
SPECIAL NOTE:  
 TYP STRUCT. GARAGE DOOR OPENING DETAILS  
 PER CODE COMPLIANCE. MODIFY AS  
 REQUIRED TO ACCOMMODATE GARAGE DOOR.



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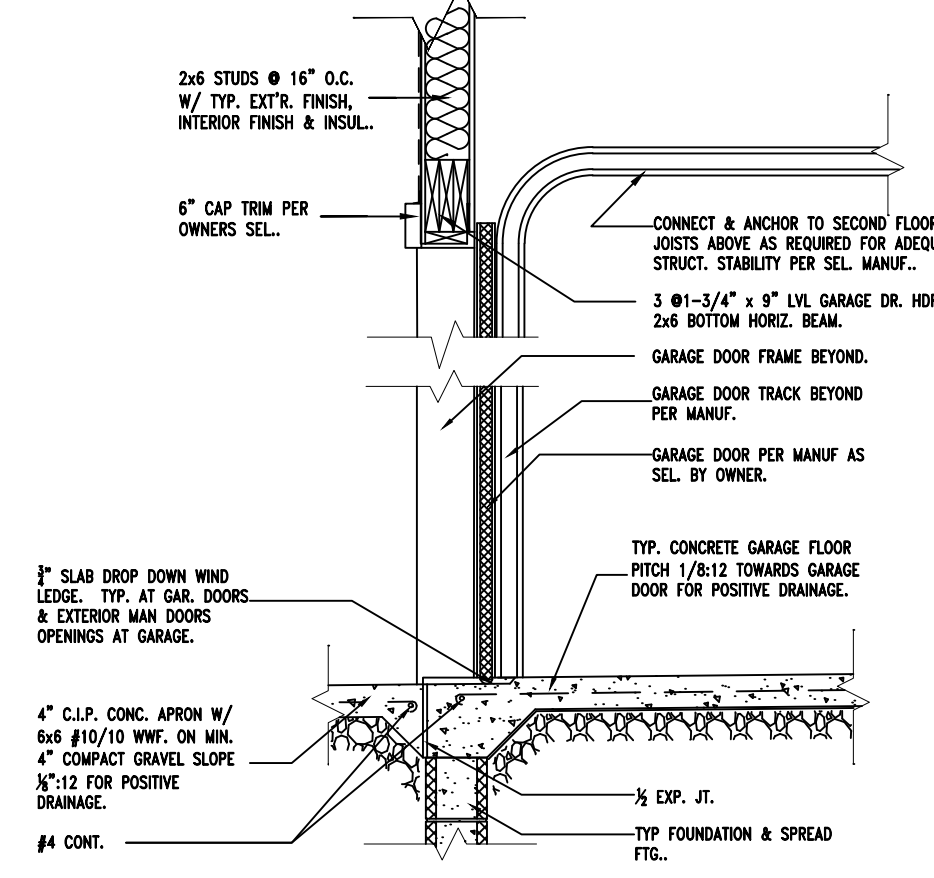
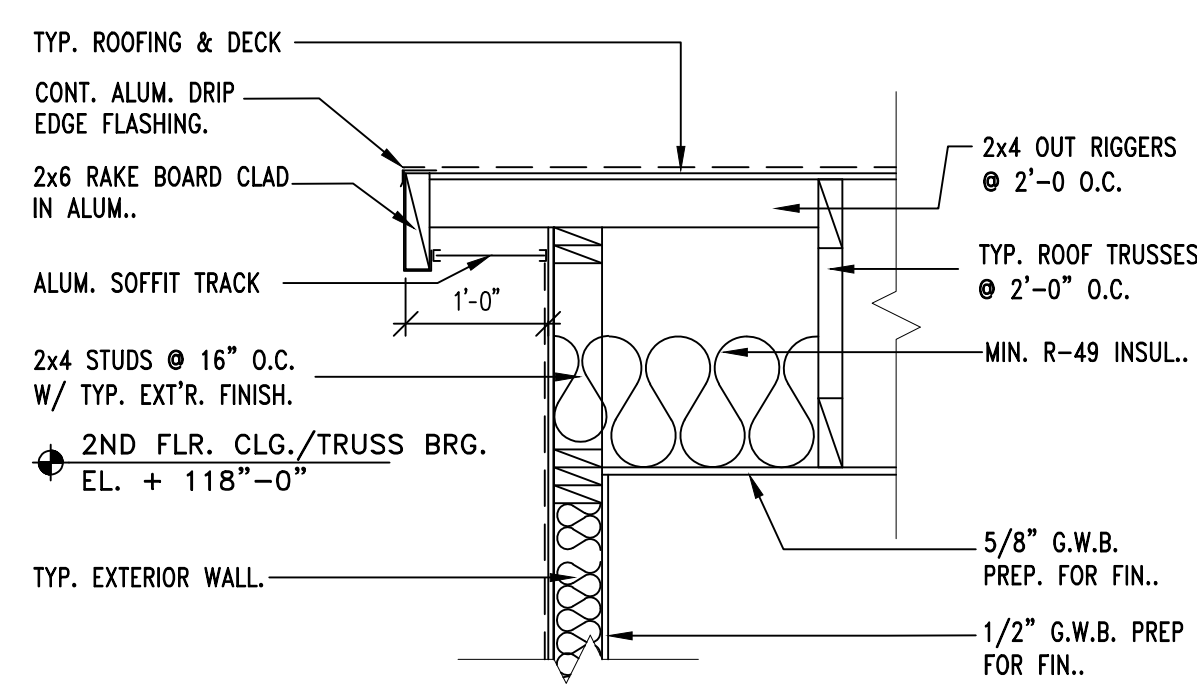
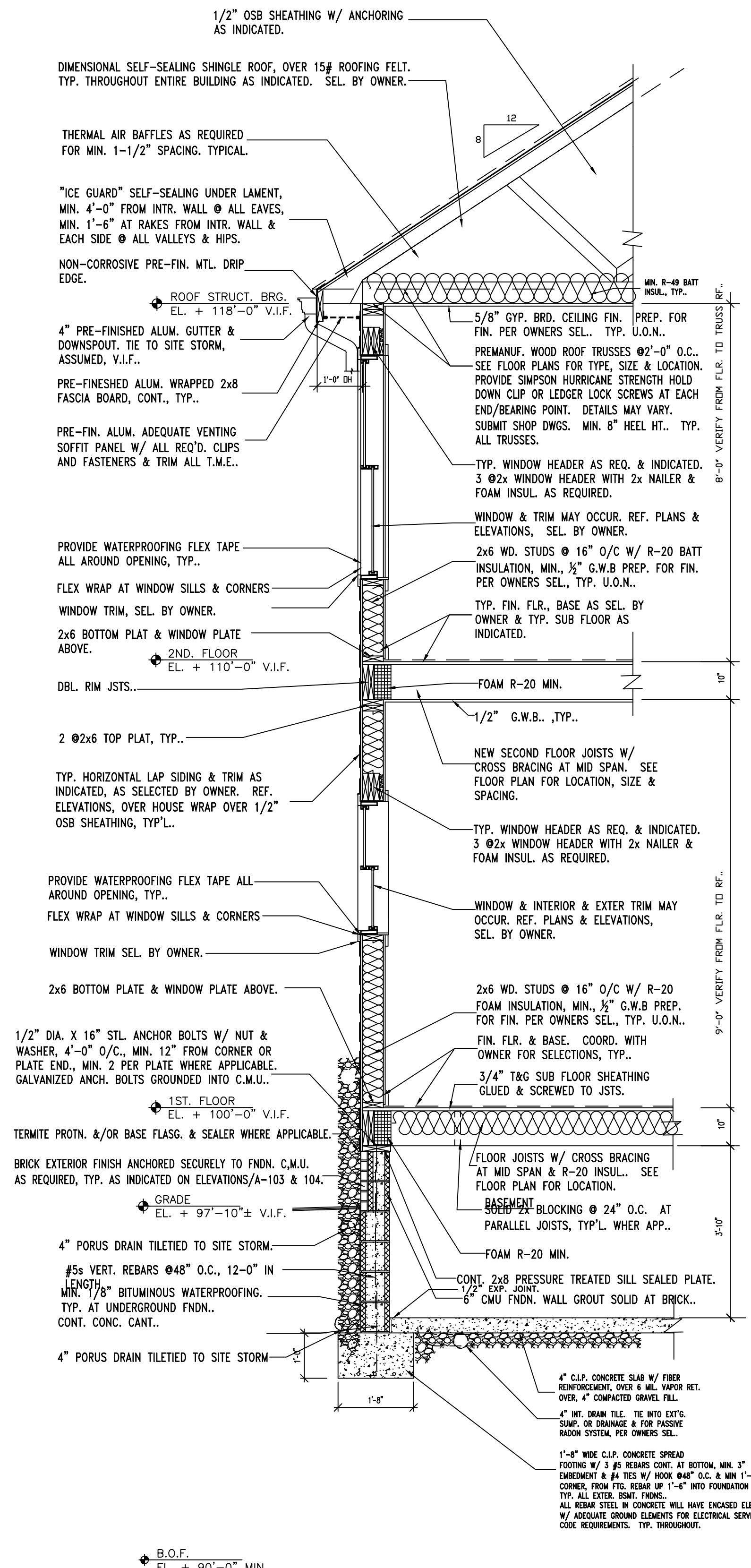
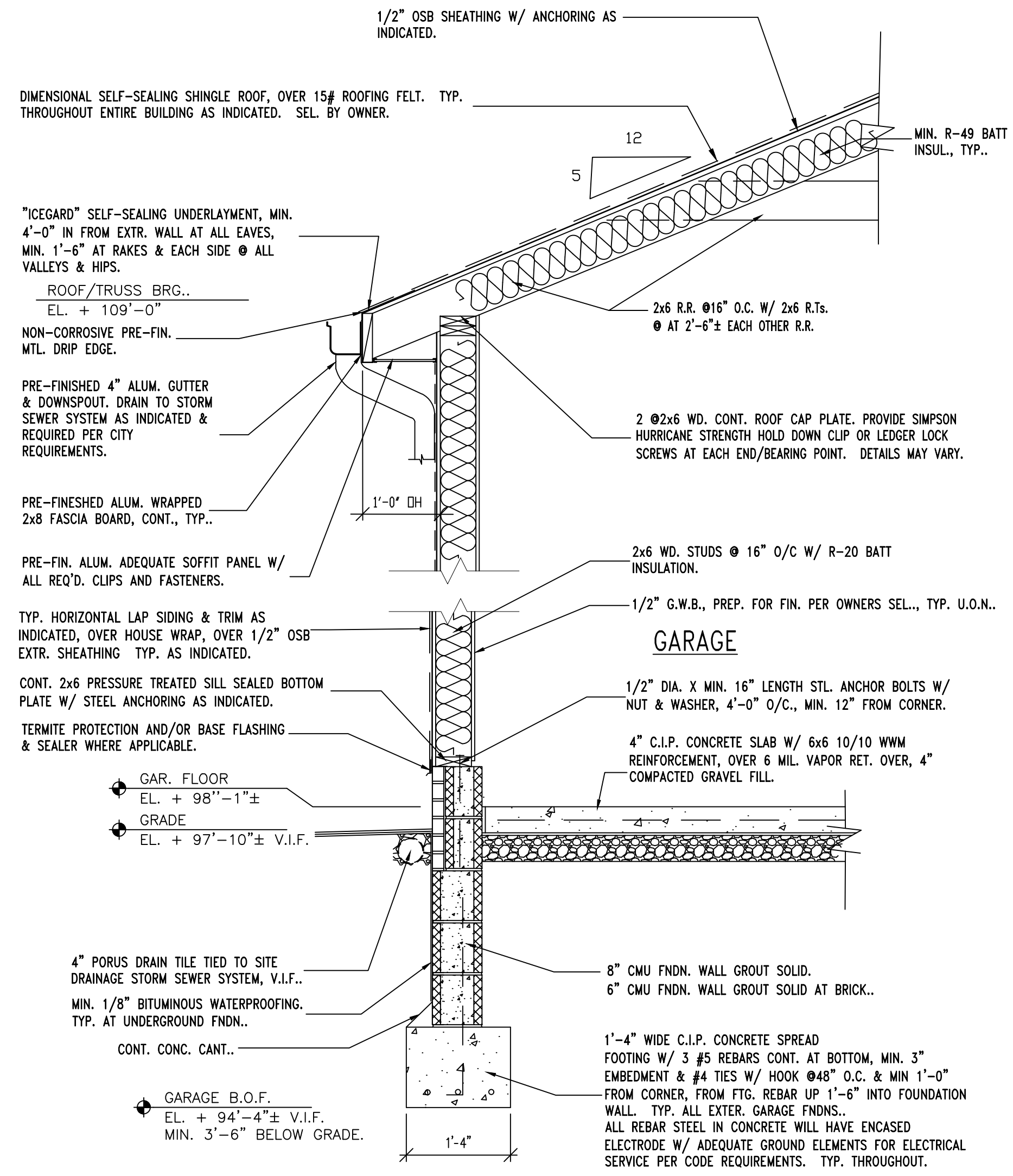
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Drawing Name

ELEVATIONS

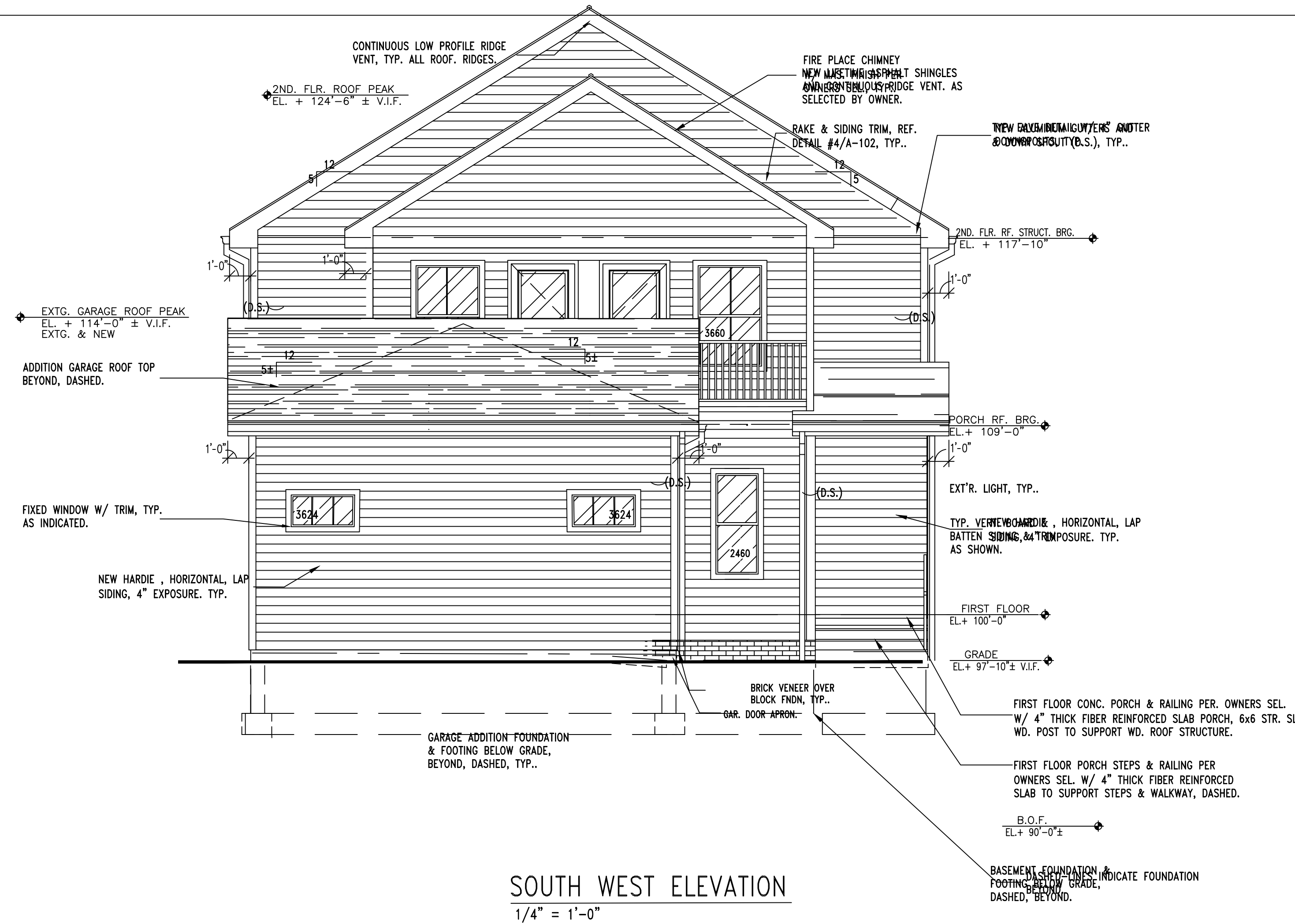
Fischer Project Number

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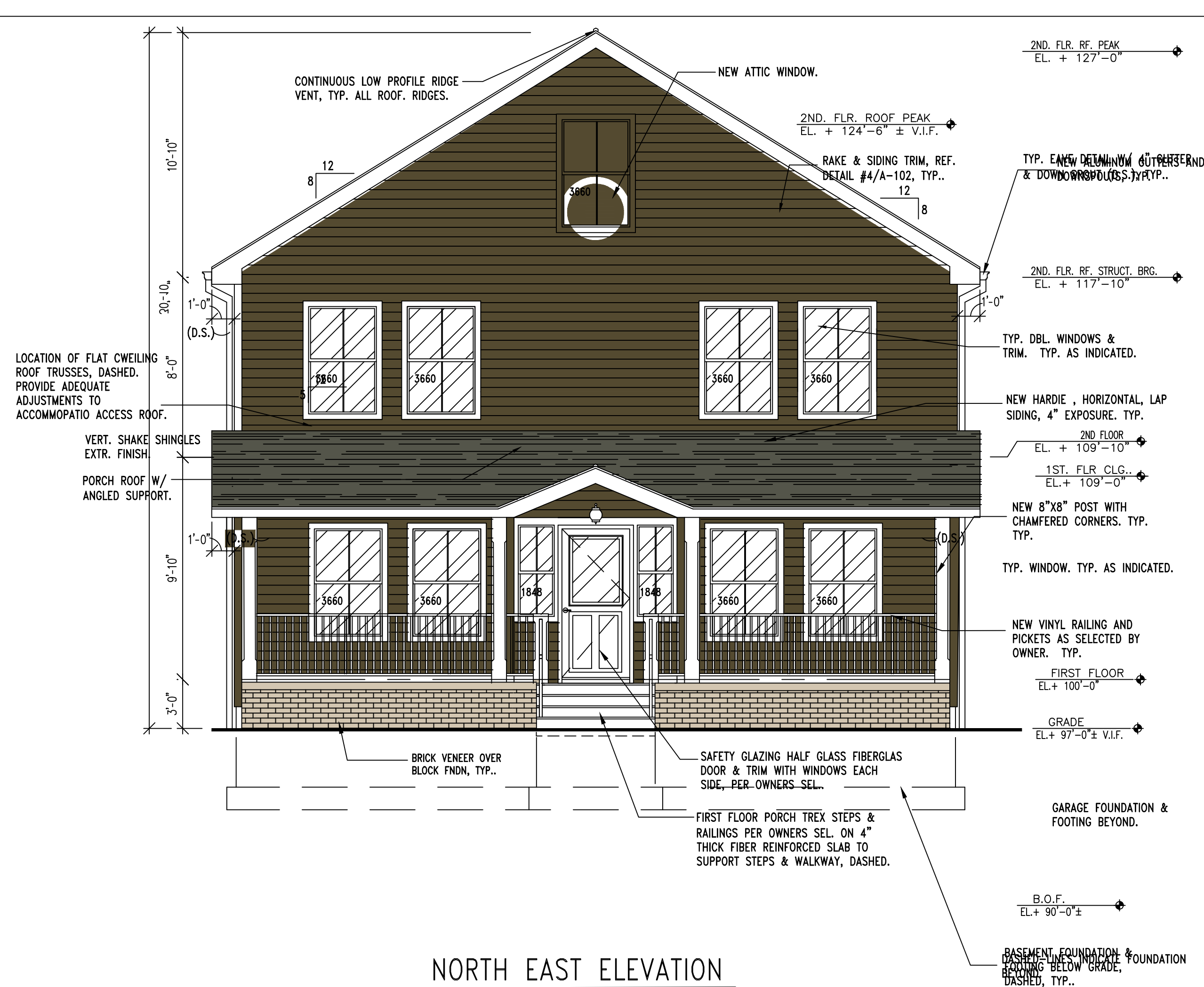
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A-104

