

**AMENDED AGENDA
BOARD OF ZONING APPEALS
CITY OF LAKEWOOD
12650 DETROIT AVENUE
MARCH 21, 2024**

**PRE-REVIEW MEETING
6:00 P.M.
EAST CONFERENCE ROOM**

**REVIEW MEETING
6:30 P.M.
AUDITORIUM**

1. ROLL CALL
2. APPROVE MINUTES OF THE FEBRUARY 15, 2024 MEETING
3. OPENING REMARKS

OLD BUSINESS

4. **Docket No. 10-16-23
12534 Lake Ave.
Shady Cove Townhouses**

Applicant Tyler Brummett of Brookside Shady LLC proposes the construction of 16 townhouses. The proposal has been approved at ABR and is now before the Planning Commission for a lot split to create 16 for sale townhomes on individual parcels, and one remainder parcel for a common driveway or private drive and other common areas. The parcels are smaller than the minimum lot size and frontage guidelines, and the proposed townhomes do not meet the required front, two side and rear setback requirements. Additionally, each townhome has a proposed uncovered rooftop patio which requires a variance because these patios are uncovered. Due to the number of variances being requested it is important to refer to the drawing, as proposed The property is located in the MH, Multi-Family High Density District. (Page 2)

- Variances for Building A: Proposed Building A will be split into 5 parcels with 5 townhomes that will be sold. The required minimum lot size is 10,000 square feet, minimum frontage for each parcel is 60 feet. The parcels range in size from 1152.11 to 1370.93 square feet, and range in frontage from 21.20- 28.87 feet. Ten variances are required for the parcels, as proposed. The buildings on each parcel exceed maximum permitted lot coverage, and do not have the required front, rear or two side setbacks requirements. Additionally, each townhome has an uncovered rooftop patio with an area of 150 square feet and a height of 34 feet 6 inches. The buildings require 30 variances, as proposed. Pursuant to all applicable sections of Chapter 1127 including sections 1127.03,(91-95.Passed 10-7-1996)1127.06(91-95.Passed 10-7-1996),1127.07(91-95.Passed 10-7-1996),1127.09(91-95.Passed 10-7-1996) and 1127.10(39-16. Passed 9-6-2016).
- Variances for Building B: Proposed Building B will be split into 6 parcels with 6 townhomes that will be sold. The required minimum lot size is 10,000 square feet, minimum frontage for each parcel

is 60 feet. The parcels range in area from 994.55 to 1,010.05 square feet, and range in frontage on the new private drive from 20.13- 20.44 feet. Ten variances are required for the parcels, as proposed. The buildings on each parcel exceed maximum permitted lot coverage, and do not have the required front, rear or two side setbacks. Additionally, each proposed townhome has an uncovered rooftop patio with an area of 150 square feet and a height of 34 feet 6 inches. The buildings require 36 variances, as proposed. . Pursuant to all applicable sections of Chapter 1127 including sections 1127.03,(91-95.Passed 10-7-1996)1127.06(91-95.Passed 10-7-1996),1127.07(91-95.Passed 10-7-1996),1127.09(91-95.Passed 10-7-1996) and 1127.10(39-16. Passed 9-6-2016).

- Variances for Building C: Proposed Building C will be split into 5 parcels with 5 townhomes that will be sold. The required minimum lot size is 10,000 square feet, minimum frontage for each parcel is 60 feet. The parcels range in area from 994.55 to 1,187.27 square feet, and range in frontage on the new private drive from 20.13- 20.44 feet. Ten variances are required for the parcels, as proposed. The buildings on each parcel exceed maximum permitted lot coverage, and do not have the required front, rear or side setbacks. Additionally, each proposed townhome has an uncovered rooftop patio with an area of 150 square feet and a height of 34 feet 6 inches. The buildings require 30 variances, as proposed. . Pursuant to all applicable sections of Chapter 1127 including sections 1127.03,(91-95.Passed 10-7-1996)1127.06(91-95.Passed 10-7-1996),1127.07(91-95.Passed 10-7-1996),1127.09(91-95.Passed 10-7-1996) and 1127.10(39-16. Passed 9-6-2016).

The remainder lot of approx. 17,181.38 square feet will be used for the creation of a private drive and common areas, and because it meets the requirements for minimum area and frontage does not require any variances. Ownership, easements, and maintenance responsibilities will be established by deed, and mailing address and contact information of the common areas/private drive will be provided to all applicable city departments and updated regularly.

ADJOURN

“Individuals with disabilities, who require accommodations for participation in meetings, must request accommodations at least 3 business days ahead of the scheduled meeting. Contact [Michelle Nochta](mailto:michelle.nochta@lakewoodoh.net) at (216) 529-5906 michelle.nochta@lakewoodoh.net .”



BOARD OF ZONING APPEALS

12650 Detroit Avenue • 44107 • (216) 529-6630 • FAX (216) 529-5907
www.lakewoodoh.gov

Application Cover Page

Docket No.: 10-16-23

Reference No.: BZA23-000034, BZA23-000040, BZA23-000041

Applicant Name: Tyler Brummett, Brookside Shady, LLC

Project Address: 12534 Lake Ave.

Project Name: Shady Cove Townhouses


Proposal: The construction of 16 townhouses. The proposal has been approved at ABR and is now before the Planning Commission for a lot split to create 16 for sale townhomes on individual parcels, and one remainder parcel for a common driveway or private drive and other common areas. The parcels are smaller than the minimum lot size and frontage guidelines, and the proposed townhomes do not meet the required front, two side and rear setback requirements. Additionally, each townhome has a proposed uncovered rooftop patio which requires a variance because these patios are uncovered. Due to the number of variances being requested it is important to refer to the drawing, as proposed. The property is located in the MH, Multi-Family High Density District.