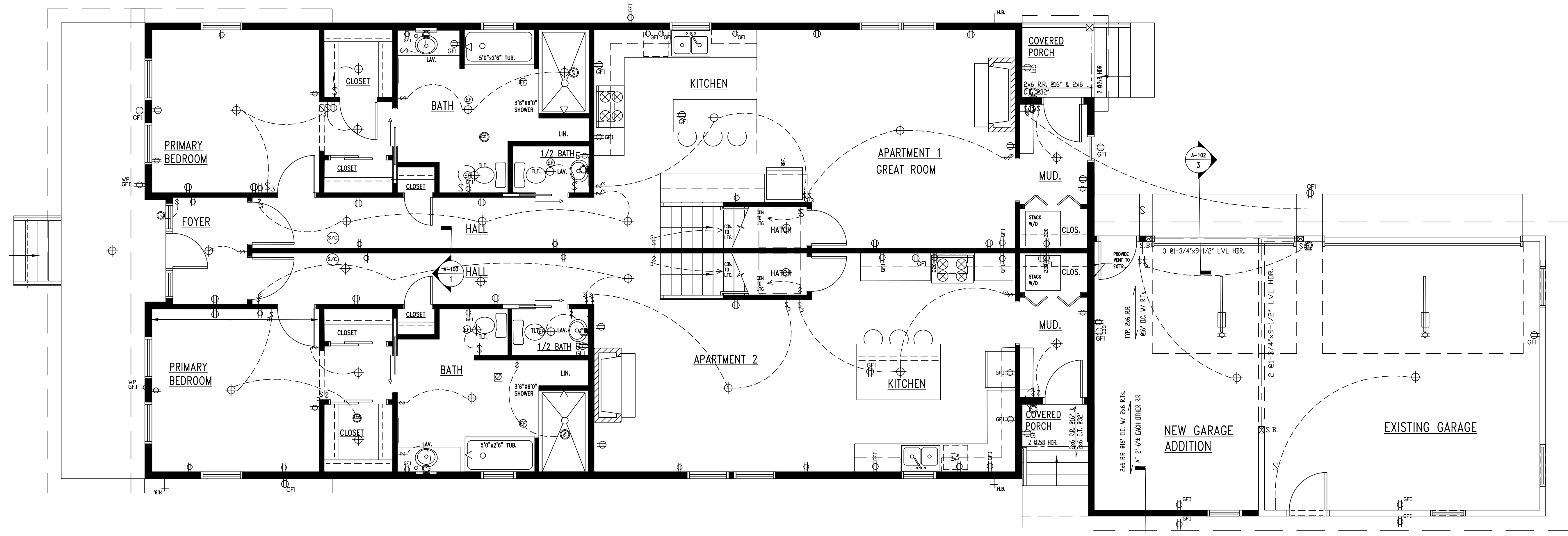
Seal



SOUTH WEST ELEVATION  
1/4" = 1'-0"



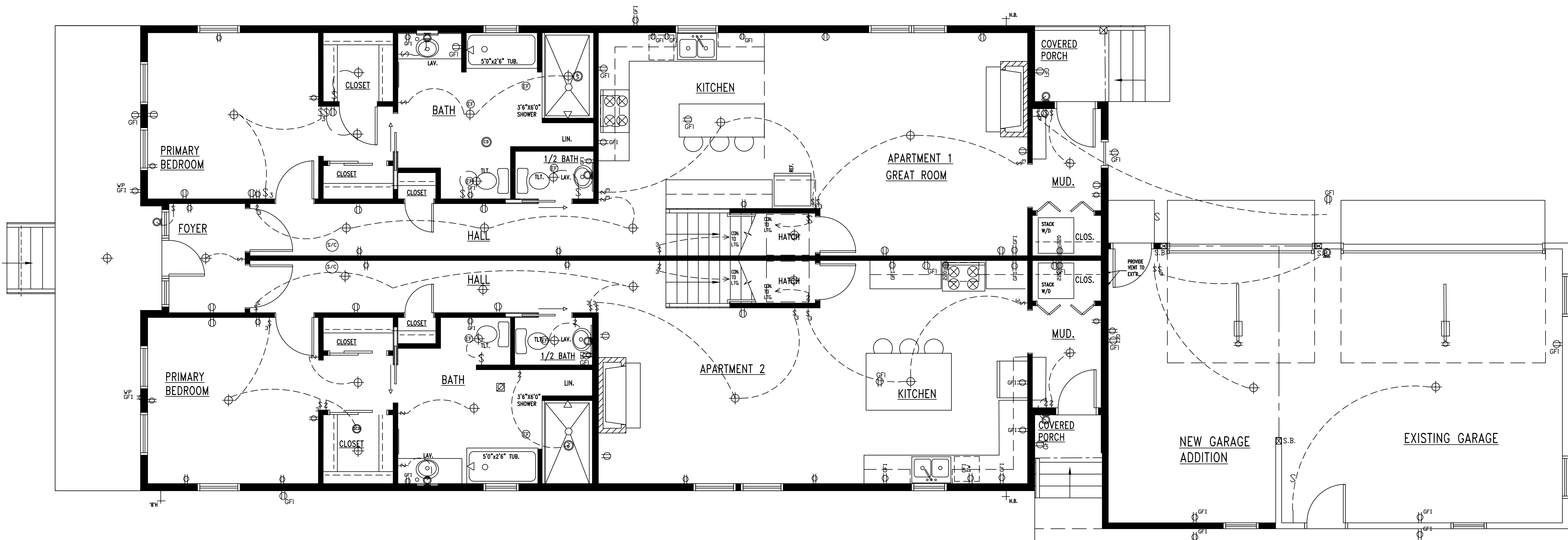
NORTH EAST ELEVATION  
1/4" = 1'-0"



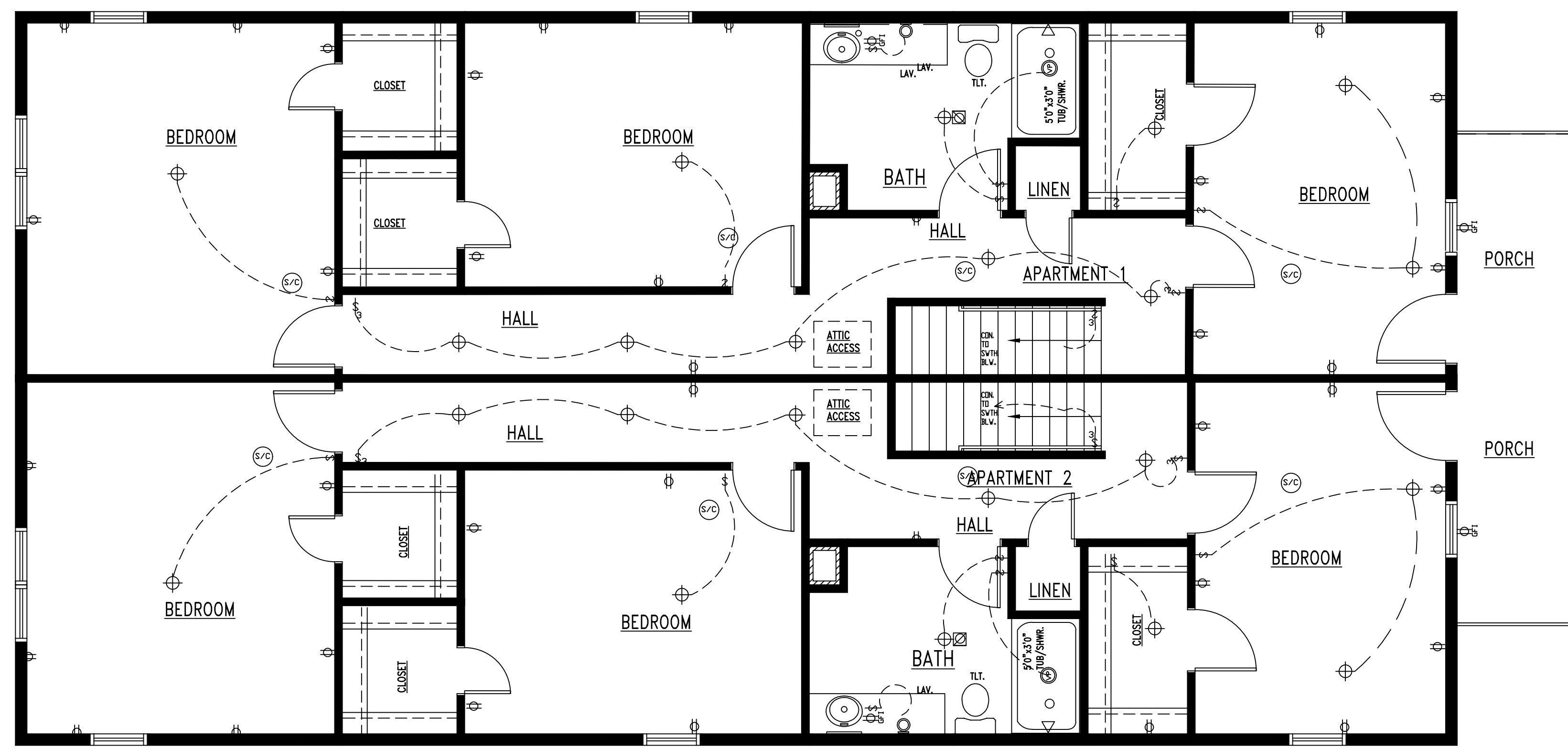
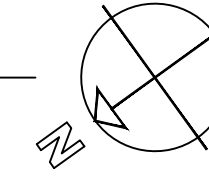
FIRST FLOOR ELECTRICAL PLAN  
1/4" = 1'-0"



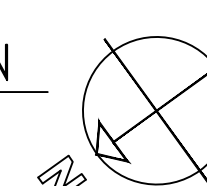
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FIRST FLOOR ELECTRICAL PLAN  
NO SCALE



SECOND FLOOR ELECTRICAL PLAN  
NO SCALE



ELECTRICAL SYMBOL LEGEND	
SYMBOL	DESCRIPTION
⊕	CEILING LIGHT
⊙	WALL MOUNT'D. WEATHER PROOF EXTERIOR LIGHT
⊕/⊙	CEILING FAN/LIGHT COMBO (F/L)
⊕	75 CFM EXHAUST FAN
⊕	VAPORPROOF LED
⊕	ELECTRIC PANEL
⊕	AFCI OUTLET
⊕	220V OUTLET
⊕	GFI OUTLET #3'-6" AFF. UDN.
⊕	WEATHERPROOF GFI OUTLET
⊕	LED SURFACE LIGHT
⊕	SWITCH
⊕	SWITCH 3-WAY
⊕	FAN SWITCH
⊕	COMBO SMOKE DETECTOR/ALARM & C/O DETECTOR/ALARM

SPECIAL FIXTURE NOTES:  
ALL CEILING FANS TO BE WIRED FOR FAN & LIGHT EACH ON THEIR OWN SWITCHES.  
PROVIDE EXHAUST FAN & GRILL WITH 4" DUCT EXTENDED TO WALL OR ROOF EXTERIOR WITH PRESSURE ACTIVATED VENT. TYP. AT ALL EXHAUST FAN LOCATIONS INDICATED. ALL CEILING FANS TO BE WIRED FOR FAN & LIGHT EACH ON THEIR OWN SWITCHES.  
PROVIDE CEILING MTD. LIGHT FIXTURES & SWITCH AT A ATTIC ACCESS. COORD. EXACT AMOUNT LIGHTS, LOCATION WITH OWNER.  
ALL ELECTRICAL FIXTURES AND LOCATIONS SHOWN ON PLANS ARE SCHEMATIC IN NATURE. FINAL SELECTION AND LOCATIONS SHALL BE BY OWNER PER APPLICABLE CODES.  
ELECTRICAL CONTRACTOR SHALL PROVIDE CIRCUITING AND PANEL BALANCING DIAGRAMS TO BUILDING ELECTRICAL DEPARTMENT. ALL IN COMPLIANCE WITH N.E.C.  
ALL POWER OUTLETS SHALL BE ARC RESISTANT.  
ALL LIGHTS SHALL BE LED.  
COMBO SMOKE DETECTOR/ALARM & C/O DETECTOR/ALARMS SHALL BE INTERCONNECTED, HARDWIRED W/ BATTERY BACKUP. EACH OUTSIDE SLEEPING AREA SHALL INCLUDE PHOTO ELECTRIC TECH.  
ALL G.F.I. & WP GFI OUTLETS SHALL BE WATER & WEATHER PROTECTED AS REQUIRED PER APPLICABLE CODE COMPLIANCE.

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**SPECIFICATIONS – ELECTRICAL WORK**

- THE GENERAL CONDITIONS OF THE CONTRACT, THE SUPPLEMENTARY CONDITIONS AND ALL THE SECTIONS OF DIVISION 1, TOGETHER WITH THE FOLLOWING SPECIFICATIONS ARE A PART OF THE CONTRACT FOR THE WORK COVERED HEREIN. PROVIDE AS-BUILT DRAWINGS, GUARANTEE ALL MATERIAL AND LABOR FOR ONE YEAR FROM DATE OF PROJECT ACCEPTANCE BY OWNER. REPAIR ALL DEFECTIVE MATERIAL AT NO CHARGE DURING GUARANTEE PERIOD.
- THE ELECTRICAL CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS. NO ADDITIONAL COMPENSATION SHALL BE AWARDED WHERE EXTRA LABOR OR MATERIAL ARE REQUIRED BECAUSE OF UNFAMILIARITY.

ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES AND ORDINANCES. THE ELECTRICAL CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS AND INSPECTIONS REQUIRED TO PERFORM THE ELECTRICAL WORK.

THE DRAWINGS INDICATE DIAGRAMMATICALLY THE LOCATION OF ELECTRICAL DEVICES, EQUIPMENT AND FIXTURES, AND THE METHOD OF CONNECTION. THE DRAWINGS DO NOT INDICATE EVERY CONNECTION IN DETAIL OR ALL FITTINGS FOR A COMPLETE SYSTEM. MATERIAL OR LABOR WHICH IS NOT INDICATED ON THE DRAWINGS OR INCLUDED IN THE SPECIFICATIONS, BUT IS ABSOLUTELY NECESSARY TO COMPLETE THE WORK, SHALL BE PROVIDED.

BRING CONFLICTS TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION BEFORE SIGNING THE CONTRACT OR PROCEEDING WITH THE WORK. FAILURE TO NOTIFY THE ARCHITECT IN WRITING WILL CAUSE THE ARCHITECT'S INTERPRETATION OF THE CONTRACT DOCUMENTS TO BE FINAL.

THE ELECTRICAL CONTRACTOR SHALL REFER TO PLANS AND SPECIFICATIONS OF THE OTHER TRADES FOR ELECTRICAL WORK PERTAINING TO THE INSTALLATION OF OTHER TRADES. COORDINATE WITH THE GENERAL CONTRACTOR AND OTHER SUBCONTRACTORS TO RESOLVE INTERFERENCE'S WITHOUT ADDITIONAL COST TO THE OWNER.

- THE SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO WHERE APPLICABLE:
  - POWER BRANCH CIRCUIT PANELBOARDS, FEEDERS, CONDUIT, BRANCH CIRCUITS, OUTLETS AND WIRING.
  - LIGHTING FIXTURES, LAMPS, MOUNTING HARDWARE, CONDUIT & WIRING.
  - EMERGENCY LIGHTING INCLUDING TESTING.
  - ALL EXCAVATION, CONCRETE AND BACKFILL WORK; ALL CHANNELING, CONCRETE PATCHING WORK REQUIRED FOR ELECTRICAL WORK EXCLUSIVELY.
  - NECESSARY CABINETS AND PULL BOXES.
  - CONNECTION OF ALL HVAC AND PLUMBING EQUIPMENT PER MANUFACTURER'S DRAWINGS. REFER TO MECHANICAL DRAWINGS AND SPECIFICATIONS.
  - TEMPORARY CONSTRUCTION POWER AND LIGHTING TO ACCOMMODATE ALL TRADES.
  - GROUNDING OF ALL SYSTEMS AND EQUIPMENT.
- ALL EQUIPMENT AND MATERIAL SHALL BE NEW AND BEAR U.L. LABELS AND LISTINGS.
- SUBMIT 6 SETS OF SHOP DRAWINGS FOR ALL EQUIPMENT PRIOR TO ORDERING FOR THE PROJECT.

COORDINATE WORK WITH THE OTHER TRADES FOR SPACE REQUIREMENTS, DISCREPANCIES OR CONFLICT OF WORK. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING AND PATCHING REQUIRED FOR THE INSTALLATION OF THE ELECTRICAL WORK. VERIFY EXACT LOCATIONS OF DEVICES WITH ARCHITECT PRIOR TO ROUGH-IN.

ROMEX MAY BE USED WHERE ALLOWED BY CODE. ANY CONDUIT SHALL BE E.M.T. WITH SET SCREW FITTINGS CONCEALED ABOVE GRADE. CONDUIT SUPPORTS, FASTENERS, ETC. SHALL BE GALVANIZED AND CORROSION RESISTANT. SUPPORT CONDUIT FROM BUILDING STRUCTURE ONLY. DO NOT USE CEILING HANGER WIRES THE USE OF PERFORATED METAL STRAPS IS NOT PERMITTED ON THE PROJECT. CONDUITS INSTALLED BELOW GRADE OR FLOOR SLAB SHALL BE PVC SCHEDULE 40 WITH RGS-UL-6 TRANSITION PRIOR TO EXITING ABOVE GRADE. PROVIDE & INSTALL YELLOW MARKER TAPE IN ALL EXTERIOR CONDUIT TRENCHES. 12" BELOW GRADE. ABSOLUTELY NO PVC SHALL BE PERMITTED ABOVE FLOOR LINE WITHIN BUILDING. TYPE NM CABLE IS NOT PERMITTED ON THE PROJECT. OUTLET BOXES IN DRY LOCATIONS SHALL BE GALVANIZED STEEL TYPE, 1-1/2" DEEP MINIMUM. SINGLE OR GANG STYLE OF SIZE TO ACCOMMODATE DEVICES NOTED. BOXES SHALL BE EQUIPPED WITH PLASTER RINGS AS NECESSARY.

ROMEX FOR HVAC AND PLUMBING EQUIPMENT CONNECTIONS SHALL BE LIQUID TIGHT FLEXIBLE METAL CONDUIT, 1/2" MINIMUM SIZE.

FIRE STOP ALL FIRE RATED FLOOR AND WALL PENETRATIONS PER UL APPROVED METHOD, SUCH AS RTV FOAM (NON-DELETERIOUS). CONDUIT STUBS FOR TELEPHONE SHALL BE SEALED BY ELECTRICAL CONTRACTOR WITH RTV FOAM AFTER CABLE INSTALLATION BY RESPECTIVE CONTRACTORS. RACEWAY PASSING FROM THE INTERIOR TO THE EXTERIOR OF THE BUILDING SHALL BE FILLED WITH AN APPROVED MATERIAL TO PREVENT THE CIRCULATION OF WARM AIR TO A COLDER SECTION OF THE RACEWAY.

ROMEX MAY BE USED WHERE ALLOWED BY CODE. WIRE SHALL HAVE SOLID OR STRANDED COPPER CONDUCTORS FOR #10 AND #12 WIRE AND STRANDED COPPER CONDUCTORS FOR WIRE #8 AND LARGER. WIRE SHALL HAVE 600VOLT THHN/THWN INSULATION. MINIMUM SIZE WIRE SHALL BE #12 AWG. TAG ALL CONDUCTORS AT TERMINATIONS AT JUNCTION BOXES WITH BRADY LABELS. TORQUE TERMINATION'S PER MANUFACTURER'S RECOMMENDATIONS.

COLOR CODE WIRING AS FOLLOWS: 240/120 VOLTS  
 BLACK A WHITE N  
 RED B GREEN C

- PANEL DIRECTORIES SHALL BE TYPED. PROVIDE AND INSTALL ENGRAVED PHENOLIC NAME PLATES FOR MOTOR STARTERS, PANELBOARDS, SAFETY SWITCHES, ETC.
- TEST WIRING SYSTEMS FOR SHORTS AND GROUNDS PRIOR TO ENERGIZING CIRCUITS. CONNECT ALL HVAC EQUIPMENT PER APPROVED MANUFACTURER'S DRAWINGS. TEMPERATURE CONTROL WIRING, CONDUIT AND DEVICES SHALL BE FURNISHED AND INSTALLED BY HVAC CONTRACTOR. SEE MECHANICAL SPECIFICATIONS.
- ALL EQUIPMENT INSTALLED ON EXTERIOR SHALL BE WEATHERPROOF. EXTERIOR BUILDING DEVICES AND FIXTURES SHALL BE SECURED WITH STAINLESS STEEL SCREWS, PENETRATE ROOF, WHERE NECESSARY, WITH PATE CURBS. COORDINATE LOCATION WITH ARCHITECT AND ROOFING CONTRACTOR.
- VERIFY CEILING CONSTRUCTION WITH THE GENERAL CONTRACTOR & COORDINATE LIGHT FIXTURE MOUNTING WITH CEILING CONSTRUCTION. SUPPORT ALL RECESSED LIGHTING FIXTURES INDEPENDENTLY OF CEILING SUSPENSION SYSTEMS. INSTALL LIGHT FIXTURES TO PRECLUDE CONTACT WITH INSULATION MATERIAL.
- WIRING DEVICE COVER PLATES SHALL BE SMOOTH, HIGH IMPACT, NYLON, WORKY COLOR. WIRING DEVICES SHALL BE AS LISTED IN THE SYMBOL LEGEND ON THE DRAWINGS. THE WIRING DEVICES LISTED ARE INDICATED TO DEFINE THE TYPE AND QUALITY OF EQUIPMENT REQUIRED. THE ELECTRICAL CONTRACTOR MAY SUBMIT SIMILAR WIRING DEVICES AS MANUFACTURED BY COOPER WIRING DEVICES OR PASS & SEYMOUR.
- GROUNDING OF EQUIPMENT AND DEVICES SHALL COMPLY WITH N.E.C. ARTICLE 250 AND AUTHORITY HAVING JURISDICTION. PROVIDE AND INSTALL A SEPARATE EQUIPMENT GROUNDING CONDUCTOR IN ALL CONDUITS. PROVIDE GROUNDING OF FOUNDATION REINF. PER N.E.C. 250.52.
- THE ELECTRICAL CONTRACTOR IS CAUTIONED THAT THE BUILDING IS OCCUPIED AND WORK SHALL NOT INTERFERE WITH THE NORMAL OPERATION OF THE BUILDING AND ITS TENANTS. THE PROJECT SHALL BE MAINTAINED AT ALL TIMES BY A COMPETENT FOREMAN.

**SPECIFICATIONS – MECHANICAL WORK**

- GENERAL
  - THE WORK SHALL INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES NECESSARY FOR THE INSTALLATION OF H.V.A.C., AND PLUMBING SYSTEMS AS SHOWN ON DRAWINGS AND SPECIFIED HEREIN.
  - ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL AND STATE CODES AND ORDINANCES. MECHANICAL CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES, LICENSES, INSPECTIONS, ETC., AS REQUIRED FOR COMPLETION OF ALL WORK.
  - MECHANICAL CONTRACTOR SHALL VISIT SITE BEFORE SUBMITTING HIS BID, AND NOTE THE WORK THAT WILL BE REQUIRED, AND THE NATURE OF THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. NO CLAIMS FOR EXTRA COMPENSATION DUE TO UNFAMILIARITY WITH EXISTING CONDITIONS AND/OR DESIGN DRAWINGS OR SPECIFICATIONS WILL BE CONSIDERED.
  - CUTTING AND PATCHING OF STRUCTURES AS REQUIRED FOR THE INSTALLATION OF WORK SHALL BE INCLUDED IN THIS CONTRACT.
  - MECHANICAL CONTRACTOR SHALL INCLUDE ALL EXCAVATION AND BACKFILLING REQUIRED FOR UNDERGROUND PIPING.
  - ALL MATERIALS USED FOR THIS WORK SHALL BE NEW AND BEAR U.L. LABEL WHEN REQUIRED.
  - MECHANICAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL EQUIPMENT, MATERIALS AND HVAC DUCTWORK LAYOUT FOR APPROVAL PRIOR TO INSTALLATION.
  - ANY SUBSTITUTIONS OF MATERIALS OR EQUIPMENT SPECIFIED MUST BE APPROVED BY OWNER.

MECHANICAL CONTRACTOR SHALL GUARANTEE ALL WORK, INCLUDING MATERIAL AND WORKMANSHIP, FOR A PERIOD OF ONE (1) YEAR AFTER FINAL ACCEPTANCE BY THE OWNER.

PLUMBING & ACCESSORIES

- SANITARY WASTE & VENT PIPING & FITTINGS SHALL BE PVC SCHEDULE 40 DRAINAGE PIPE AND FITTINGS WITH SOLVENT WELD JOINTS. PLASTIC PIPE IS NOT PERMITTED IN RETURN AIR CEILING FLEUMS. WASTE AND VENT PIPING IN RETURN AIR FLEUM AND WHERE PVC IS NOT ALLOWED SHALL BE "NO-HUB" CAST IRON STANDARD WEIGHT WITH CAST IRON FITTINGS.
- DOMESTIC WATER: COPPER TYPE "L" HARD, WITH WROUGHT COPPER FITTINGS, 95-5 SOLDER JOINTS, 2" AND SMALLER UNDER FLOOR SHALL BE TYPE "K" SOFT COPPER.
- VALVES: GATE - 2" AND SMALLER CRANE #428, GLOBE - 2" AND SMALLER CRANE #7, CHECK VALVE - 2" AND SMALLER CRANE #57, GAS COCK - CRANE #1228. EQUIVALENT VALVES BY POWELL OR FAIRBANKS ARE ACCEPTABLE.
- HANGERS: INSULATED HANGERS - GRINNELL FIGURE 260. PROVIDE 18 GAUGE GALVANIZED STEEL SHIELD OVER INSULATION. UNSHIELDED HANGERS - GRINNELL FIGURE 260, SPACED AT 10'-0" O.C. FOR PIPES 1-1/2" AND LARGER AND 6'-0" O.C. FOR PIPES 1-1/4" AND SMALLER.
- SLEEVES: PROVIDE SLEEVES FOR ALL PIPES PASSING THROUGH WALLS AND FLOORS, SCHEDULE 40, MACHINE CUT PIPE. SLEEVE SIZED TO PROVIDE MINIMUM 1/4" CLEARANCE ON ALL SIDES OF INSULATED AND NON-INSULATED PIPES, WITH ENDS OF SLEEVES PARTITION FACE. THE VOID BETWEEN SLEEVE AND PIPE SHALL BE SEALED WITH NON-COMBUSTIBLE MATERIAL TO MAINTAIN INTEGRITY OF FIRE RATING.

PLUMBING FIXTURES: FURNISH AND INSTALL PLUMBING FIXTURES COMPLETE WITH TRIM, HANGERS, CARRIERS, TRAPS, SUPPLIES, STOP VALVES, ANCHORS, AND SUPPORTS. EXPOSED TRIM SHALL BE CHROME PLATED. PROVIDE CHROME PLATED ESCUTCHEONS AT ALL PIPES PENETRATING WALLS. FAUCETS SHALL HAVE REMOVABLE SEATS AND DISCS. FLUSH VALVES SHALL HAVE STOPS, VACUUM BREAKERS AND METAL HANDLES. FIXTURES SHALL BE KOHLER, CRANE OR AMERICAN STANDARD.

- FLOOR DRAIN: JOSAM SERIES 30000-S WITH DOUBLE DRAINAGE FLANGE, SATIN BRONZE STRAINER AND TRAP PRIMER CONNECTION.
- CLEANOUT: FLUSH FLOOR TYPE JOSAM #58000 SATIN NIKALOX TOP AND MARKED "C.O.". WALL CLEANOUTS SHALL BE JOSAM #58770 WITH SQUARE ACCESS COVER, POLISH NIKALOY FINISH.
- SHOCK ABSORBERS: PROVIDE AND INSTALL ON BRANCH WATER LINE TO EACH GROUP OF FIXTURES A FACTORY-BUILT SHOCK ABSORBER TO PREVENT WATER HAMMER. ZURN Z-17W, JOSAM OR J.R. SMITH.
- WALL HYDRANT: NON-FREEZE WALL HYDRANT SHALL BE ZURN Z-1321 ANTI-SIPHON AND AUTOMATIC DRAINING.

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WALL HYDRANT: NON-FREEZE WALL HYDRANT SHALL BE ZURN Z-1321 ANTI-SIPHON AND AUTOMATIC DRAINING.

**SPECIFICATIONS – MECHANICAL WORK (CONTINUED)**

- TRAP PRIMER: PRECISION PLUMBING PRODUCTS, INC. MODEL "OREGON #1", ZURN OR JOSAM. UNIT SHALL BE ASSE APPROVED AND CAPABLE OF SERVING 1 TO 8 FLOOR DRAINS. INSTALL TRAP PRIMER WHERE SHOWN OR AS REQUIRED BY CODES. PRIMER SHALL BE ACCESSIBLE FOR SERVICE AND SHALL HAVE SHUT-OFF VALVE IN SUPPLY LINE FOR ISOLATION. INSTALL PER MANUFACTURERS RECOMMENDATIONS. PROVIDE TRAP PRIMER FOR ALL FLOOR DRAINS/SINKS SUBJECT TO EVAPORATION PER CODES.
- VENTS AND FLASHING: RUN 4" MINIMUM VENT UP THROUGH ROOF AND EXTEND MINIMUM 12" ABOVE ROOF AND PROVIDE FLASHING.
- DOMESTIC WATER SYSTEMS SHALL BE THOROUGHLY FLUSHED AND DISINFECTED BEFORE BEING PUT INTO SERVICE PER METHODS IN ANWA 651-85 PUBLICATION "A PROCEDURE FOR DISINFECTING WATER MAINS" OR AS REQUIRED BY GOVERNING CODE. THE CONTRACTOR SHALL SUBMIT WRITTEN STATEMENT CERTIFYING THAT SYSTEM HAS BEEN PROPERLY FLUSHED, PURGED AND DISINFECTED AND DATE WHEN WORK WAS PERFORMED.

H.V.A.C. WORK:

- SHEET METAL & ACCESSORIES:
  - ALL DUCTWORK SHALL BE MADE FROM GALVANIZED STEEL, WITH ALL CONSTRUCTION AND FITTINGS CONFORMING TO ASHRAE AND SMARMA RECOMMENDATIONS. JOINTS IN SUPPLY, RETURN, AND EXHAUST DUCTWORK SHALL BE SEALED WITH UNITED DUCT SEALANT OR HARD CAST TYPE. ALL ROUND DUCTWORK SHALL BE SPIRAL AS MANUFACTURED BY UNITED MCGILL CO., SEMCO, LINDAB, OR AS APPROVED. ROUND DUCTWORK SHALL HAVE TELESCOPIC JOINTS SEALED WITH UNITED DUCT SEALER. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
  - ALL SQUARE ELBOWS SHALL HAVE TURNING VANES, CURVED ELBOWS SHALL BE FULL RADIUS.
  - ALL DUCTS SHALL BE ISOLATED FROM FANS BY NEOPRENE FLEXIBLE CONNECTIONS.

FLEXIBLE DUCT SHALL BE LISTED BY U.L. AND CONFORM TO NFPA 90A. DUCT SHALL BE CLEVALFLEX TYPE 12TV, OR THERMAFLEX.

SUPPLY AIR DIFFUSERS IN LAY-IN CEILING: TYPE A TITUS MODEL TWS & TYPE B MODEL TDC DIFFUSERS WITH OPPOSED BLADE VOLUME DAMPERS. CEILING DIFFUSERS MODULE SHALL BE OF SIZE AS SHOWN ON DRAWINGS. SUPPLY AIR REGISTER SHALL BE TITUS 300 RS DOUBLE DEFLECTION WITH OPPOSED BLADE VOLUME DAMPER. EXHAUST OR RETURN AIR REGISTERS, TITUS MODEL 350RL WITH OPPOSED BLADE DAMPER. RETURN TRANSFER AIR GRILLES - TITUS 350RL, ALL WITH BAKED ENAMEL OFF-WHITE FINISH.

ALSO PROVIDE COMBUSTION, VENTILATION & DILUTION AIR FOR FUEL BURNING APPLICATIONS. PROVIDE COMBUSTION AIR OPENINGS IN THE AREA CONTAINING FURNACE AND WATER HEATER INCLUDING THE SPACE. OPENING SHALL BE 100 SQ. INCHES AS REQUIRED PER EQUIPMENT WITH 11" OF TOP & BOTTOM OF ENCLOSURE. ALL AS REQUIRED PER SELECTED MANUFACTURERS EQUIPMENT & APPLICABLE CODE (R2407.5.3.1)

PROVIDE FIRE DAMPERS AS SHOWN & REQUIRED BY APPLICABLE CODES. FIRE DAMPERS SHALL BE U.L. LISTED & INSTALLED PER MANUFACTURER'S REQUIREMENTS - RUSKIN 180-2 STYLE "B", CLASS "A".

INSTALL VOLUME DAMPER IN EACH BRANCH TAKE-OFF AND TITUS #40-45 EXTRACTORS.

BALANCING DAMPER IN RECTANGULAR DUCTS SHALL BE RUSKIN MODEL MD-36, ROUND DUCTS RUSKIN MODEL MDRS-25.

H.V.A.C. EQUIPMENT

- EXISTING OR NEW SPLIT AIR CONDITIONING UNIT/S PER OWNER SELECTED & H.V.A.C. CONTRACTOR. UTILIZE EXT'G. OR PROVIDE NEW SPLIT AIR CONDITIONING SYSTEM/S, INCLUDING HIGH EFFICIENCY CONDENSING FURNACE WITH ELECTRONIC IGNITED GAS BURNER, FILTERS, DX-COOLING COIL AND REMOTE AIR COOLED CONDENSING UNIT AND ROOM THERMOSTAT WITH SUB-BASE. FOR PERFORMANCE SPECIFICATIONS, SEE DRAWINGS TO ACCOMMODATE NEW ADDITION & REVISIONS. EXACT LOCATION OF FURNACE & A/C ELEMENTS SHALL BE SELECTED BY OWNER PER APPLICABLE CODES.

EXHAUST FANS, ELECTRIC HEATERS AND ALL OTHER EQUIPMENT SEE SPECIFICATIONS AND REF. FLOOR PLAN DRAWINGS.

**SPECIFICATIONS – MECHANICAL WORK (CONTINUED)**

- AUTOMATIC TEMPERATURE CONTROLS
  - FURNISH AND INSTALL ELECTRONIC/ELECTRIC CONTROL SYSTEM TO PERFORM THE FUNCTIONS AS DESCRIBED UNDER THE "SEQUENCE OF OPERATION".
  - CONTRACTOR SHALL SUBMIT COMPLETE SYSTEM DESIGN DRAWINGS, SEQUENCE OF CONTROLS, CATALOG CUTS OF ALL CONTROL COMPONENTS AND WIRING DIAGRAM.
  - ALL LOW VOLTAGE CONTROL WIRING SHALL BE IN CONDUITS AND PANELS AND CONTROL WIRING SHALL CONFORM TO N.E.C. CODES AND OTHER CODES HAVING JURISDICTION.
  - ROOM THERMOSTAT (HEATING/COOLING) SHALL BE PROVIDED BY THE AIR CONDITIONING UNIT MANUFACTURER. THERMOSTAT SHALL BE ELECTRONIC PROGRAMMABLE MICRO PROCESSOR BASED AND SHALL INCLUDE SUB-BASE WITH FAN "ON-AUTO" AND SYSTEM "HEAT-COOL-AUTO-OFF" SWITCHES.

SEQUENCE OF CONTROLS

- ACU-1 Split System:
  - THE UNIT SHALL BE TURNED "ON" AND "OFF" FROM ROOM THERMOSTAT. FAN SHALL RUN CONTINUOUSLY WHEN BUILDING IS OCCUPIED AND OUTSIDE AIR DAMPER SHALL BE OPEN. ROOM THERMOSTAT SHALL MAINTAIN THE "SET" TEMPERATURE BY CONTROLLING THE GAS BURNER FOR HEATING OR REFRIGERATION CYCLE FOR COOLING. PROVIDE NIGHT SET BACK CONTROLS FOR WINTER MONTHS. DURING NIGHT SET BACK CONTROLS, GAS BURNER AND FAN SHALL CYCLE TO MAINTAIN "SET" TEMPERATURE AND OUTSIDE AIR DAMPER SHALL BE FULLY CLOSED.
  - IONIZATION TYPE SMOKE DETECTOR COMPLETE WITH DUCT SAMPLING CHAMBER SHALL BE LOCATED IN THE RETURN AIR DUCT OF AC UNITS SMOKE DETECTOR SHALL STOP THE FAN AND CLOSE THE OUTSIDE AIR DAMPER, SMOKE DETECTOR SHALL STOP THE FAN AND CLOSE THE OUTSIDE AIR DAMPER, IF IT SENSES PRODUCTS OF COMBUSTION IN THE AIR STREAM. THIS ITEM FURNISHED AND INSTALLED BY THE ELECTRICAL CONTRACTOR.

EXHAUST FANS SHALL BE TURNED "ON" AND "OFF" THRU LOCAL LIGHT SWITCH.

INSULATION

INSULATION SHALL BE TESTED PER ASTM E-84 DESIGNATION AND SHALL MEET THE REQUIREMENTS OF FLAME SPREAD LESS THAN 25 AND SMOKE DEVELOPED LESS THAN 50.

DOMESTIC HOT AND COLD WATER PIPING SHALL BE INSULATED WITH ONE (1) INCH THICK FIBERGLASS 25 ASJ/SSL. PROVIDE VAPOR BARRIER JACKET FOR COLD WATER PIPING.

ALL SUPPLY AND RETURN AIR DUCTS SHALL BE INSULATED WITH ONE AND HALF (1-1/2") INCH FIBERGLASS BLANKET INSULATION WITH VAPOR BARRIER JACKET.

REFRIGERANT PIPING SHALL BE INSULATED WITH 1/2" ARMAFLEX INSULATION.

INSTALL INSULATION PER MANUFACTURER'S RECOMMENDATIONS.

TESTING AND AIR BALANCING

SANITARY SEWER AND GAS PIPING SHALL BE TESTED AS REQUIRED BY LOCAL PLUMBING CODES.

ALL WATER PIPING SHALL BE TESTED TO 125 PSIG HYDROSTATIC PRESSURE FOR SIX (6) HOURS BEFORE IT IS CONCEALED.

AIR BALANCING AND TESTING SHALL BE PERFORMED BY AN INDEPENDENT AGENCY THAT IS A MEMBER OF THE ASSOCIATED AIR BALANCE COUNCIL AND IN ACCORDANCE TO LATEST A.I.B.C. FORMS, COCHRAN AIR BALANCE, KAHOE AIR BALANCE CO., OR PROFESSIONAL BALANCE CO. ARE APPROVED MEMBERS.

AIR DELIVERIES FOR ALL FANS, DIFFUSERS AND GRILLES SHALL BE ADJUSTED, BALANCED AND GUARANTEED TO THE AIR QUANTITIES SHOWN ON THE DRAWINGS.

FOR EACH AIR HANDLING OR FAN DEVICE, LIST MAKE AND MODEL NUMBER, MOTOR DATA, DESIGN AND FIELD TESTED CFM, RPM, SUCTION, DISCHARGE AND TOTAL STATIC PRESSURES, MOTOR AMPS, VOLTS, PERCENT OF LOAD, BHP, ETC. FOR EACH DIFFUSER, REGISTER, AND GRILLE, PROVIDE MODEL, MAKE, SIZE, LOCATION, FACE VELOCITY AND CFM.

SUBMIT FINAL DATA IN BOUND FORM WITH HARD COVER AFTER COMPLETION OF AIR BALANCING.

ALL AUTOMATIC TEMPERATURE CONTROLS SHALL BE ADJUSTED AND SET FOR PROPER OPERATION.

**ENGINEERING COORDINATION:**

PLUMBING

PLUMBING SYSTEM IS EXISTING & NEW. MODIFY AS REQUIRED AND INDICATED TO ACCOMMODATE NEW LAYOUT WHERE APPLICABLE. NEW PLUMBING FIXTURES SELECTED BY OWNER.

COORDINATE WITH FLOOR PLAN ENGINEERING DRAWINGS/MPE-100 FOR EXT'G. ALTERATIONS & NEW ADDITION SCHEMATIC PLUMBING FIXTURE LOCATIONS AND INFORMATION. PLUMBING FIXTURE SELECTIONS BY OWNER PER APPLICABLE N.E.C. CODE.