SHADY COVE TOWNHOMES

CITY OF LAKEWOOD COUNTY OF CUYAHOGA STATE OF OHIO



2555 Hartville Rd., Suite B
Rookstown, OH 44272
www.WeberEngineeringServices.com
330-329-2037
matt@webercivil.com



Reg. No.: 61709

CLIENT:

RDL
ARCHITECTS

21111 CHAGRIN BLVD., #110
BEACHWOOD, OHIO 44122
216.752.4300

OWNER:

VL FREELAND LLC

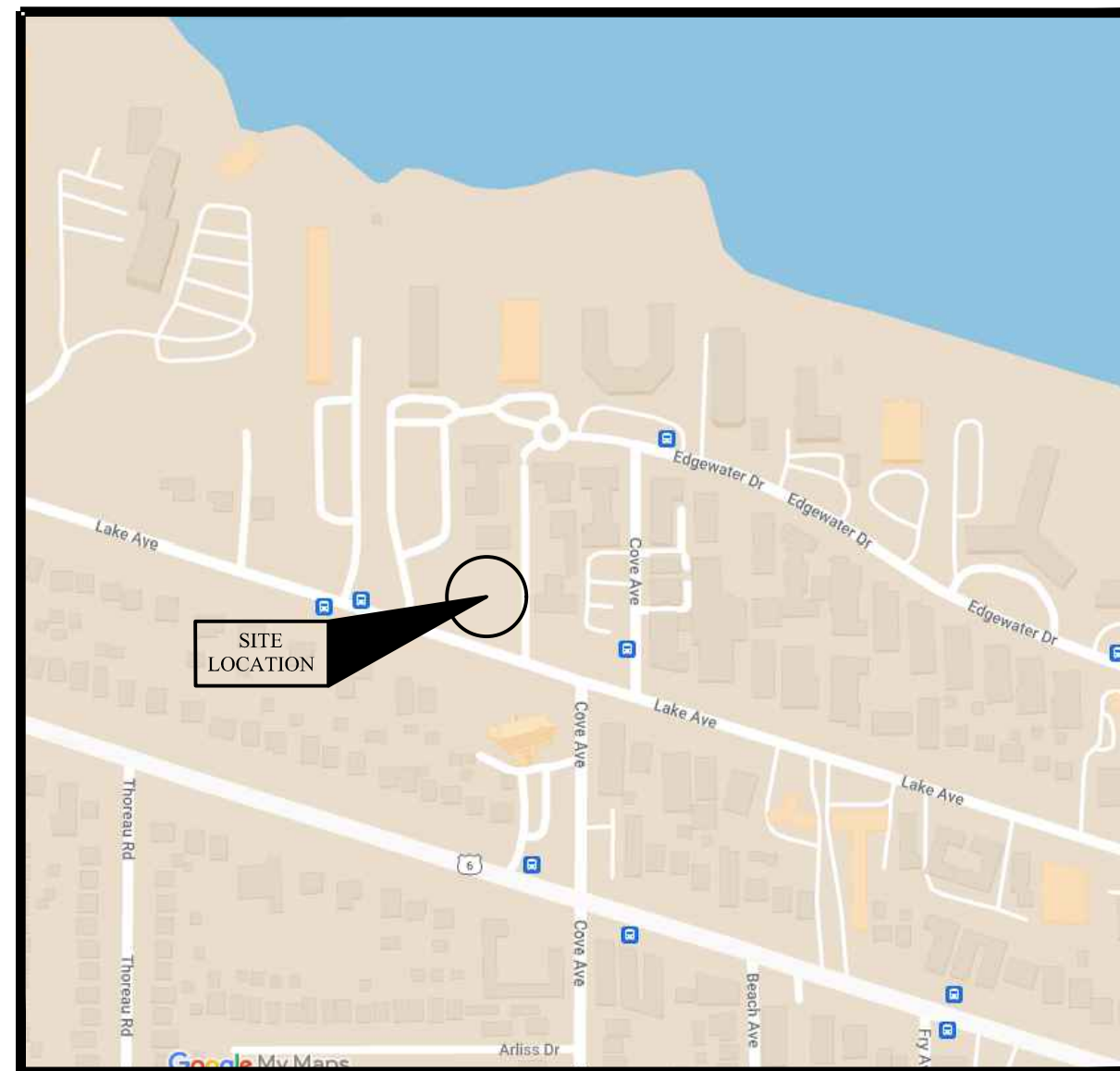
P.O. BOX 30339
MIDDLEBURG HEIGHTS, OH
44130