PLUMBING WORK TO BE DONE BY LICENSED PLUMBING CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE CODE AND ORDINANCES.

PLUMBING CONTRACTOR IS RESPONSIBLE FOR ANY ADDITIONAL DRAWINGS, PERMITS AND FEES REQUIRED BY LOCAL OR STATE OFFICIALS HAVING JURISDICTION.

H. V. A. C.

H.V.A.C. SYSTEM IS EXISTING AND OR NEW. TYPICAL U.O.N.. MODIFY AS REQUIRED TO ACCOMMODATE EXT'G. ALTERATIONS & NEW ADDITION LAYOUT. REF. FLOOR PLAN ENGINEERING DRAWINGS/MPE-100 FOR BUILDING LAYOUT. COORD SYSTEM TYPE AND DETAILS WITH OWNER. SUBMIT SHOP DRAWINGS FILED UNDER SEPARATE PERMIT.

UPGRADE & REBALANCE EXT'G. OR PROVIDE NEW SYSTEM AS REQUIRED TO ACCOMMODATE ALTERATIONS TO EXISTING & NEW ADDITION LAYOUT PER OWNERS SELECTION. INSTALL PER SELECTED MANUFACTURERS' RECOMMENDATIONS, SPECIFICATIONS AND INSTALLATION INSTRUCTIONS. COORDINATE WITH OWNER FOR NUMBER AND LOCATION OF ZONES.

ALL HEATING & AIR CONDITIONING WORK TO BE DONE BY LICENSED MECHANICAL CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE CODE AND ORDINANCES.

MECHANICAL CONTRACTOR IS RESPONSIBLE FOR ANY ADDITIONAL DRAWINGS, PERMITS AND FEES REQUIRED BY LOCAL OR STATE OFFICIALS HAVING JURISDICTION.

ELECTRICAL

ELECTRICAL SYSTEM IS EXISTING AND NEW. MODIFY AS REQUIRED AND INDICATED TO ACCOMMODATE NEW LAYOUT.

COORDINATE WITH FLOOR PLAN ENGINEERING DRAWINGS/MPE-100 FOR EXT'G. ALTERATIONS & NEW ADDITION SCHEMATIC ELECTRICAL FIXTURE LOCATIONS AND INFORMATION. ELECTRICAL FIXTURE SELECTION BY OWNER PER APPLICABLE N.E.C. CODE.

ALL ELECTRICAL WORK TO BE DONE BY LICENSED ELECTRICAL CONTRACTOR ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES.

ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY ADDITIONAL DRAWINGS, PERMITS AND FEES REQUIRED BY LOCAL OR STATE OFFICIALS HAVING JURISDICTION.

SPECIAL

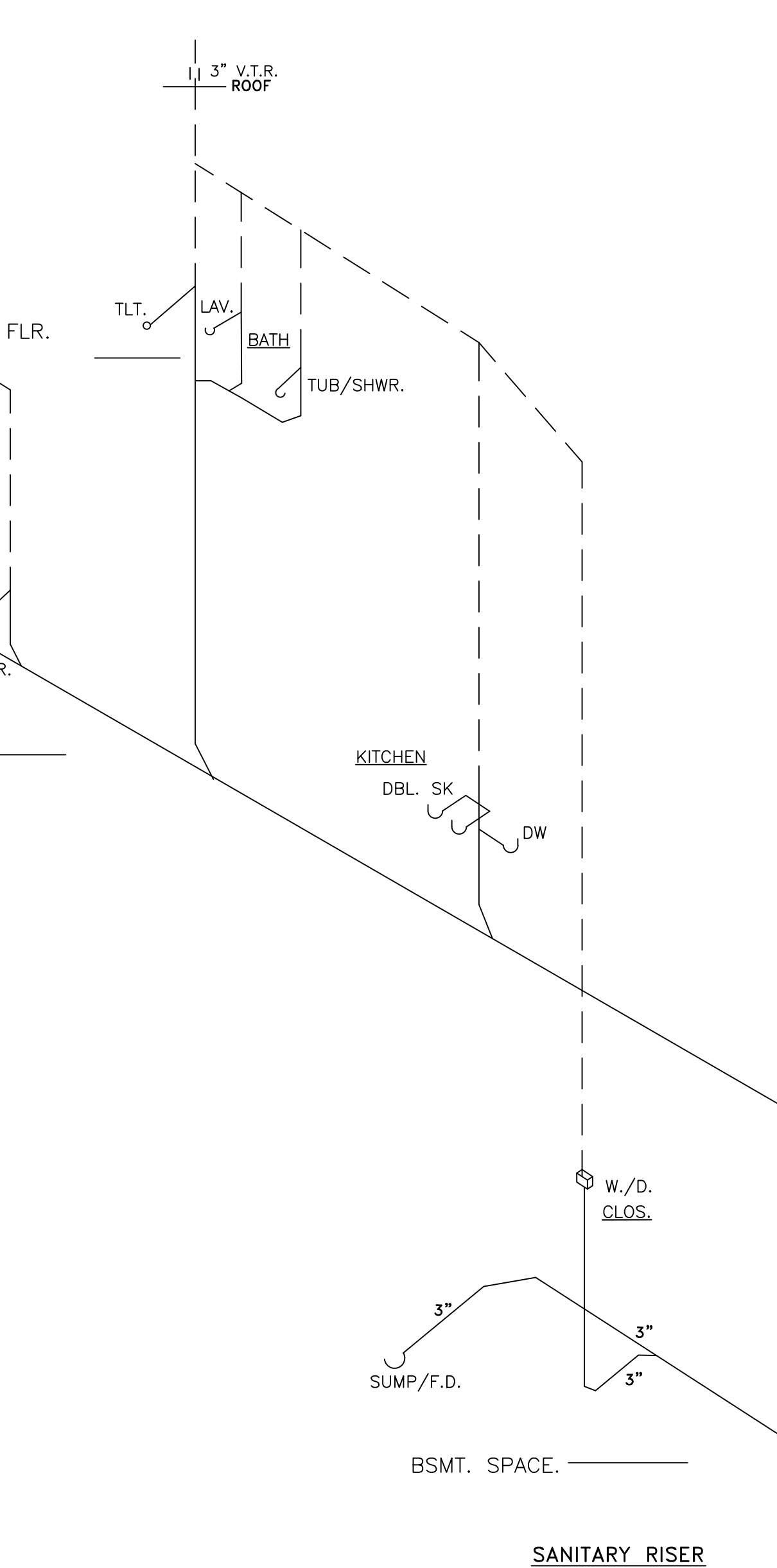
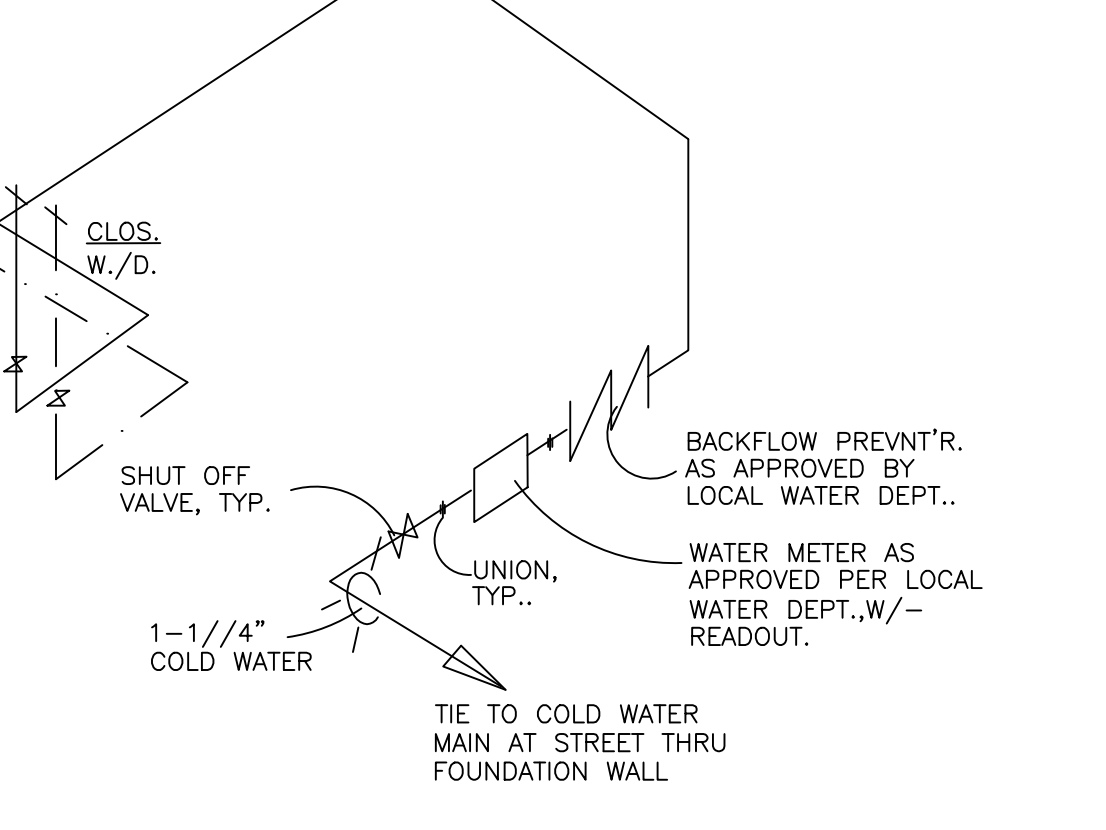
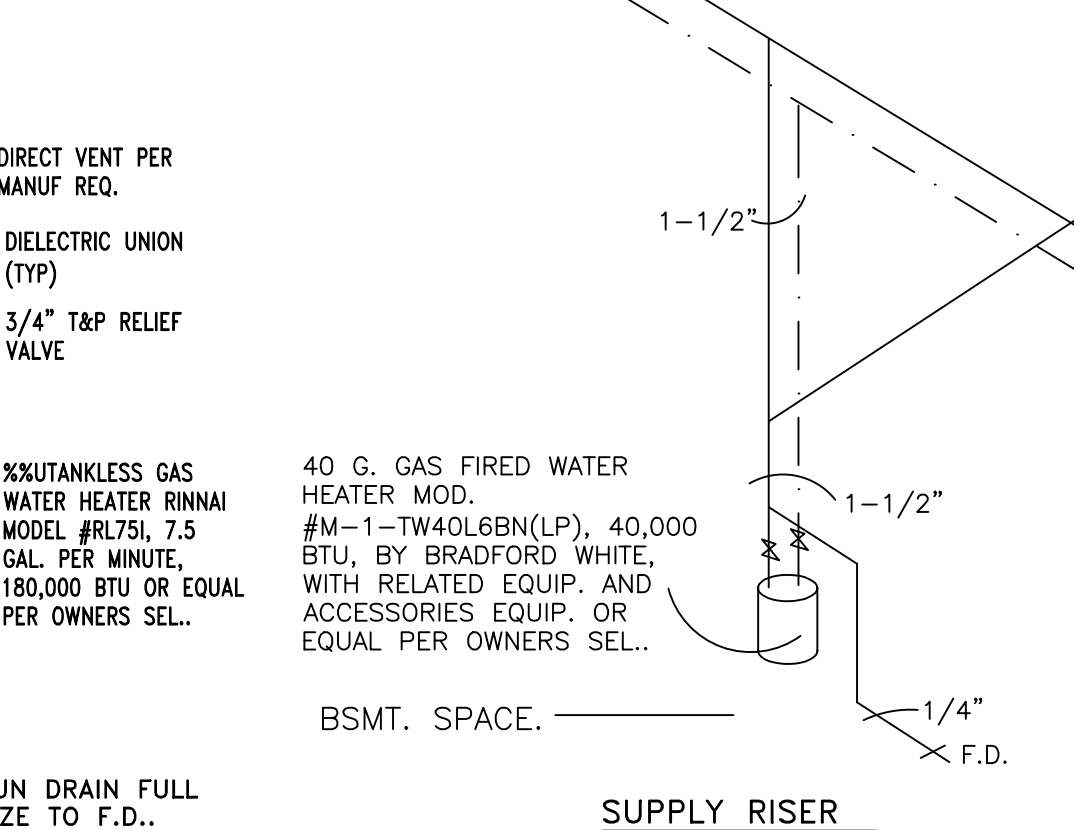
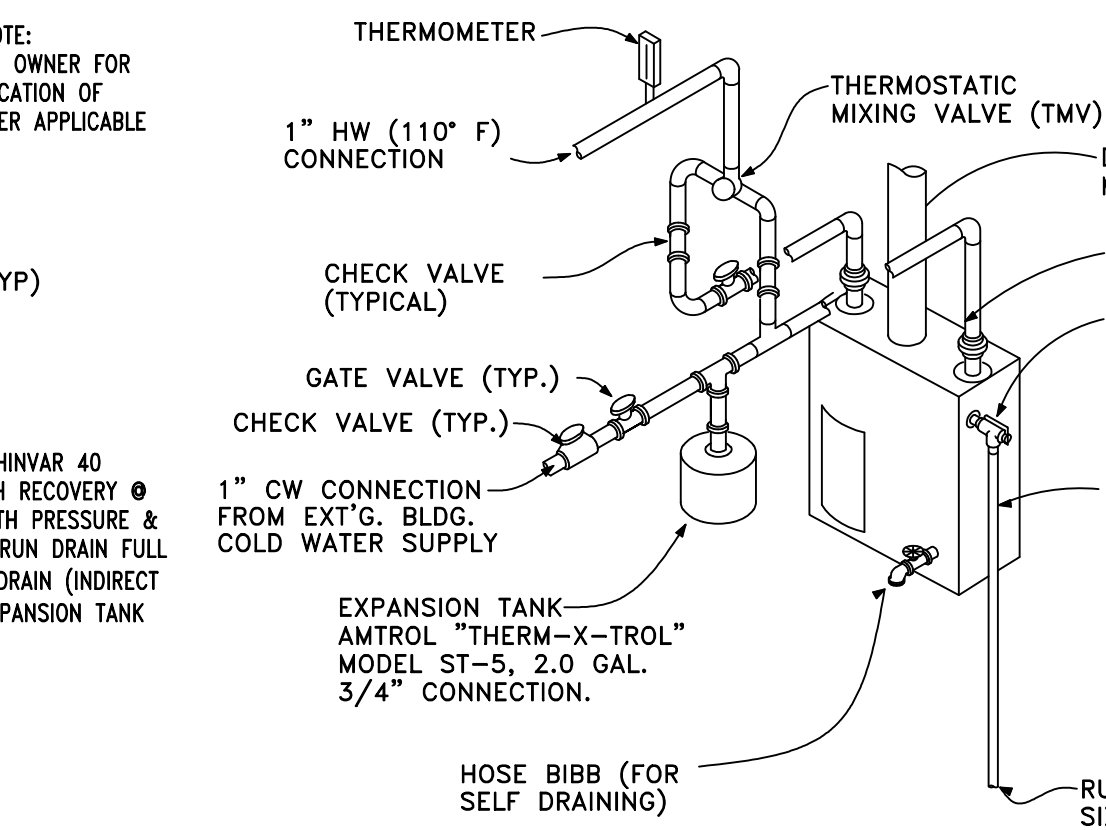
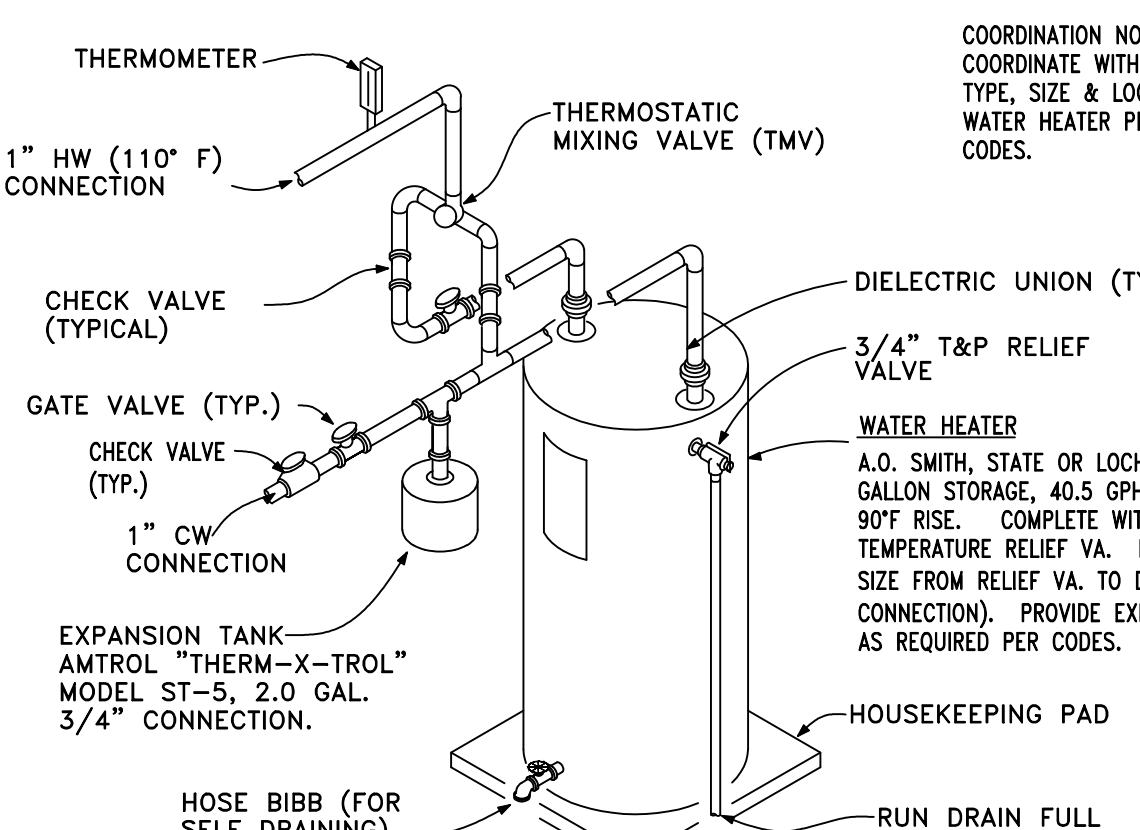
CAP OFF AND DISCONNECT ALL UNUSED PLUMBING, H.V.A.C. & ELECTRICAL BEHIND WALLS, IN CEILING OR UNDER FLOORS.

CONNECT ALL NEW UTILITIES TO EXISTING AND OR NEW PROJECT SPACE BUILDING UTILITY SYSTEMS. UTILIZE EXISTING BUILDING UTILITIES WHERE POSSIBLE, CODE COMPLIANT AND COST EFFECTIVE.

PLUMBING WORK NOTES:

PLUMBING SUPPLY LINES SHALL BE 1/2" U.O.N.. PLUMBING VENT LINES SHALL BE 1 1/2" U.O.N.. VENT ALL PLUMBING STACKS TO 3" V.T.R. U.O.N.. ALL WASTE PIPING UNDER SLABS SHALL 3" U.O.N.. VENT ALL PLUMBING STACKS TO REAR ELEVATION ROOFS.

SUPPLY PIPING: COPPER OR PEX MAY BE USED WHERE ALLOWED BY CODE.



**FISCHER & ASSOCIATES**



**ARCHITECTS INC.**

554 West Ninth Street  
 Lorain, Ohio 44052  
 Tel: (440) 315-2300

E mail: andrea@fischerarch.com

Fischer & Associates © 2021  
 ISSUE: DATE:

NEW HOUSE PLAN PRELIM	03/28/23
NEW HOUSE ELEVATIONS PROGRESS	03/30/23
NEW HOUSE ELEV. & FLR. PLANS PROGRESS	04/05/23
NEW HOUSE, GAR. ADT. FINAL REVIEW	04/10/23
NEW HOUSE, GAR. ADT. PROGRESS	04/11/23
FINAL REVIEW-PERMIT	04/17/23
REVISED REVIEW-PERMIT	04/03/24

Client Name/Project Name/Address

**1464 Riverside Drive**  
**(NEW HOUSE & GARAGE ADDITION)**  
 1464 Riverside Drive  
 Lakewood, Ohio 44107

Drawing Name

ENGINEERING SPECS-PLUMBING DETAILS-  
 NOTES-DETAILS

Fischer Project Number

22.113  
 SHEET #

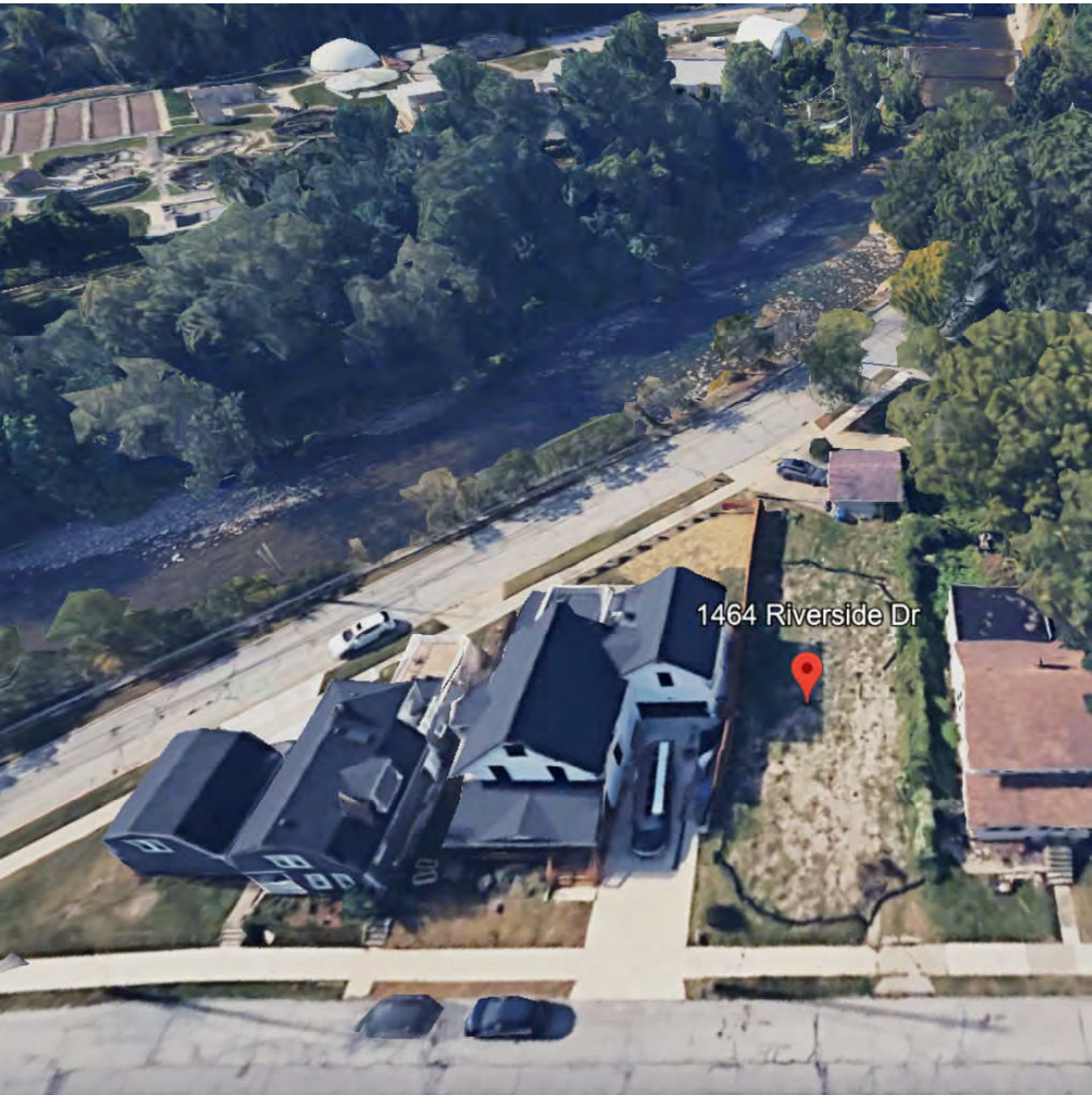
**MPE-101**

Seal

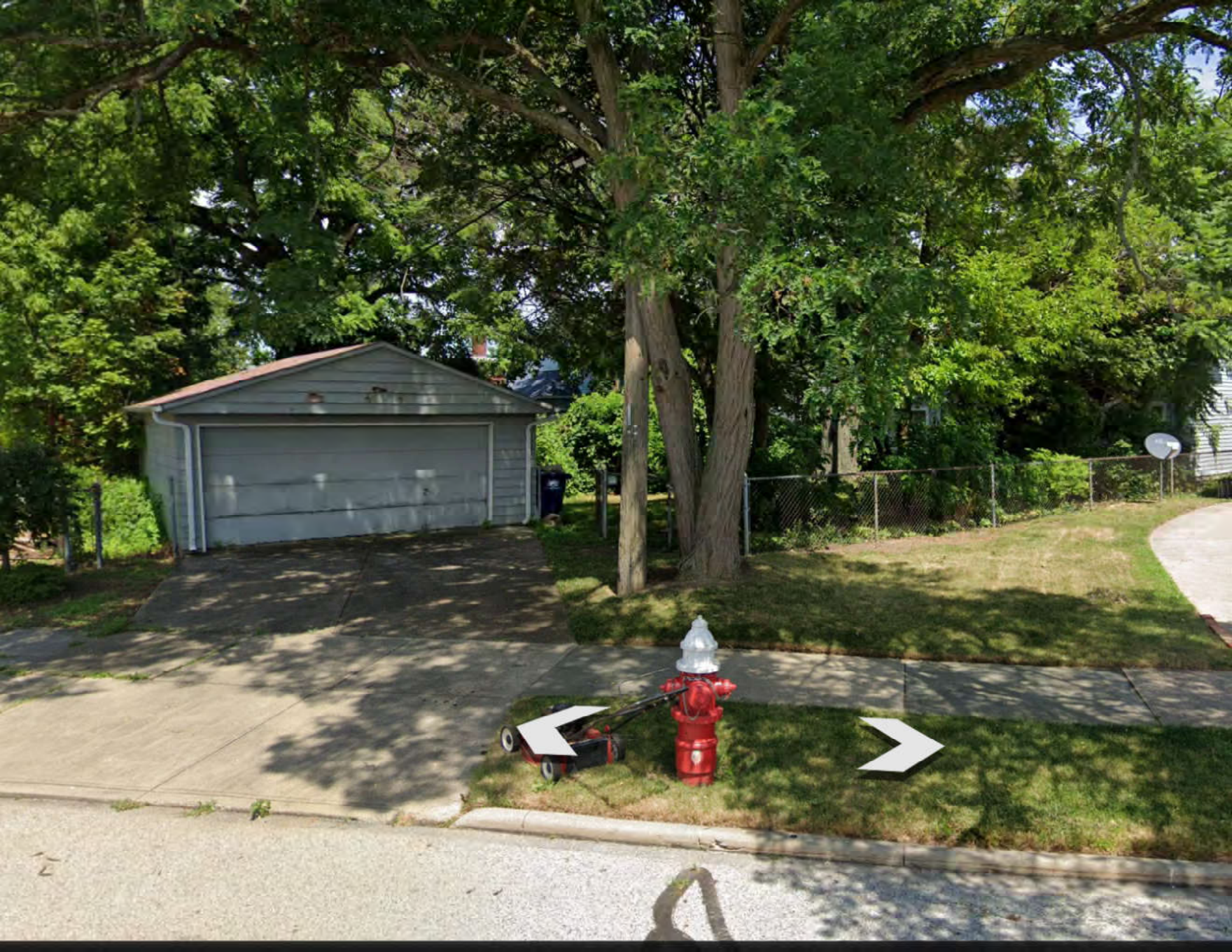








1464 Riverside Dr















City of Lakewood  
Board of Zoning Appeals

(216) 529-6630  
planning@lakewoodoh.gov

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Application Cover Page

Docket No.: 02-02-25

Reference No.: BZA 25-000001

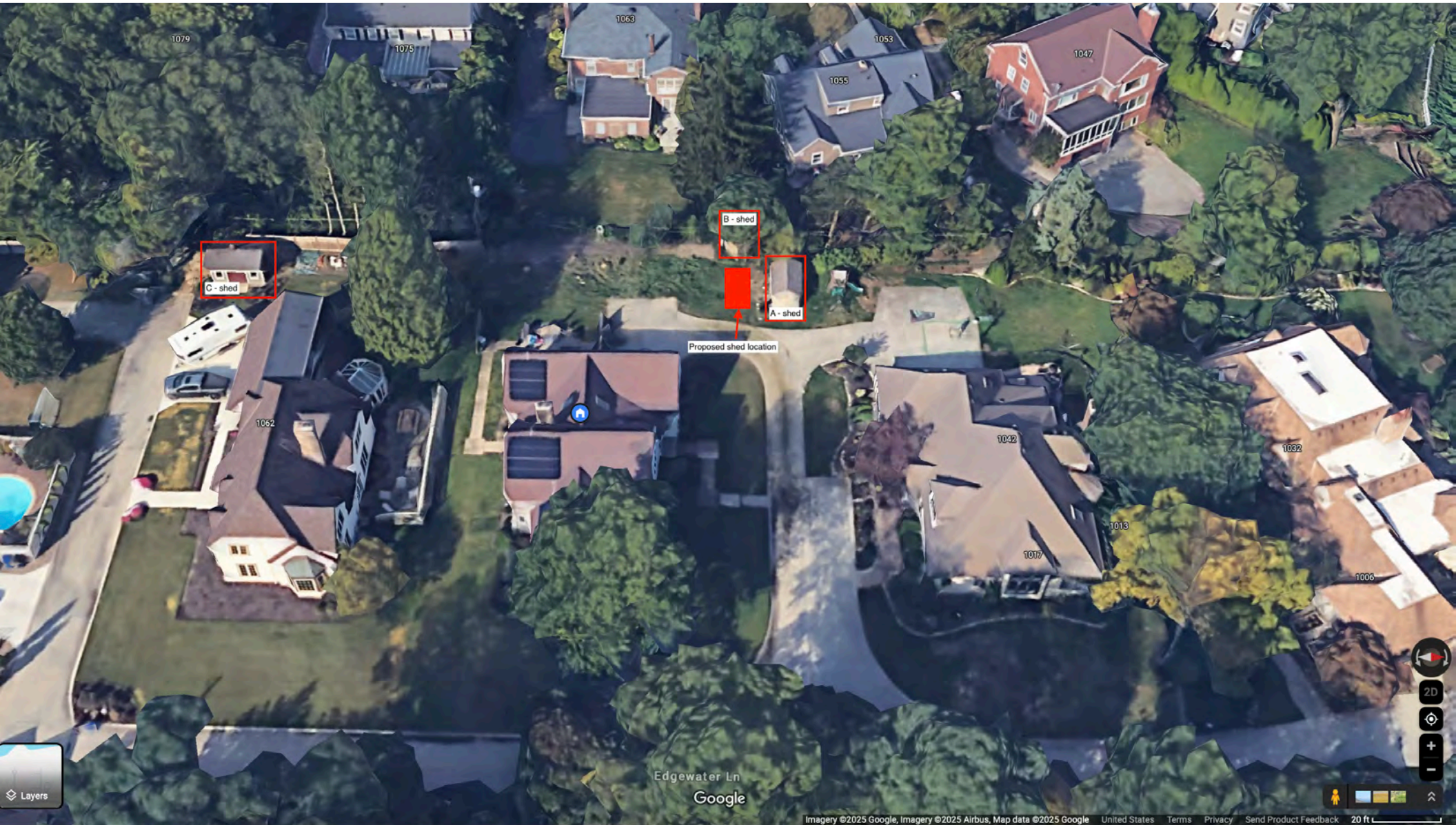
Applicant Name: Francis C. Hornung III

Project Address: 1052 Edgewater Ln.

Project Name: n/a

Proposal: The installation of a shed in the rear yard. The property is located in the R1M, Single-Family Medium Density District.





1079

1075

1063

1053

1055

1047

C-shed

B-shed

A-shed

Proposed shed location

1062

1042

1032

1013

1017

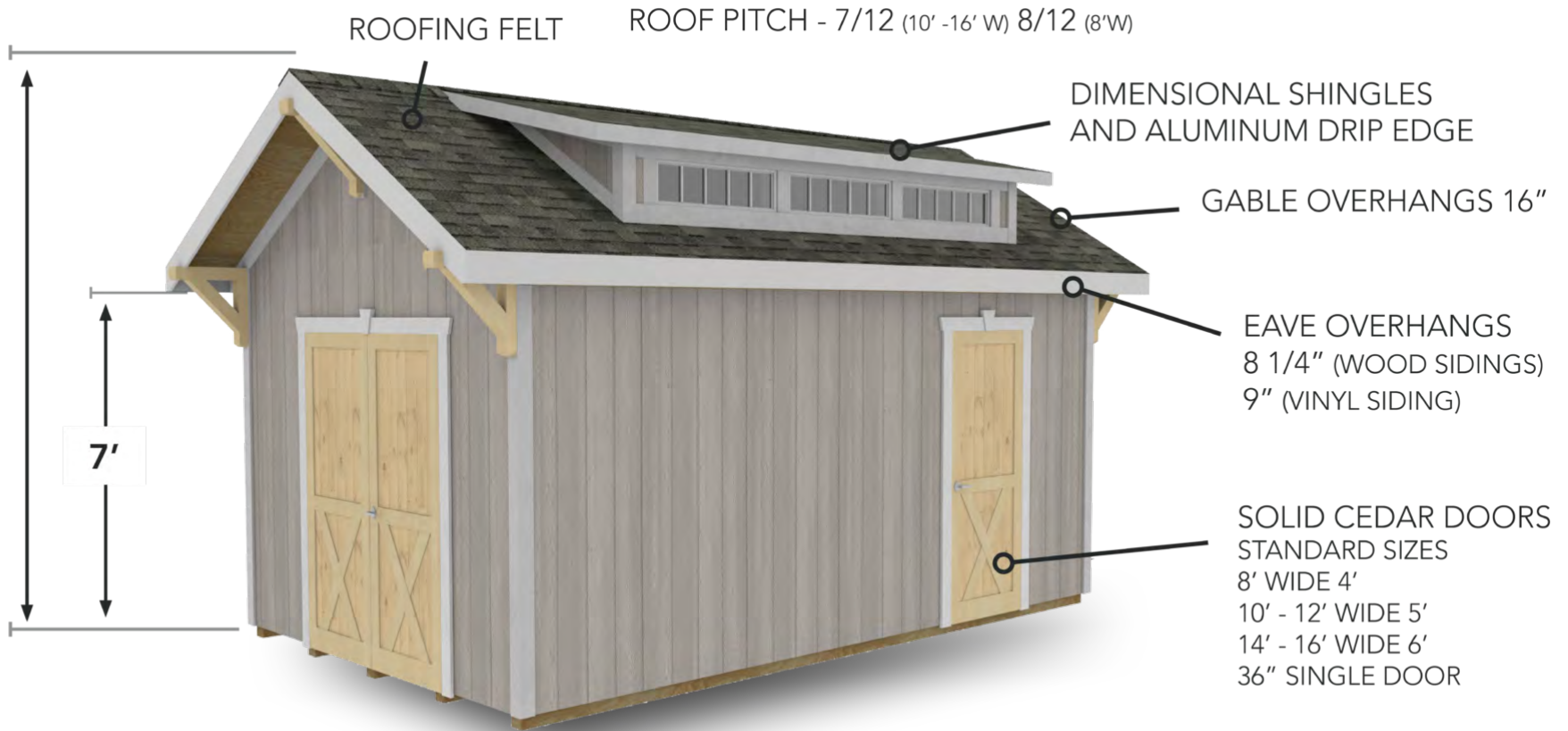
1006

Edgewater Ln  
Google

Layers

**BUILDING HEIGHTS**

- 8' W = 10' 6"
- 10' W = 11' 1"
- 12' W = 11' 8"
- 14' W = 12' 5"
- 16' W = 13' 0"



**From:** Your 3D Design yourdesign@idearoom.com  
**Subject:** Here's Your Custom Shed Design and Estimate! (#1735839922968058 - Francis Hornung)  
**Date:** January 2, 2025 at 12:45  
**To:** fhornung3@gmail.com



**Weaver Barns** INC.  
"everyone needs a little structure in their life"

Weaver Barns  
44681  
(888) 289 4940  
info@weaverbarns.com

Congratulations on designing your shed! Our goal is to exceed your expectations of our service and product. We're excited to start building it for you. We'll review your order below and contact you within three s to finalize your order. If you have immediate questions or concerns, please call us at (888) 289 4940.



[Open Your Custom Design](#)

### Customer Contact Information

Name: Francis Hornung  
Email: fhornung3@gmail.com  
Phone: 7165238990

### Delivery Information

Delivery Location: Region 4  
Delivery Address: 1052 Edgewater Ln  
Delivery ZIP: 44107

The information below is an estimate only. Final pricing - including pricing adjustments, discounts, delivery, and taxes - will be provided with final quote prior to purchase.

**Total Estimate: \$17,446**

### Structure Details

Style: Craftsman \$13,712

Sidewall Height: 8'

Size: 10x16

Base: 4x4 Pressure Treated Skids

Siding: LP Lap Siding Included

Roof Pitch: Standard

Roof Overhang: Standard Overhang

Siding Color: Buckskin \$1,183

Trim Color: Chestnut Brown

Roof Color: Driftwood

Roof Material: Architectural Shingles - Premium 30 Year \$136

### Doors & Ramps

6' #101 Wood Door \$905

### Windows & Accessories

White 2"x3" Window \$150

White 2"x3" Window \$150

White 2"x3" Window \$150

Color: Brown

Flower Box: Cedar Flower Box (Qty. 3) \$195

Flower Box Color: Brown

Flower Box Color: Brown

Flower Box Color: Brown

Dormer: 3-Window Dormer

### Flooring & Interior

Flooring: 2x8 Tongue and Groove Treated Floors

Loft: 10' x 4' (2 x 4 Joists 16" O.C) \$130

Workbenches: 10' x 2' Workbench \$205

### Additional Fees

8' Higher Sidewall Fee \$530

Pricing and options shown are subject to change at any time and may vary based upon current promotions, specials, or annual pricing adjustments. Current pricing will be included in the final quote and will require your review and approval prior to order.

We will do all we can to ensure your complete satisfaction. Please contact us for questions, concerns, or custom styles or sizes.