SHADY COVE TOWNHOMES
NEW CONSTRUCTION
12534 LAKE AVE, LAKEWOOD, OH

Issue Date
02-17-2024
02-26-2024
03-04-2024
03-05-2024

GENERAL NOTES

1. THE CONSTRUCTION OF THIS PROJECT SHALL BE GOVERNED BY THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION (O.D.O.T.) CONSTRUCTION AND MATERIAL SPECIFICATIONS, CURRENT EDITION, THE O.D.O.T. STANDARD CONSTRUCTION DRAWINGS, AND THE CITY OF LAKEWOOD SPECIFICATIONS AND STANDARD CONSTRUCTION DRAWINGS.
2. ALL DISTURBED GREEN AREAS SHALL BE TOP DRESSED AND RE-SEEDED.
3. CALL OHIO UTILITIES PROTECTION SERVICE BEFORE DIGGING (811).
4. ALL STORM SEWERS SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE), SMOOTH LINED, PER O.D.O.T. ITEM 707.33.
5. ELECTRICAL CONDUIT SHALL BE AS REQUIRED BY THE UTILITY OWNER.
6. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS IN THE ENGINEERING AND BUILDING DEPARTMENTS.
7. THE CONTRACTOR IS RESPONSIBLE FOR ANY ADDITIONAL SILTATION CONTROL MEASURES NECESSARY TO PREVENT SILT FROM LEAVING THE SITE.
8. THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF DEMOLITION MATERIAL AND DEBRIS.
9. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL DISTURBED AREAS TO THEIR ORIGINAL CONDITION, OR BETTER.
10. TEMPORARY SOIL EROSION AND SEDIMENT CONTROL WILL BE REQUIRED IN ACCORDANCE WITH THE CITY OF LAKEWOOD ENGINEER'S OFFICE.
11. A PRE CONSTRUCTION MEETING MUST BE HELD AT THE CITY OF LAKEWOOD ENGINEER'S OFFICE PRIOR TO STARTING ANY CONSTRUCTION ACTIVITY. IN ADDITION, THE CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE TO THE CITY OF LAKEWOOD BEGINNING WORK TO ARRANGE FOR INSPECTION.
12. A 18 INCH MINIMUM VERTICAL CLEARANCE SHALL BE MAINTAINED FROM THE OUTSIDE EDGE OF ALL WATER MAIN PIPE TO THE OUTSIDE EDGE OF ALL STORM SEWER PIPE.
13. A 10 FOOT MINIMUM HORIZONTAL CLEARANCE SHALL BE MAINTAINED FROM THE OUTSIDE EDGE OF ALL WATER MAIN PIPE, STORM SEWER PIPE & SANITARY SEWER PIPE.
14. AN 18 INCH MINIMUM VERTICAL CLEARANCE SHALL BE MAINTAINED FROM THE OUTSIDE EDGE OF ALL WATER MAIN PIPE TO THE OUTSIDE EDGE OF ALL SANITARY SEWER.



VICINITY MAP
NO SCALE



CITY OF LAKEWOOD REQUIRED NOTES

1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL DOCUMENT THE PRE-CONSTRUCTION RIGHT OF WAY CONDITIONS ALONG LAKE AVENUE WITH PHOTOGRAPHS AND VIDEO. THE DOCUMENTATION SHALL BE PROVIDED TO THE CITY ENGINEER FOR APPROVAL TWO WEEKS PRIOR TO CONSTRUCTION PROCEEDING.
2. THE CONTRACTOR SHALL TEMPORARILY USE STEEL PLATES OVER TRENCHES IN THE RIGHT OF WAY FOR ALL UTILITY UNDERGROUND WORK. PAVEMENT TRENCHES SHALL BE PLATED FOR NO MORE THAN 7 DAYS. TRENCHES SHALL BE TO THE SURFACE WITH EITHER TEMPORARY ASPHALT OR CONCRETE UNTIL THE FINAL RESTORATION IS MADE. PLACEMENT OF STONE AT THE SURFACE IS PROHIBITED.
3. ALL WORK PERFORMED IN THE RIGHT OF WAY SHALL BE OBSERVED BY THE CITY OF LAKEWOOD ENGINEERS REPRESENTATIVE JOE SCHALLER, PE. SCHEDULE 24 HOURS IN ADVANCE 440-537-8945.
4. TWO WEEKS PRIOR TO INSTALLATION, PROVIDE MATERIAL SUBMITTALS FOR USE IN THE RIGHT OF WAY TO THE CITY ENGINEER FOR APPROVAL.
5. PROVIDE AS-BUILT DRAWINGS TO THE CITY ENGINEER AT THE COMPLETION OF WORK.
6. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY ENGINEER.

WATER LINE NOTES

1. ALL WATER LINE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF LAKEWOOD WATER DISTRIBUTION SECTION LS 638.

SANITARY SEWER NOTES

1. ALL SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF LAKEWOOD SANITARY SEWER SECTION LS 2530.

INDEX

DESCRIPTION	SHEET NO.
TITLE SHEET	C100
DEMOLITION PLAN	C101
SITE PLAN	C102
UTILITY PLAN	C103
GRADING PLAN	C104
SITE DETAILS	C105
ABBREVIATED SWP ₃	C106
ABBREVIATED SWP ₃ DETAILS	C107-C110

TITLE SHEET

C100
Project No. 2023-252



D:\Revised - WORK\Civil 3D Projects\2024\2023-252 Shady Cove Lakewood Townhomes\Draw\2023-252 Site\01.DWG 3/5/2024 10:48:03 PM

BENCH MARK #1

MATCHLINE (THIS SHEET)

220 BROOKSIDE SHADY LLC
INSTR. 202112300949
PPN 31210018

ADJ. BRICK BLD.
P.P. -648.07

MARINE TOWERS EAST CONDOMINIUM
VOL. 10 OF CONDOMINIUM MAPS, PAGE 25
PPN 31209016

EX. BUILDING & ALL APPURTENANT
STRUCTURES WITHIN DESIGNATED
DEMOLITION AREA
(TO BE REMOVED)

PRN 31210017
VL FREELAND LLC
DOC. NO. 202112300944
0.6962 ACRES

220 BROOKSIDE SHADY LLC
INSTR. 202112300949
PPN 31210018

LAKE AVENUE 100' R/W

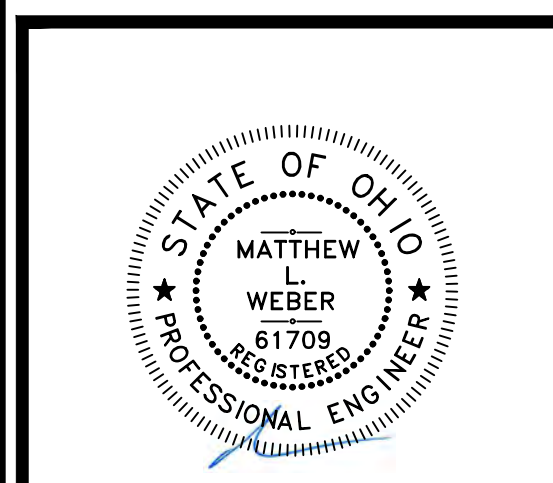
SITE BENCH MARK
BENCH MARK #1
DESCRIPTION
MAG NAIL SET 1' UP ON SOUTH SIDE OF LIGHT POLE
LOCATED NORTH OF THE N.W. PROPERTY CORNER.
ELEVATION = 644.53

EX. SANITARY
STRUCTURE
SCHEDULE

- ① SAN. MANHOLE #1
RIM-648.31
INV. 12' SE&NW-638.42
- ② SAN. MANHOLE #2
RIM-647.54
INV. 12' SE&NW-637.34
- ③ SAN. MANHOLE #3
RIM-648.02
INV. 36' SE&NW-625.95
- ④ SAN. MANHOLE #4
RIM-646.93
INV. 36' SE&NW-625.16

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Roostown, OH 44272
www.WeberEngineeringServices.com
330-329-2037
matt@webercivil.com



Reg. No.: 61709

CLIENT:

RDL ARCHITECTS

21111 CHAGRIN BLVD., #110
BEACHWOOD, OHIO 44122
216.752.4300

OWNER:

VL FREELAND LLC

P.O. BOX 30339
MIDDLEBURG HEIGHTS, OH
44130

SHADY COVE TOWNHOMES NEW CONSTRUCTION 12534 LAKE AVE, LAKEWOOD, OH	Issue Date
	02-17-2024
	02-26-2024
	03-04-2024
	03-05-2024

DEMOLITION PLAN

C101
Project No. 2023-252

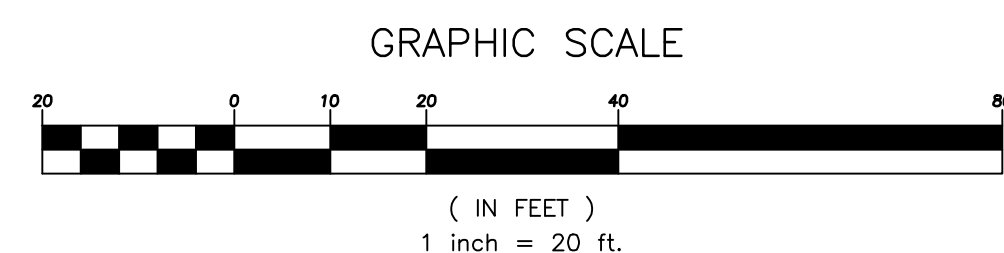
EXISTING UTILITY NOTE:
CONTRACTOR SHALL FIELD VERIFY LOCATION, DEPTH, SIZE AND CONNECTIVITY OF ALL EXISTING UTILITIES SERVING THE EXISTING STRUCTURE ON SITE PRIOR TO CONSTRUCTION. RECOMMEND USING A GPS SERVICE, DOCUMENT UTILITY INFORMATION AND ABANDON IN ACCORDANCE WITH CITY OF LAKEWOOD STANDARDS.

LEGEND

0.81 AC. AREA OF DEMOLITION & CLEARING

TREE TO BE REMOVED

ITALICS TEXT REPRESENTS EXISTING CONDITION
NON-ITALICS TEXT REPRESENTS PROPOSED CONDITION



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SURVEY BY:
TERRALOGIC INC.
SURVEYING & CONSTRUCTION SERVICES
MICHAEL J. BLASIO, P.S.
330-324-9999
2418 STATE STREET, N.W.
UNIONTOWN, OH 44685