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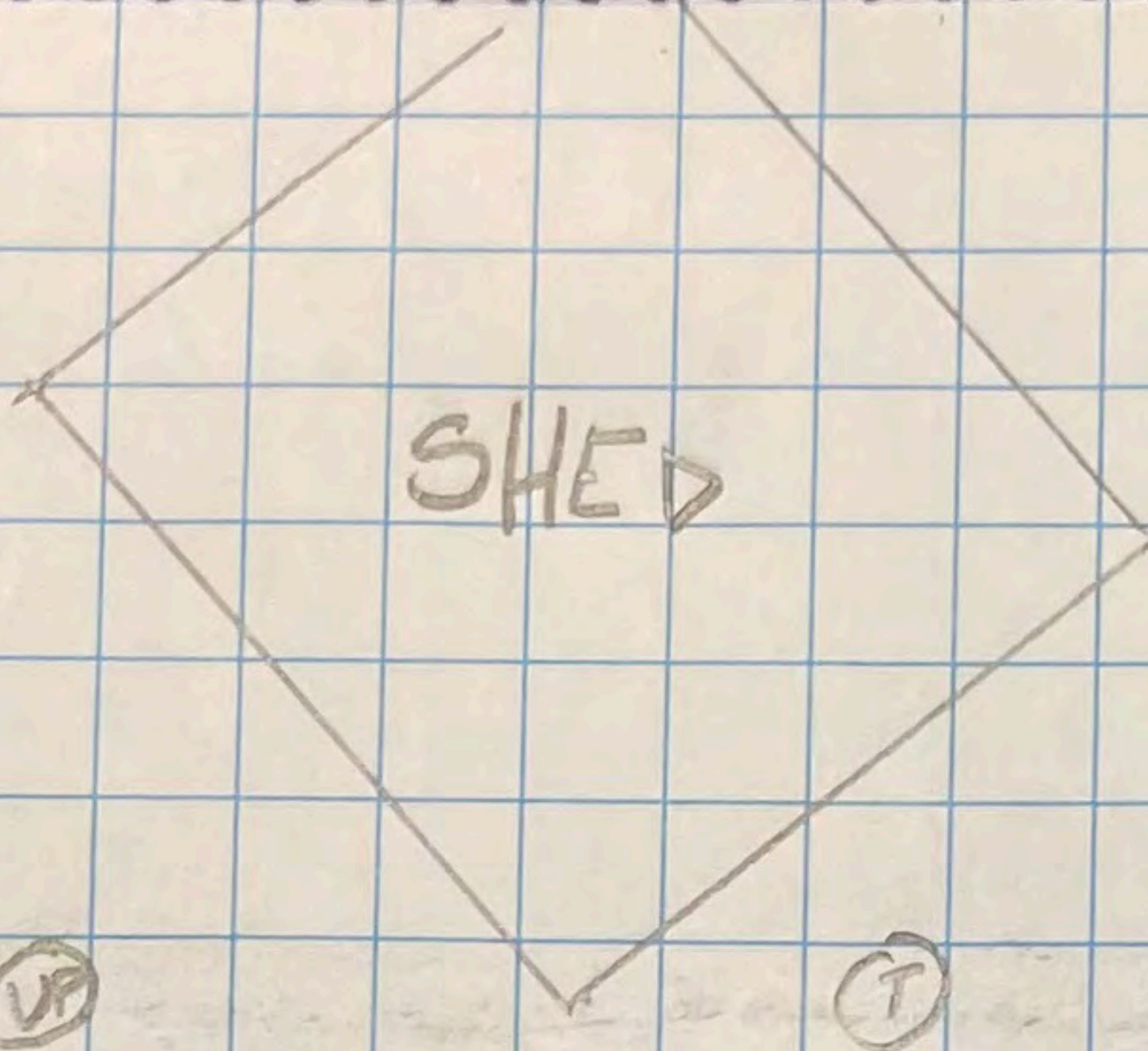






ILLINOIS COUNTY

34' Wide  
1ft  
N →



PROP LINE



GRAVEL

LANDSCAPING

PROPOSED SHED

LAWN

LAWN

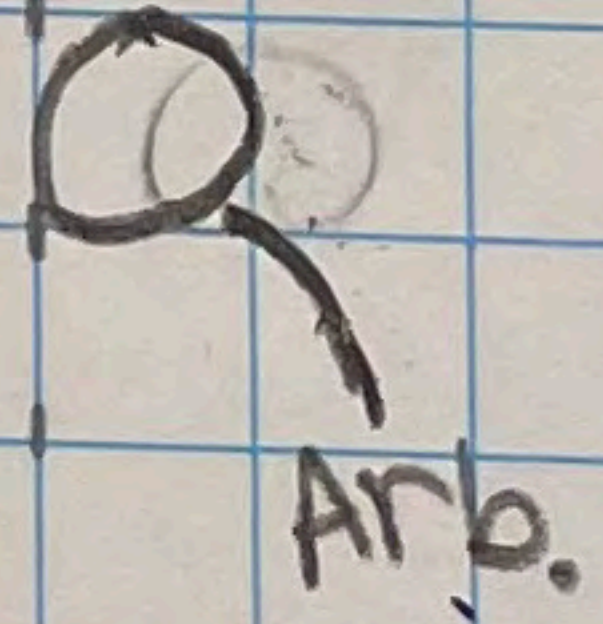
LAWN

SHED

14'

8'

PROP LINE



A.P.O.

DRIVEWAY

DRIVEWAY

10'

16'

16'

10'

CITY OF LAKEWOOD OHIO

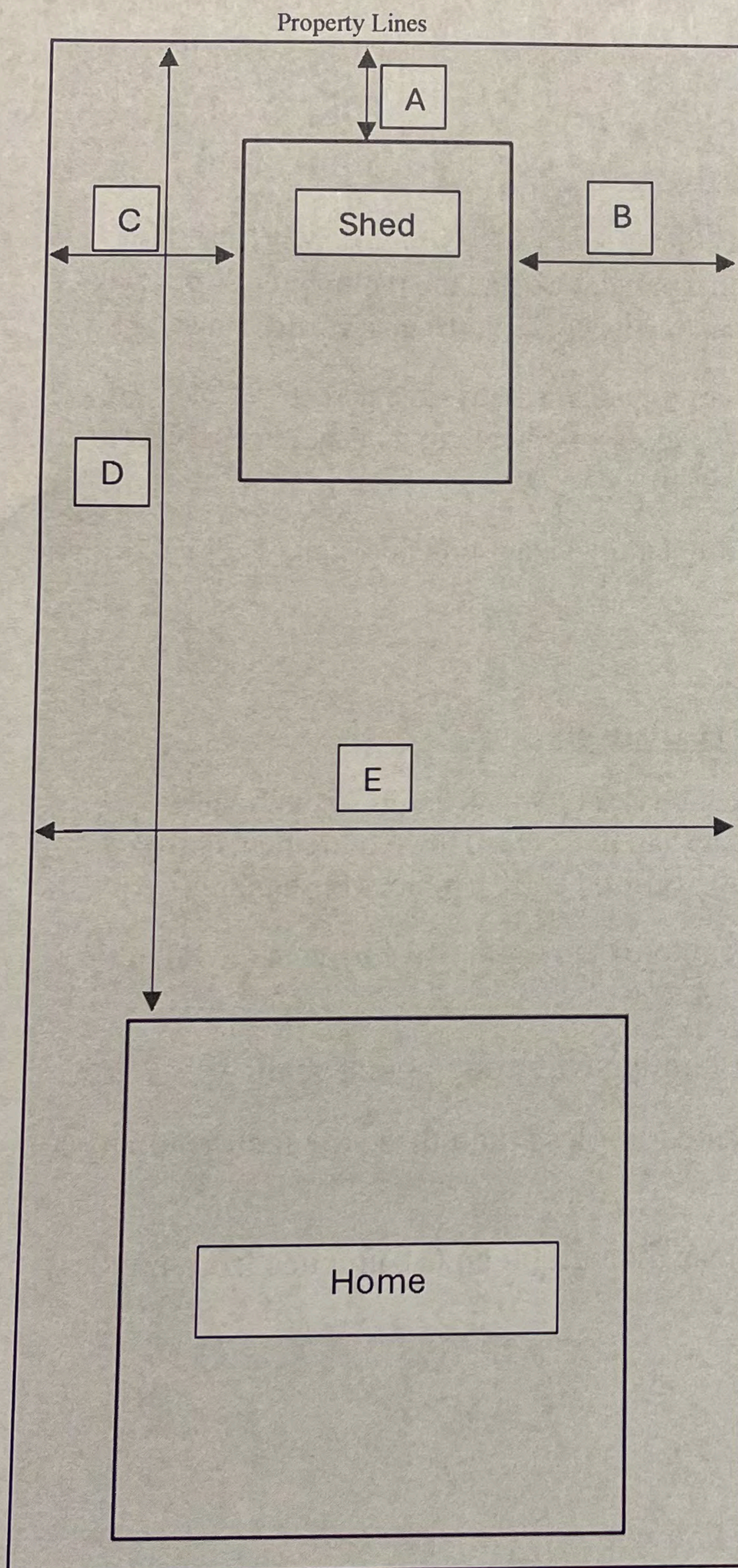
Division of Housing and Building

12650 Detroit Ave, Lakewood OH 44107

[building.permits@lakewoodoh.gov](mailto:building.permits@lakewoodoh.gov) (216) 529-6270



**Tool and Storage sheds**



Height of Shed: 11' 1"  
Shed Width: 10'  
Shed Depth: 16'  
Shed Area (width x depth): 160 sq Ft

A- Rear Setback: 3'  
B- Side Setback: 3'  
C- Side Setback: 77'  
D- Rear Yard Depth: 50'  
E- Rear Yard Width: 90'  
Total Rear Yard: 4,500 sq Ft

-Please check Zoning District for allowable shed square footage. The allowable square footage is what is acceptable without providing any additional information.

-If shed exceeds allowable square footage then provide total rear yard square footage in the above area. Also, include in this box any other structure square footage you have in the rear yard i.e. detached decks, garage, gazebo, pergola, greenhouse, etc. List this total below.

Total Square footage of additional rear yard structures: N/A

\*If shed is a manufactured product (purchased prebuilt) then provide a model number and submit any printouts that show construction and installation information.

\*If shed is being stick framed or custom framed then provide a basic plan showing construction i.e. wall and roof framing, exterior covering (siding), roof material and proposed base or footings.



City of Lakewood  
Board of Zoning Appeals

(216) 529-6630  
planning@lakewoodoh.gov

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Application Cover Page

Docket No.: 02-03-25

Reference No.: BZA 25-000005

Applicant Name: Christopher Brynner, Best Choice Roofing

Project Address: n/a

Project Name: n/a

Proposal: Appeals the denial for a solicitor's permit pursuant to section 741.12 – Appeal Procedure.

Raymond

**Subject: Appeal of Application Denial**

Dear Board Members

I hope this letter finds you well. My name is Christopher Brynner, and I am writing to formally appeal the decision to deny my application, which I was informed of on January 16, 2025, by the Law Office. I would also like to express my sincere apologies for any inconvenience my mistake may have caused due to not fully understanding the application requirements.

When completing the initial application, I was under the impression that any infractions occurring over 7 years ago were not required to be disclosed. The incident in question took place almost 20 years ago, and I now understand that I was mistaken in this regard. I take full responsibility for this oversight and regret any confusion it may have caused.

I would like to emphasize that I am an upstanding citizen and a proud homeowner in the wonderful community of Lakewood. My daughter currently attends Lakewood High School, and we have built lasting memories in this city. I am committed to contributing positively to our community, and this new business opportunity would allow me to educate homeowners about the importance of their roofing systems, as well as guide them through the necessary steps they need to take.

I respectfully ask for your reconsideration of my application, and I am more than happy to provide any additional information or clarification you may require. I truly believe this opportunity will not only benefit my business but also serve the residents of Lakewood and contribute to the continued growth of our city.

Thank you for your time and understanding. I look forward to the opportunity to better explain my situation.

Sincerely,  
Christopher Brynner



City of Lakewood  
Board of Zoning Appeals

(216) 529-6630  
planning@lakewoodoh.gov

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Application Cover Page

Docket No.: 02-04-25

Reference No.: BZA 25-000006

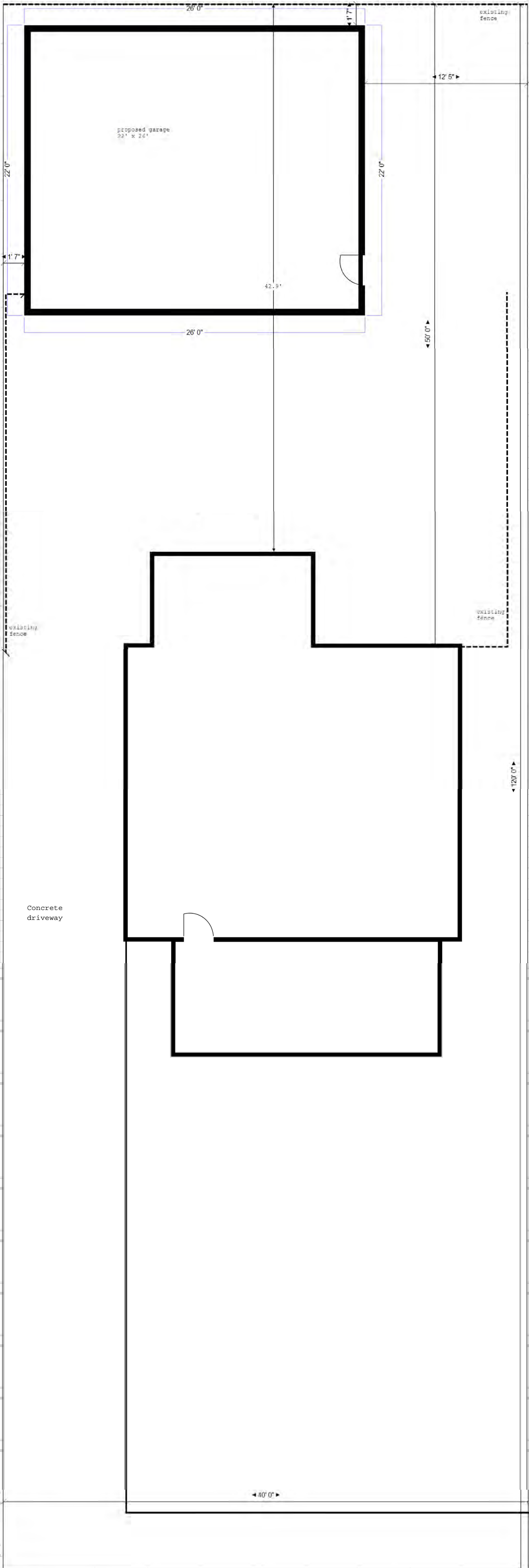
Applicant Name: Maya Camhi

Project Address: 2143 Glenbury Ave.

Project Name: n/a

Proposal: The demolition and replacement of an existing two car garage. The property is located in the R1H, Single-Family High-Density District.

Amel



**SURVEYOR'S CERTIFICATION**

THIS MAP AND THE SURVEY ON WHICH IT IS BASED ARE MADE IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR BOUNDARY SURVEYS IN THE STATE OF OHIO AS SET FORTH IN CHAPTER 4733-37 OF THE OHIO ADMINISTRATIVE CODE.

DIMENSIONS SHOWN HEREON ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF, BEARINGS SHOWN HEREON ARE TO AN ASSUMED MERIDIAN AND ARE TO INDICATE ANGLES ONLY.

IP SET INDICATES 5/8" IRON PIN SET WITH CAP NO. 7344.

ALL OF WHICH I CERTIFY TO BE CORRECT.

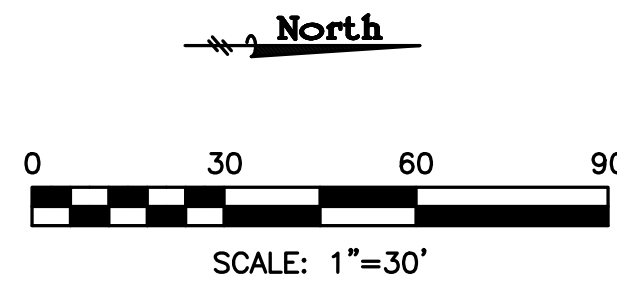
MICHAEL MACKAY, P.S. #7344

DATE

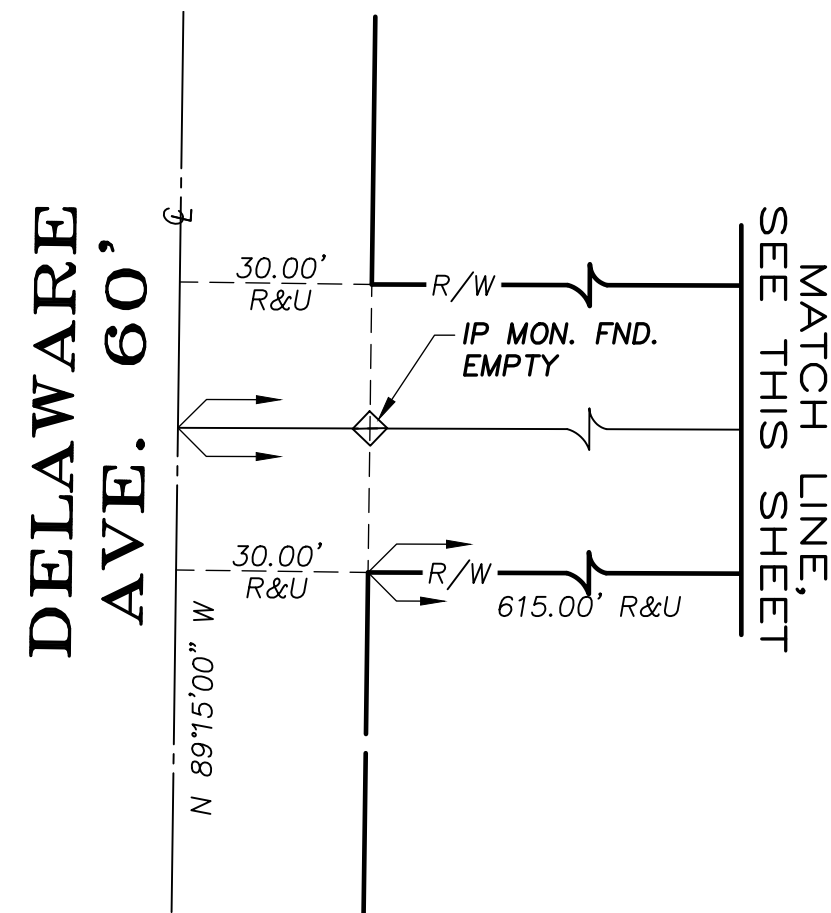


**MAP OF SURVEY**

PREPARED FOR DAMON GALT  
 PERM. PCL. NO. 313-11-159  
 STREET ADDRESS 2143 GLENBURY SUBLOT 128  
 IN S.H. KLEINMAN REALTY COMPANY'S TRAYMORE ESTATES SUBDIVISION  
 PART OF ORIGINAL ROCKPORT TOWNSHIP, SECTION 18  
 IN VOLUME 66 PAGE, 22 CITY OF LAKEWOOD  
 COUNTY OF CUYAHOGA STATE OF OHIO  
 DATE OCTOBER 1, 2019 SCALE 1" = 30'  
 JOB # 5669

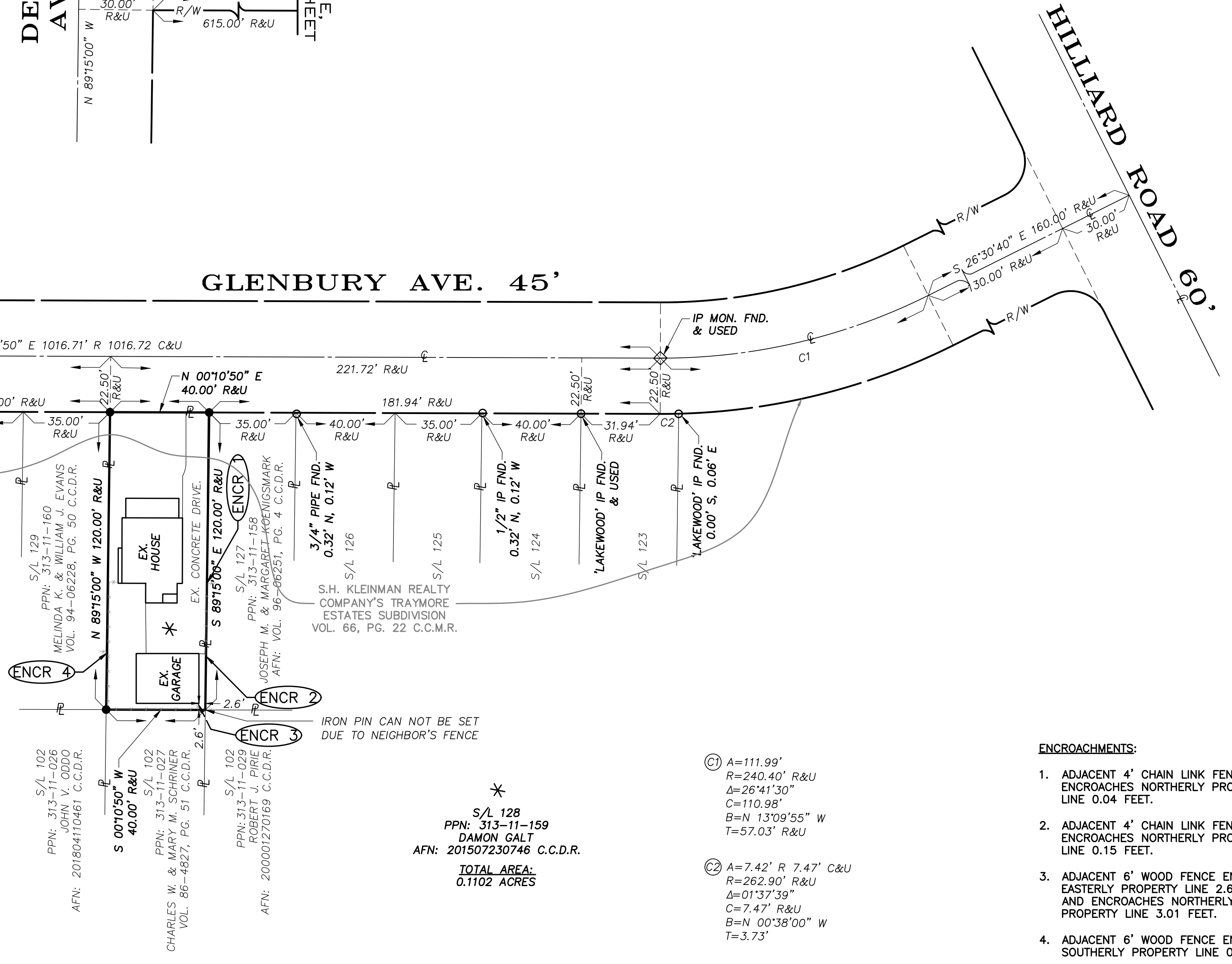


**MACKAY**  
 Engineering & Surveying Company  
 7017 Pearl Road, Cleveland, Ohio 44130  
 (440) 886-4500 (440) 886-4590 Fax  
 Email: info@mackayeng-surv.com



**GLENBURY AVE. 45'**

MATCH LINE, SEE THIS SHEET



**LEGEND**

- ▲ HUB SET
- IP SET
- IRON PIN FOUND
- ◊ MONUMENT
- R/W = RIGHT-OF-WAY
- EX. = EXISTING
- ⊕ = CENTERLINE
- IP = IRON PIN
- MON = MONUMENT
- R. = RECORDED
- U. = USED
- C. = CALCULATED
- O. = OBSERVED
- ℙ = PROPERTY LINE
- S/L = SUBLOT
- C.C.D.R. = CUYAHOGA COUNTY DEED RECORDS
- C.C.M.R. = CUYAHOGA COUNTY MAP RECORDS
- C.C.R. = CUYAHOGA COUNTY RECORDS

IRON PIN CAN NOT BE SET DUE TO NEIGHBOR'S FENCE

S/L 128  
 PPN: 313-11-159  
 DAMON GALT  
 AFN: 201507230746 C.C.D.R.