BENCH MARK #1

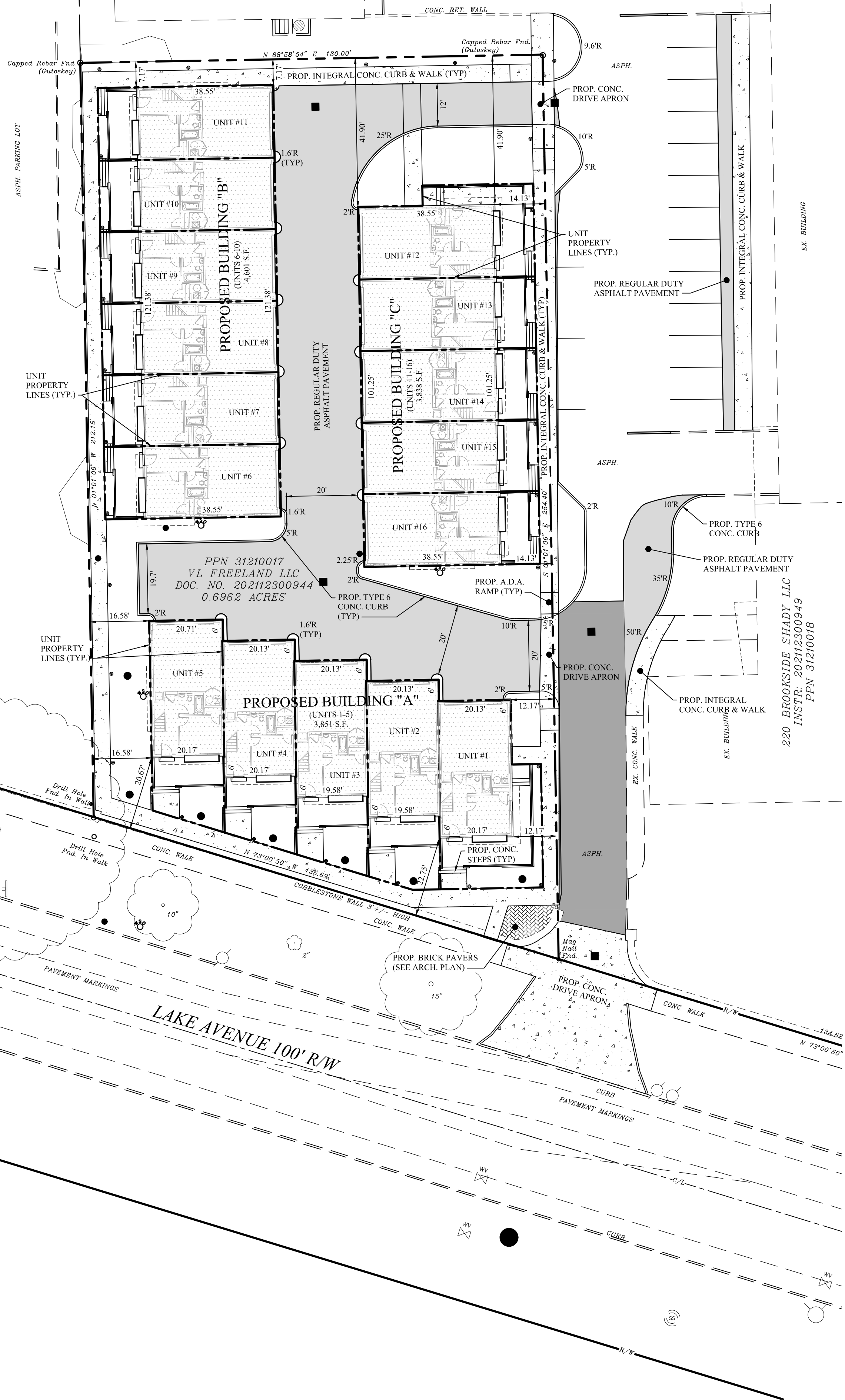
MATCHLINE (THIS SHEET)

220 BROOKSIDE SHADY LLC
INSTR: 202112300949
PPN 31210018

PROP. REGULAR DUTY ASPHALT PAVEMENT
PROP. TYPE 6 CONC. CURB

ADJ. BRICK BLD.
P.P. - 643.07

MARINE TOWERS EAST CONDOMINIUM
VOL. 10 OF CONDOMINIUM MAPS, PAGE 25
PPN 31205016

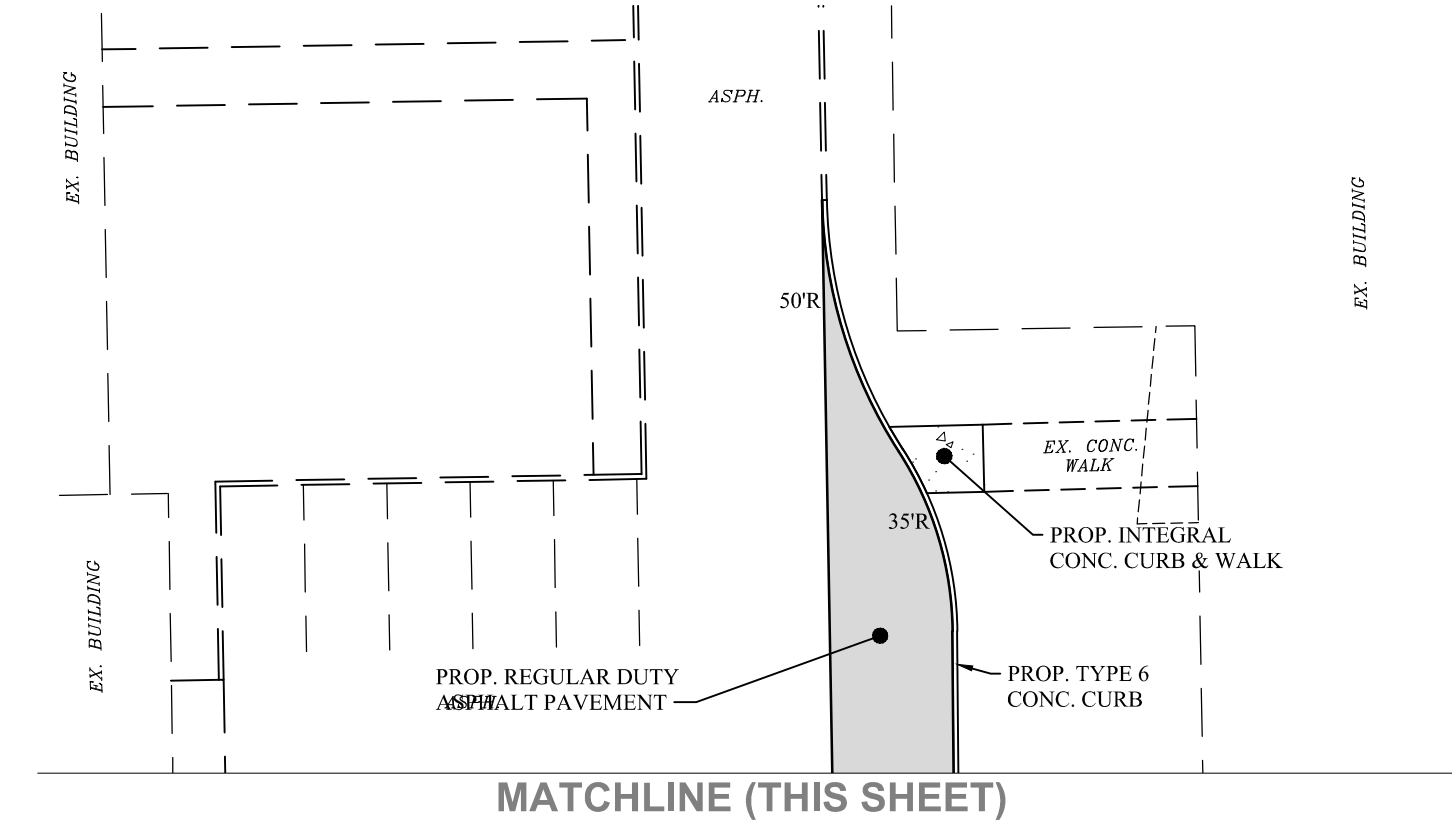


PPN 31210017
VL FREELAND LLC
DOC. NO. 202112300944
0.6962 ACRES

220 BROOKSIDE SHADY LLC
INSTR: 202112300949
PPN 31210018

LAKE AVENUE 100' R/W

SITE BENCH MARK
BENCH MARK #1
DESCRIPTION:
MAG NAIL SET 1' UP ON SOUTH SIDE OF LIGHT POLE
LOCATED NORTH OF THE NW. PROPERTY CORNER.
ELEVATION = 644.53



MATCHLINE (THIS SHEET)

SITE DATA

USE DISTRICT	= MH (RESIDENTIAL, MULTI FAMILY, HIGH DENSITY)
SITE AREA	= (0.6962 AC.)
PROP. BUILDING AREA	= 12,290 S.F. (TOTAL FOOTPRINT)
BUILDING SETBACKS:	
FRONT YARD	= 50' (75% OF BLDG. HT., FROM STREET C/L) OR "BUILDING LINE MAP VALUE"
SIDE YARD	= 33' (75% OF BLDG. HT.)
REAR YARD	= 50' (75% OF BLDG. HT.)

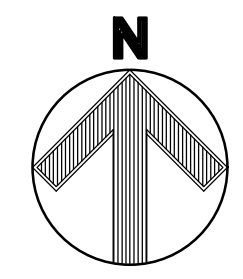
FLOOD ZONE

FLOOD ZONE "X" PER FLOOD INSURANCE RATE MAP NUMBER 3903SC 0157 F COMMUNITY PANEL NUMBER 39035 0157 F EFFECTIVE DATE SEPTEMBER 15, 2019

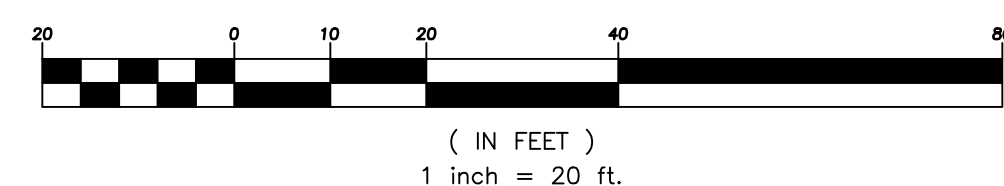
LEGEND

- REGULAR DUTY ASPHALT
- ASPHALT RESURFACING
- CONCRETE PAVING

ITALICS TEXT REPRESENTS EXISTING CONDITION
NON-ITALICS TEXT REPRESENTS PROPOSED CONDITION



GRAPHIC SCALE



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STATE OF OHIO
MATTHEW WEBER
61709
REGISTERED PROFESSIONAL ENGINEER

Reg. No.: 61709

CLIENT:

RDL ARCHITECTS

21111 CHAGRIN BLVD., #110
BEACHWOOD, OHIO 44122
216.752.4300

OWNER:

VL FREELAND LLC

P.O. BOX 30339
MIDDLEBURG HEIGHTS, OH
44130

SHADY COVE TOWNHOMES
NEW CONSTRUCTION
12534 LAKE AVE, LAKEWOOD, OH

Issue Date
02-17-2024
02-26-2024
03-04-2024
03-05-2024

SITE PLAN

C102
Project No. 2023-252



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BENCH MARK #1

MATCHLINE (THIS SHEET)

220 BROOKSIDE SHADY LLC
INSTR: 202112300949
PPN 31210018

MARINE TOWERS EAST CONDOMINIUM
VOL. 10 OF CONDOMINIUM MAPS, PAGE 25
PPN 31209016

SITE BENCH MARK
BENCH MARK #1
DESCRIPTION
MAG NAIL SET 1' UP ON SOUTH SIDE OF LIGHT POLE
LOCATED NORTH OF THE NW PROPERTY CORNER.
ELEVATION = 644.53

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STATE OF OHIO
MATTHEW WEBER
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REGISTERED PROFESSIONAL ENGINEER

Reg. No.: 61709

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BEACHWOOD, OHIO 44122
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P.O. BOX 30339
MIDDLEBURGH HEIGHTS, OH
44130