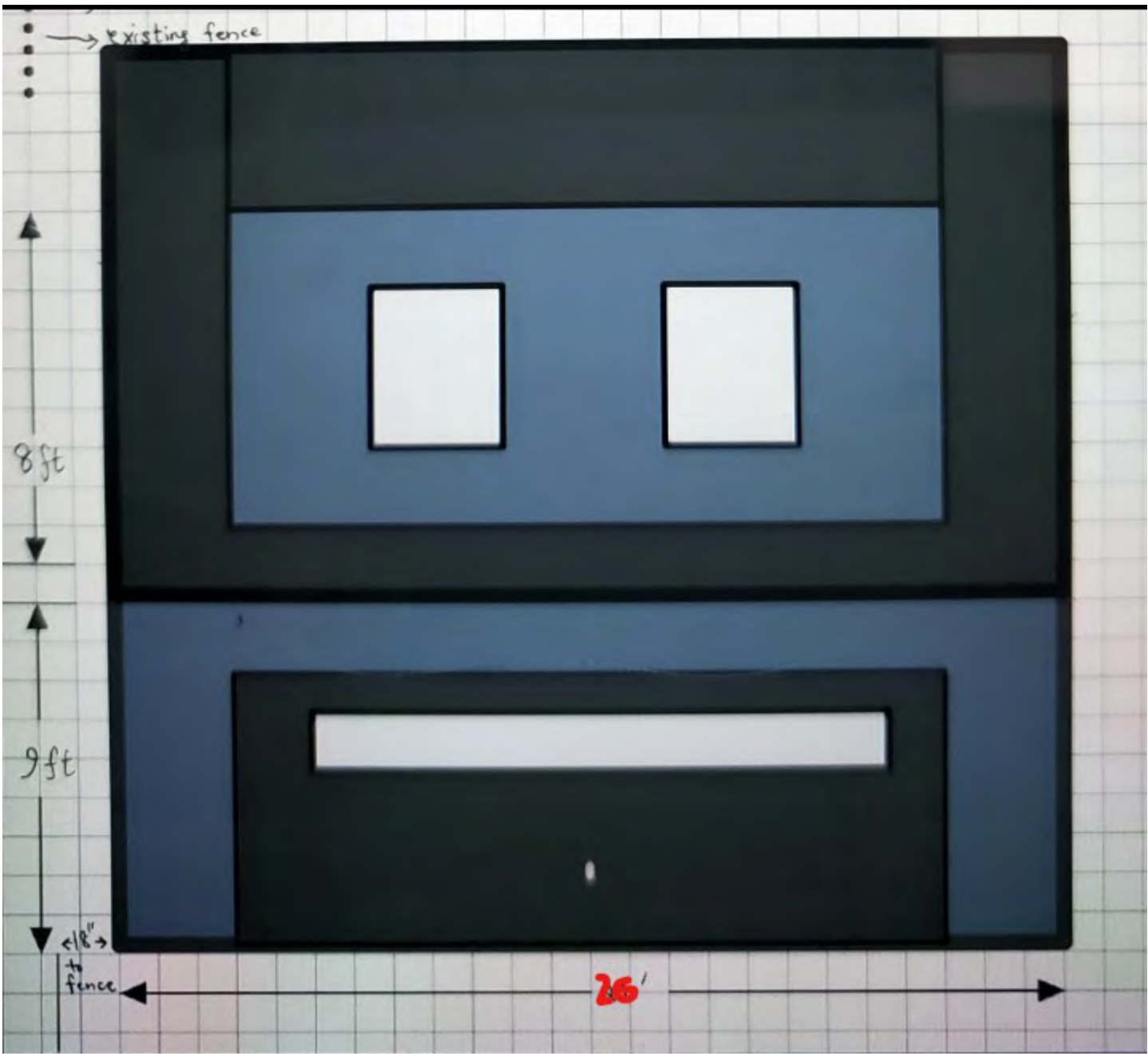
TOTAL AREA:  
 0.1102 ACRES

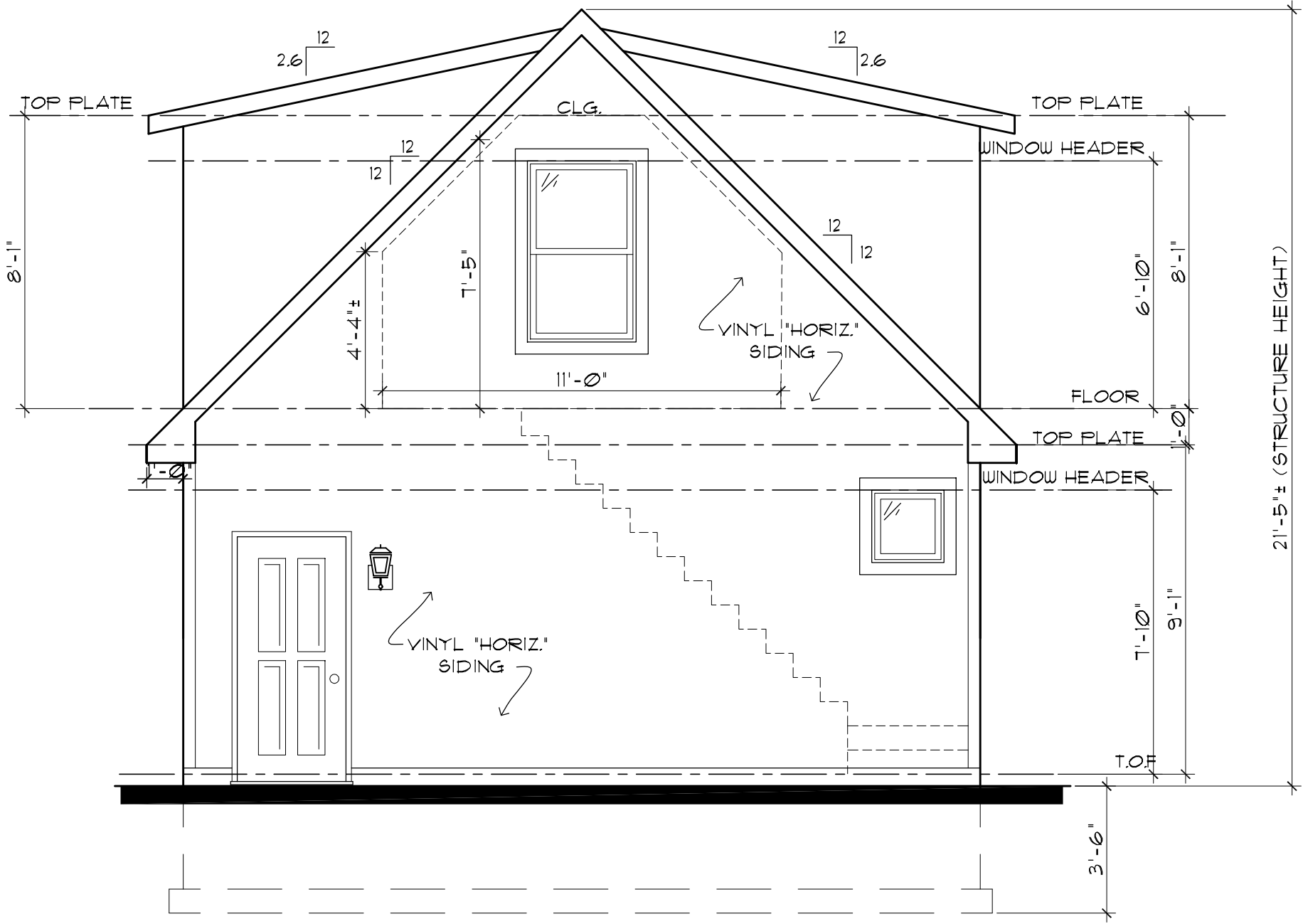
Ⓒ1 A=111.99'  
 R=240.40' R&U  
 Δ=26°41'30"  
 C=110.98'  
 B=N 13°09'55" W  
 T=57.03' R&U

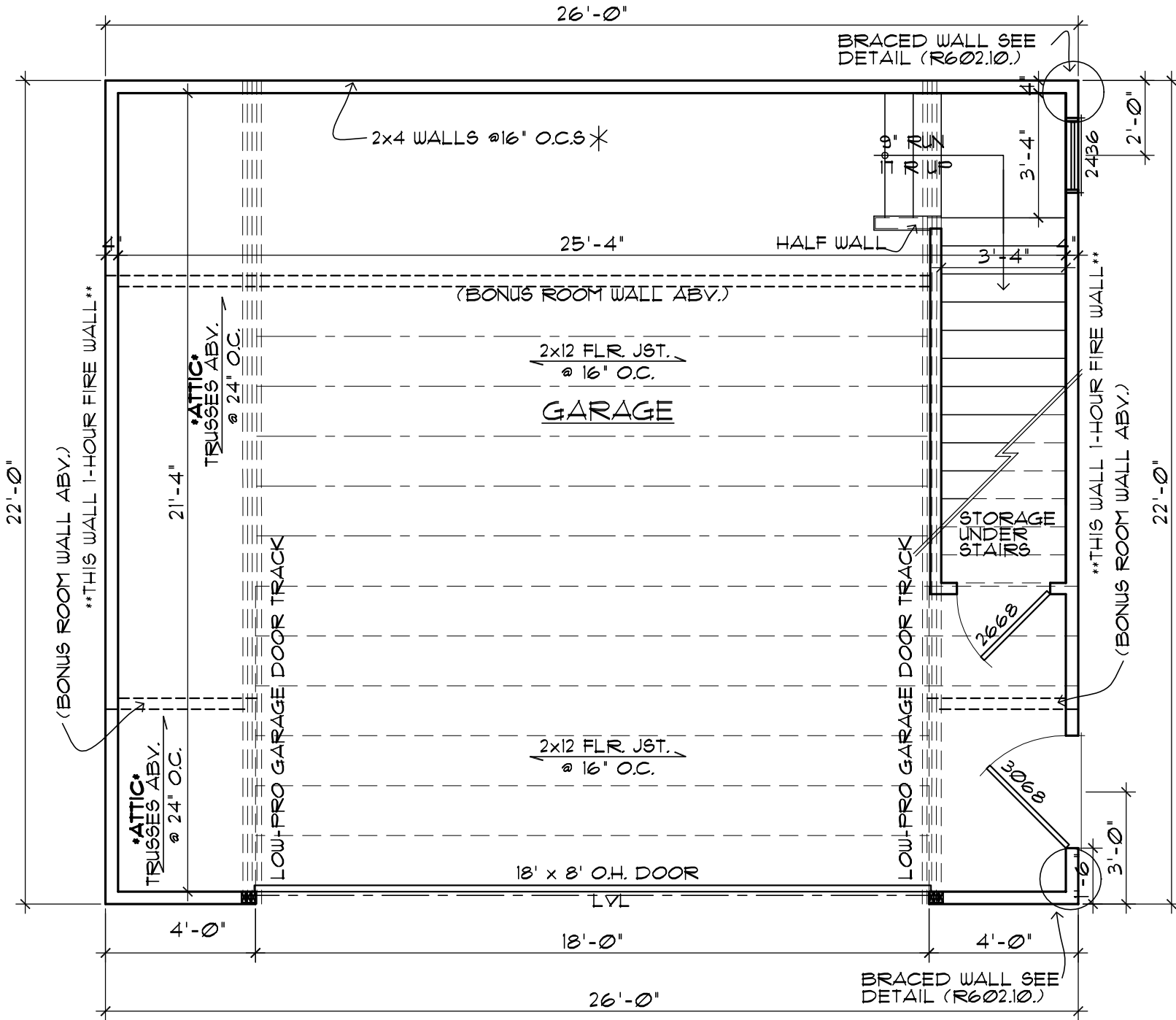
Ⓒ2 A=7.42' R 7.47' C&U  
 R=262.90' R&U  
 Δ=01°37'39"  
 C=7.47' R&U  
 B=N 00°38'00" W  
 T=3.73'

**ENCROACHMENTS:**

1. ADJACENT 4' CHAIN LINK FENCE ENCROACHES NORTHERLY PROPERTY LINE 0.04 FEET.
2. ADJACENT 4' CHAIN LINK FENCE ENCROACHES NORTHERLY PROPERTY LINE 0.15 FEET.
3. ADJACENT 6' WOOD FENCE ENCROACHES EASTERLY PROPERTY LINE 2.63 FEET AND ENCROACHES NORTHERLY PROPERTY LINE 3.01 FEET.
4. ADJACENT 6' WOOD FENCE ENCROACHES SOUTHERLY PROPERTY LINE 0.37 FEET.











BROOKLYN  
BEDDING



B  
BROOK  
BEDD





City of Lakewood  
Board of Zoning Appeals

(216) 529-6630  
planning@lakewoodoh.gov

---

Application Cover Page

Docket No.: 02-05-25

Reference No.: BZA 25-000007, BZA25-000008, and BZA25-000009

Applicant Name: David T. Maddux, The Arcus Group

Project Address: 17852 Lake Rd.

Project Name: n/a

Proposal: The construction of several additions to the principal structure, including a rear addition that has a second-floor unroofed patio deck. The property is in the R1L, Single-Family Low-Density District.

To Lakewood Planning Department

David Maddux, from the Arcus Group, Inc. Architects is authorized to submit this request for variance and act as my agent for the addition to 17852 Lake Road. The City of Lakewood has my permission for property access as it relates to the review for this variance request.

*Jack Griffiths*

3-2-2022

---

Jack Griffiths

Date

Owner 17852 Lake Road.



PRELIMINARY  
NOT FOR  
CONSTRUCTION

ISSUE:	6-21-21	Review
	6-18-21	Review
	1-28-22	Review
	1-31-22	Review
	2-18-22	Review
	2-21-22	BZA

**Addition & Renovation for  
The Griffiths Residence**

Ohio

17852 Lake Road

Lakewood



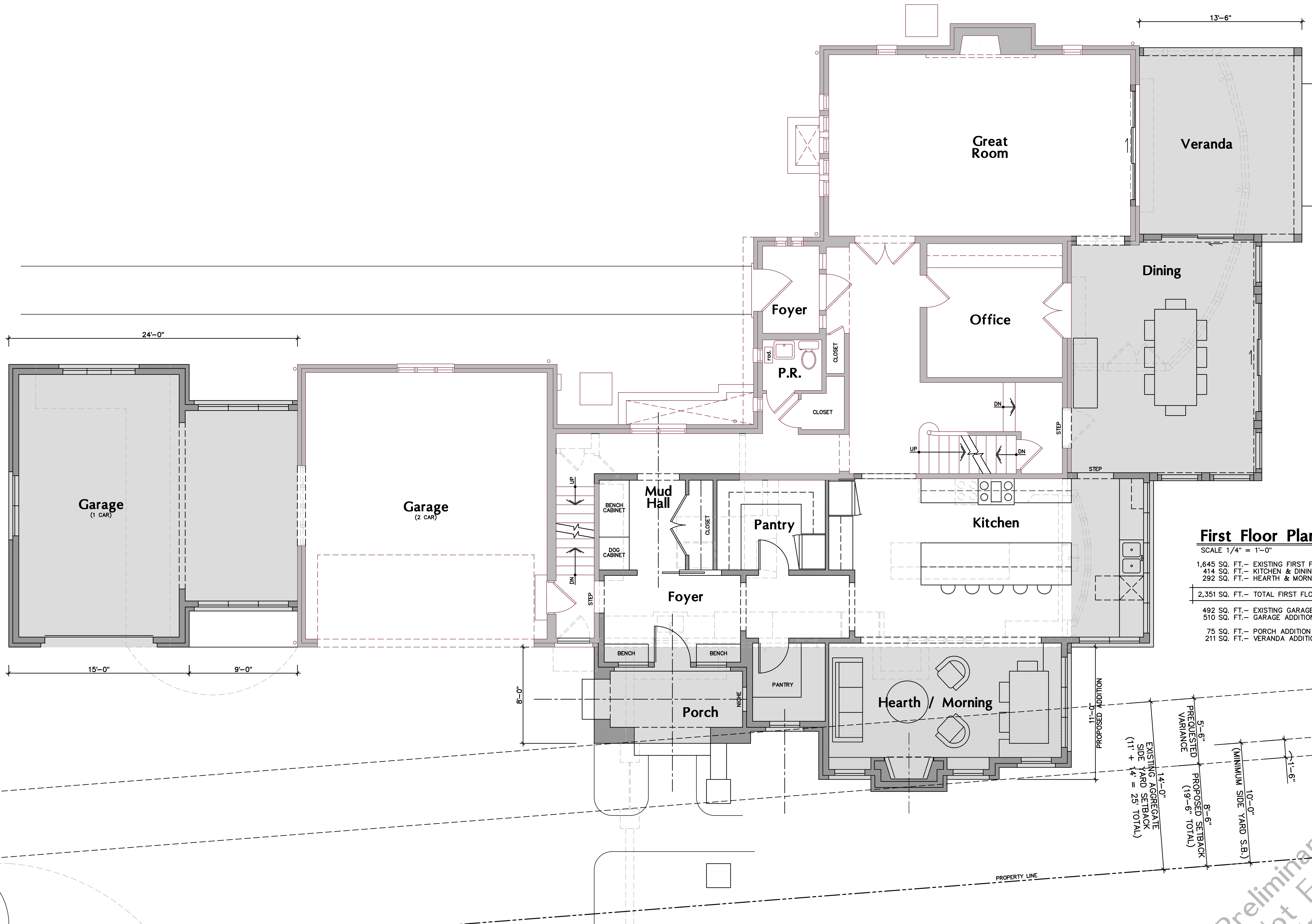
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Fax: 440.356.5584

First Floor Plan

**A-2**

Sheet Number  
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Project No: 21-23  
Drawn By: BCK  
Checked By: DTM



**First Floor Plan**

SCALE 1/4" = 1'-0"

1,645 SQ. FT. - EXISTING FIRST FLOOR  
414 SQ. FT. - KITCHEN & DINING ADDITION  
292 SQ. FT. - HEARTH & MORNING ADDITION

2,351 SQ. FT. - TOTAL FIRST FLOOR

492 SQ. FT. - EXISTING GARAGE  
510 SQ. FT. - GARAGE ADDITION

75 SQ. FT. - PORCH ADDITION  
211 SQ. FT. - VERANDA ADDITION

EXISTING AGGREGATE  
SIDE YARD SETBACK  
(11' + 14' = 25' TOTAL)

PROPOSED SETBACK  
(19'-6" TOTAL)

MINIMUM SIDE YARD S.B.