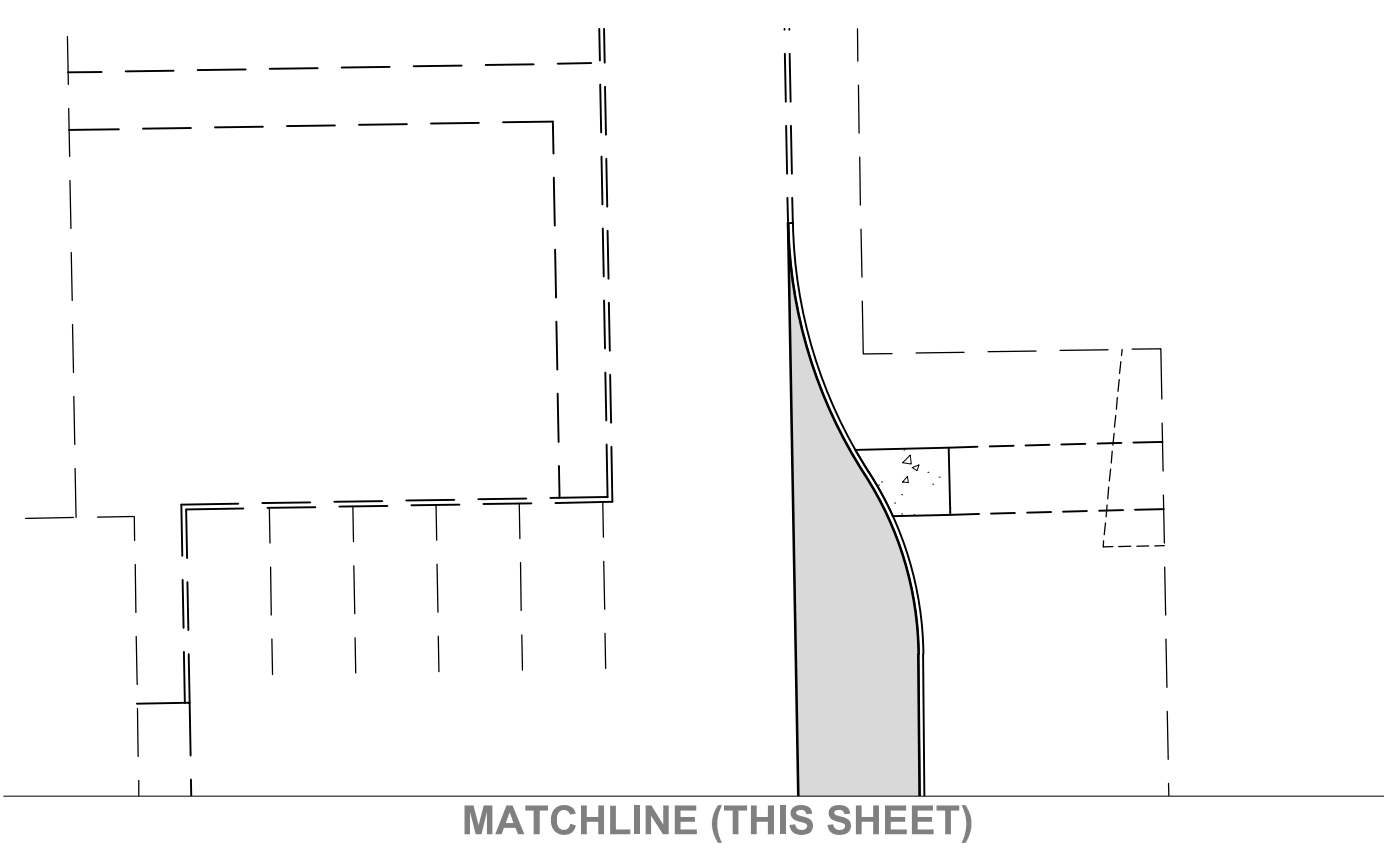
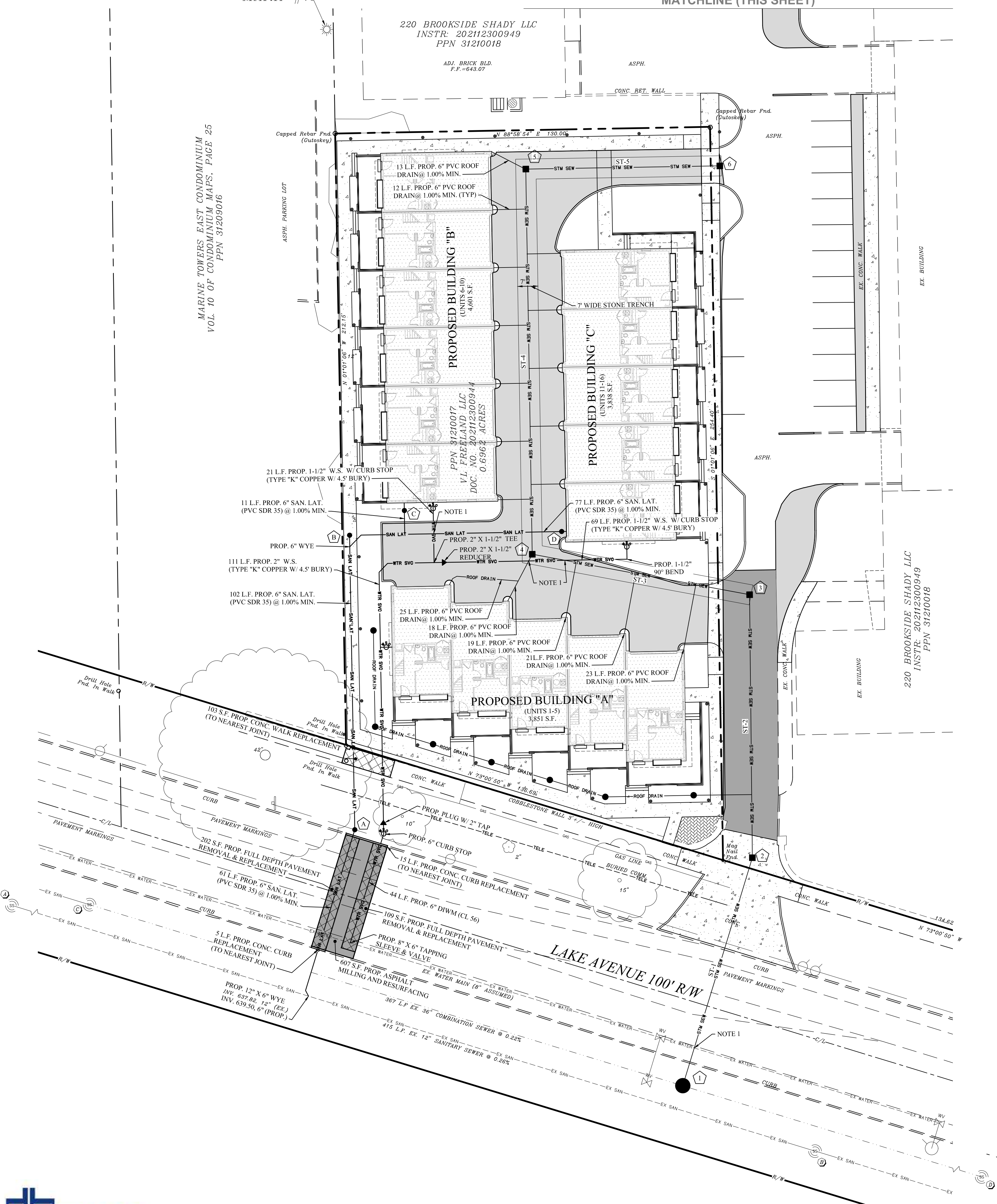
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02-17-2024
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03-04-2024
03-05-2024