10'-0"

1'-6"

8'-6"

5'-6"

PRELIMINARY VARIANCE

14'-0"

11'-0" PROPOSED ADDITION

Preliminary  
Not For  
Construction

PROPERTY LINE

PRELIMINARY  
NOT FOR  
CONSTRUCTION

ISSUE:	5-27-21	Review
	6-18-21	Review
	1-28-22	Review
	1-31-22	Review
	2-18-22	Review
	2-21-22	B7A

**Addition & Renovation for  
The Griffiths Residence**

Lakewood Ohio  
17852 Lake Road

**The Arcus Group, Inc.**  
ARCHITECTS

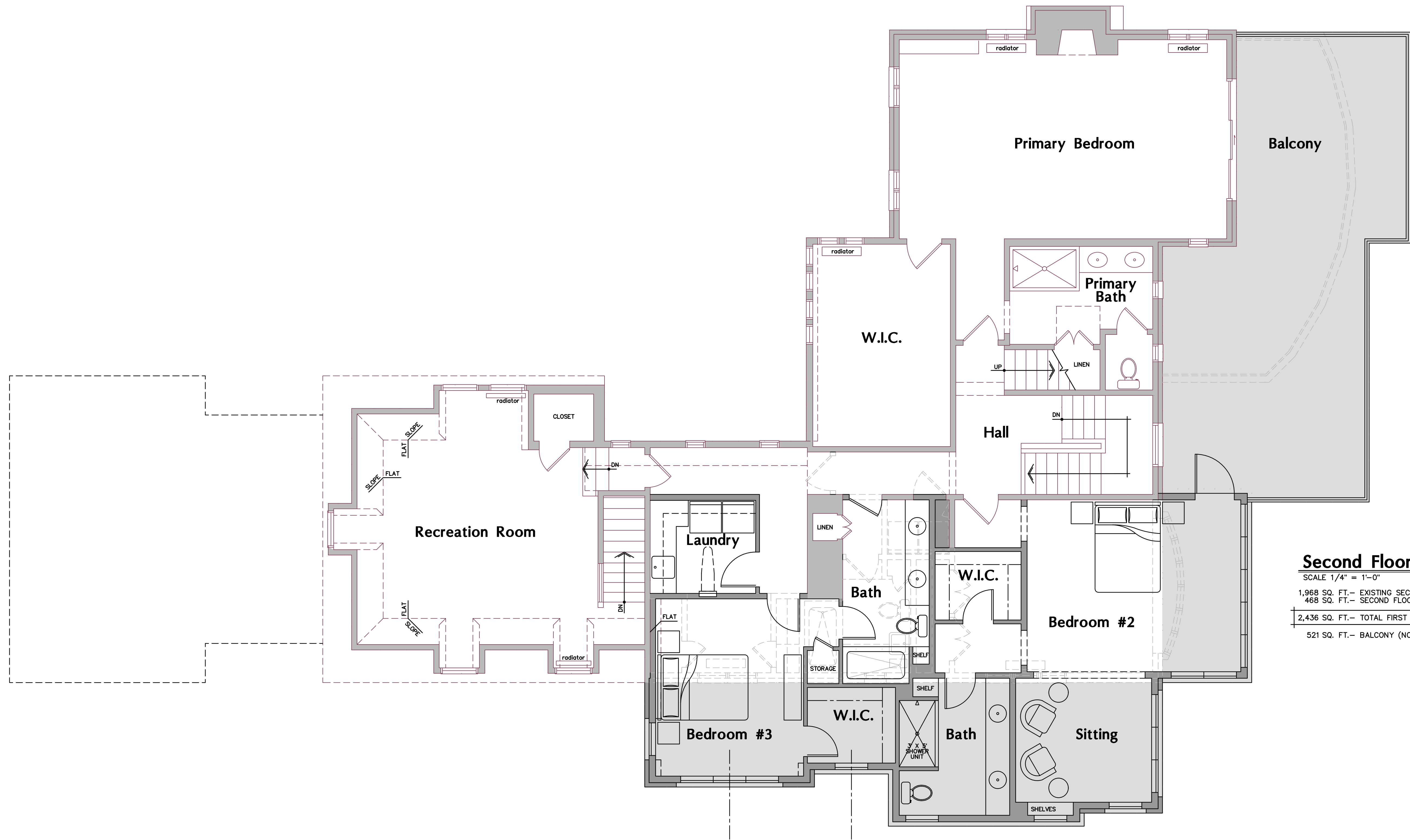
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Second Floor Plan

**A-3**

Sheet Number  
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Project No: 21-23  
Drawn By: BCK  
Checked By: DTM



**Second Floor Plan**  
SCALE 1/4" = 1'-0"  
1,968 SQ. FT.- EXISTING SECOND FLOOR  
468 SQ. FT.- SECOND FLOOR ADDITION  
2,436 SQ. FT.- TOTAL FIRST FLOOR  
521 SQ. FT.- BALCONY (NOT INCLUDED)

Preliminary  
Not For  
Construction

PRELIMINARY  
NOT FOR  
CONSTRUCTION

ISSUE:
5-27-21 Review
6-18-21 Review
1-28-22 Review
1-31-22 Review
2-18-22 Review
2-21-22 BZA

Ohio

Addition & Renovation for  
The Griffiths Residence

17852 Lake Road

Lakewood



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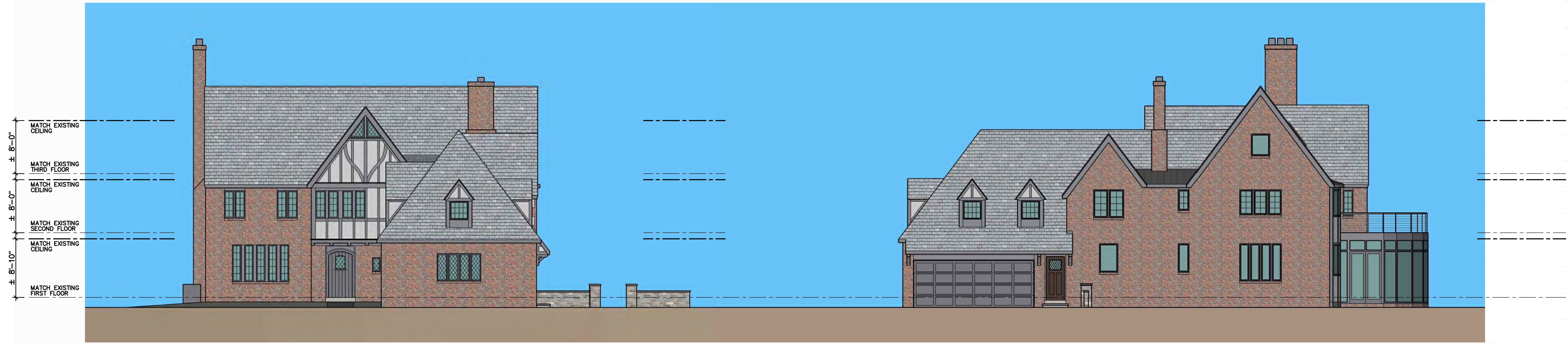
Existing  
Elevations

A-4

Sheet Number  
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Project No: 21-23  
Drawn By: BCK  
Checked By: DTM

Preliminary  
Not For  
Construction



**Front Elevation**  
SCALE 1/8" = 1'-0"

**Right Side Elevation**  
SCALE 1/8" = 1'-0"



**Rear Elevation**  
SCALE 1/8" = 1'-0"

**Left Side Elevation**  
SCALE 1/8" = 1'-0"

± 8'-0"  
MATCH EXISTING CEILING  
± 8'-0"  
MATCH EXISTING THIRD FLOOR  
± 8'-0"  
MATCH EXISTING CEILING  
± 8'-0"  
MATCH EXISTING SECOND FLOOR  
± 8'-0"  
MATCH EXISTING CEILING  
± 8'-0"  
MATCH EXISTING FIRST FLOOR

± 33'-4 1/2"  
EXISTING BUILDING HEIGHT  
± 8'-0"  
MATCH EXISTING CEILING  
± 8'-0"  
MATCH EXISTING THIRD FLOOR  
± 8'-0"  
MATCH EXISTING CEILING  
± 8'-0"  
MATCH EXISTING SECOND FLOOR  
± 8'-0"  
MATCH EXISTING CEILING  
± 8'-0"  
MATCH EXISTING FIRST FLOOR

PRELIMINARY  
NOT FOR  
CONSTRUCTION

ISSUE:	5-27-21	Review
	6-18-21	Review
	1-28-22	Review
	1-31-22	Review
	2-18-22	Review
	2-21-22	BZA

Ohio

Addition & Renovation for  
The Griffiths Residence

17852 Lake Road

Lakewood



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Proposed  
Elevations

A-5

Sheet Number  
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Project No: 21-23  
Drawn By: BCK  
Checked By: DTM



**Front Elevation**  
SCALE 1/8" = 1'-0"

**Right Side Elevation**  
SCALE 1/8" = 1'-0"

± 8'-0"  
MATCH EXISTING CEILING  
± 8'-0"  
MATCH EXISTING THIRD FLOOR  
± 8'-0"  
MATCH EXISTING CEILING  
± 8'-0"  
MATCH EXISTING SECOND FLOOR  
± 8'-0"  
MATCH EXISTING CEILING  
± 8'-0"  
MATCH EXISTING FIRST FLOOR



**Rear Elevation**  
SCALE 1/8" = 1'-0"

**Left Side Elevation**  
SCALE 1/8" = 1'-0"

± 33'-4 1/2"  
MATCH EXISTING BUILDING HEIGHT  
± 8'-0"  
MATCH EXISTING CEILING  
± 8'-0"  
MATCH EXISTING THIRD FLOOR  
± 8'-0"  
MATCH EXISTING CEILING  
± 8'-0"  
MATCH EXISTING SECOND FLOOR  
± 8'-0"  
MATCH EXISTING CEILING  
± 8'-0"  
MATCH EXISTING FIRST FLOOR

Preliminary  
Not For  
Construction



**Front Entry Approach**  
NOT TO SCALE



**Garage Entry Approach**  
NOT TO SCALE



**Rear View**  
NOT TO SCALE



**Veranda View**  
NOT TO SCALE

PRELIMINARY  
NOT FOR  
CONSTRUCTION

ISSUE:	5-27-21	Review
	6-18-21	Review
	1-29-22	Review
	1-31-22	Review
	2-18-22	Review
	2-21-22	BZA

Addition & Renovation for  
The Griffiths Residence

Ohio  
17852 Lake Road  
Lakewood



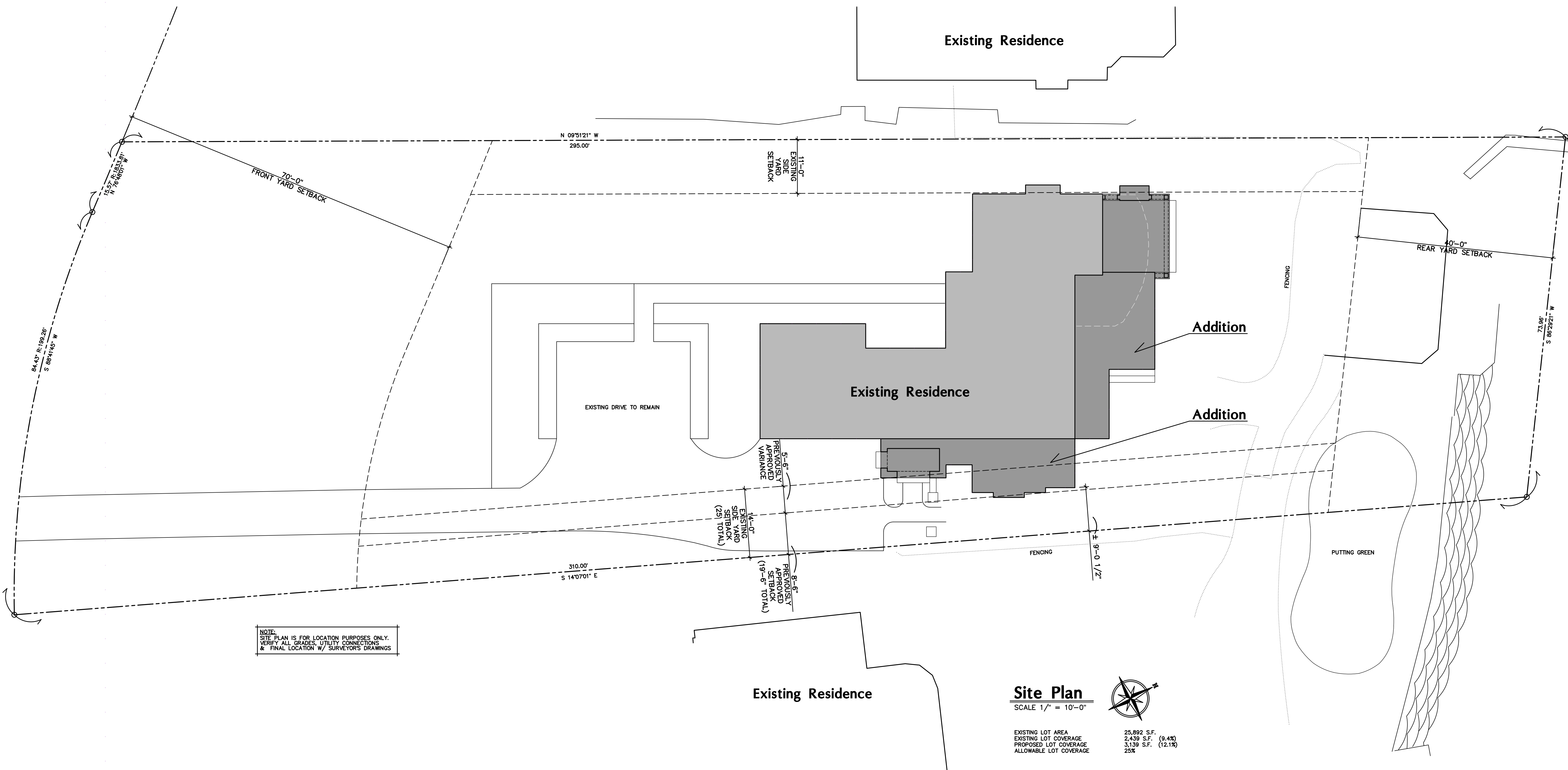
Renderings

A-6

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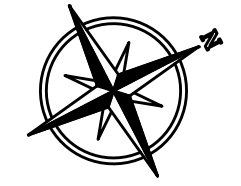
Project No: 21-29  
Drawn By: BCK  
Checked By: DTM

Preliminary  
Not For  
Construction



NOTE:  
SITE PLAN IS FOR LOCATION PURPOSES ONLY.  
VERIFY ALL GRADES, UTILITY CONNECTIONS  
& FINAL LOCATION W/ SURVEYOR'S DRAWINGS

**Site Plan**  
SCALE 1/4" = 10'-0"



EXISTING LOT AREA	25,892 S.F.
EXISTING LOT COVERAGE	2,439 S.F. (9.4%)
PROPOSED LOT COVERAGE	3,139 S.F. (12.1%)
ALLOWABLE LOT COVERAGE	25%

Preliminary  
Not For  
Construction

PRELIMINARY  
NOT FOR  
CONSTRUCTION

ISSUE:	
1-6-25 REVIEW	
1-31-25 REVIEW	

**Addition & Renovation for  
The Griffiths Residence**

17852 Lake Road  
Lakewood  
Ohio

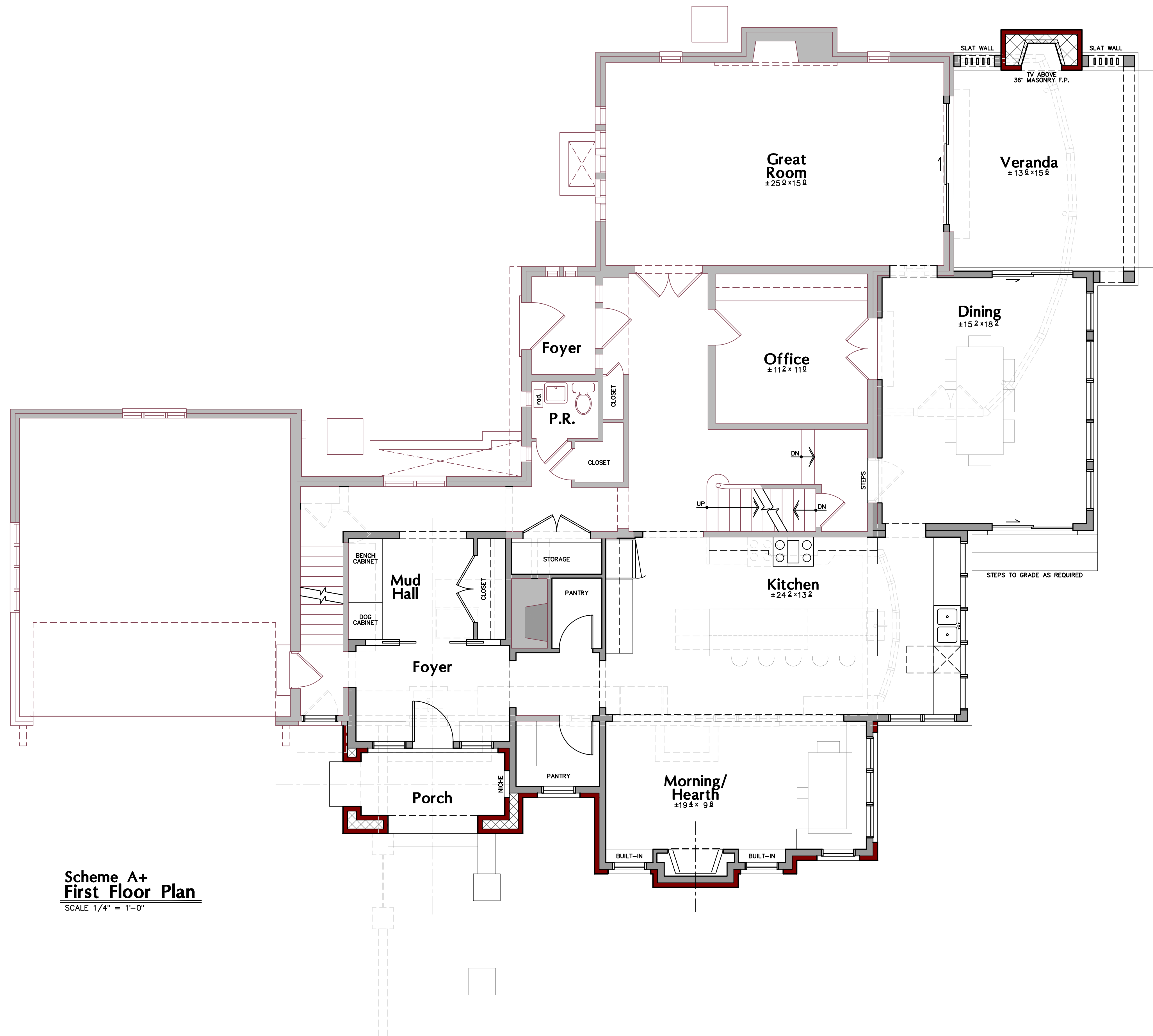
**The Arcus Group, Inc.**  
ARCHITECTS

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Tel: 440.356.5530

Site Plan  
(Scheme A+)

**SK-1**  
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**Scheme A+  
First Floor Plan**  
SCALE 1/4" = 1'-0"

Preliminary  
Not For  
Construction

PRELIMINARY  
NOT FOR  
CONSTRUCTION

ISSUE:  
1-6-25 REVIEW  
1-31-25 REVIEW

**Addition & Renovation for  
The Griffiths Residence**

Lakewood Ohio  
17852 Lake Road

**The Arcus Group, Inc.**  
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**First Floor Plan  
(Scheme A+)**

**SK-2**  
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**Scheme A+  
Second Floor Plan**  
SCALE 1/4" = 1'-0"

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Not For  
Construction

PRELIMINARY  
NOT FOR  
CONSTRUCTION

ISSUE:  
1-6-25 REVIEW  
1-31-25 REVIEW

**Addition & Renovation for  
The Griffiths Residence**

17852 Lake Road  
Lakewood Ohio

**The Arcus Group, Inc.**  
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Second Floor Plan  
(Scheme A+)

**SK-3**  
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Existing Garage Approach



Proposed Garage Approach



Existing Side View



Proposed Side View

PRELIMINARY  
NOT FOR  
CONSTRUCTION

ISSUE:  
1-6-25 REVIEW  
1-31-25 REVIEW

**Addition & Renovation for  
The Griffiths Residence**

Lakewood Ohio  
17852 Lake Road

**The Arcus Group, Inc.**  
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Renderings  
(Scheme A+)

**SK-4**

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Preliminary  
Not For  
Construction



Existing Rear Kitchen View



Proposed Rear Kitchen View



Existing Rear Veranda View



Proposed Rear Veranda View

PRELIMINARY  
NOT FOR  
CONSTRUCTION

ISSUE:  
1-6-25 REVIEW  
1-31-25 REVIEW

Addition & Renovation for  
The Griffiths Residence

17852 Lake Road  
Lakewood Ohio

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Renderings  
(Scheme A+)

SK-5

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