SHADY COVE TOWNHOMES
NEW CONSTRUCTION
12534 LAKE AVE, LAKEWOOD, OH

UTILITY PLAN

C103
Project No. 2023-252



STORM STRUCTURE TABLE

STRUCTURE	DETAILS
1	COMBINATION MANHOLE RIM = 653.23 INV IN = 636.42, 12" N
2	ODOT CB 2-2C RIM = 646.90 INV IN = 637.50, 12" N INV OUT = 637.50, 12" S
3	PROP. OUTLET STRUCTURE (SEE DETAIL SHEET C108) RIM = 646.00 INV IN = 638.50, 36" W INV OUT = 638.50, 12" S
4	ODOT CB 2-4 RIM = 646.85 INV IN = 638.70, 36" N INV OUT = 638.70, 36" E
5	ODOT CB 2-4 RIM = 645.70 INV IN = 639.10, 36" E INV OUT = 639.10, 36" S
6	ODOT CB 2-4 RIM = 643.80 INV OUT = 639.25, 36" W
7	PROP. AREA DRAIN RIM = 646.80 INV IN = 642.50, 8" W INV OUT = 642.50, 8" E
8	PROP. AREA DRAIN RIM = 646.90 INV IN = 642.70, 8" W INV OUT = 642.70, 8" E
9	PROP. AREA DRAIN RIM = 646.90 INV IN = 642.95, 8" W INV OUT = 642.95, 8" E
10	PROP. AREA DRAIN RIM = 646.90 INV IN = 643.20, 8" W INV OUT = 643.20, 8" E
11	PROP. AREA DRAIN RIM = 646.90 INV IN = 643.45, 8" W INV OUT = 643.45, 8" E
12	PROP. AREA DRAIN RIM = 647.40 INV IN = 643.65, 8" N INV OUT = 643.65, 8" E
13	PROP. AREA DRAIN RIM = 646.80 INV OUT = 644.00, 8" S

STORM PIPE TABLE

NAME	SIZE	LENGTH	SLOPE	TYPE
ST-1	12"	82.70'	1.31%	HDPE
ST-2	12"	91.26'	1.10%	HDPE
ST-3	36"	76.65'	0.26%	HDPE
ST-4	36"	133.63'	0.30%	HDPE
ST-5	36"	67.29'	0.22%	HDPE
ST-6	8"	30.63'	0.65%	PVC
ST-7	8"	20.13'	1.24%	PVC
ST-8	8"	21.16'	1.18%	PVC
ST-9	8"	21.17'	1.18%	PVC
ST-10	8"	20.99'	0.95%	PVC
ST-11	8"	33.39'	1.05%	PVC
ST-12	8"	20.09'	1.00%	PVC

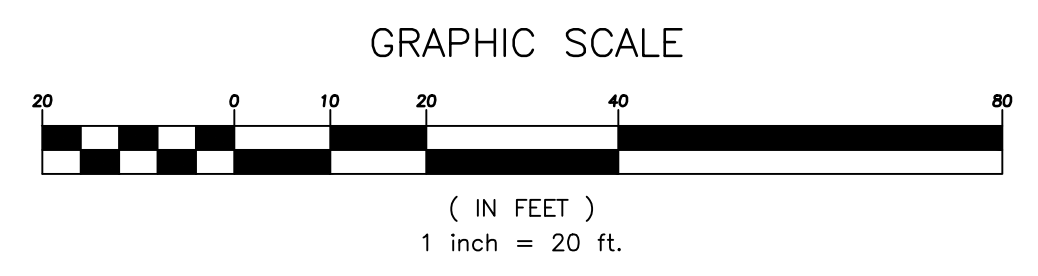
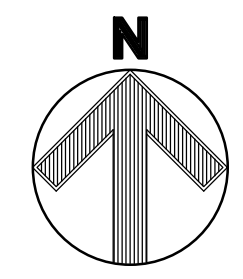
PROPOSED SANITARY STRUCTURE SCHEDULE

- A PROP. SANITARY CLEANOUT
TOP ??????
INV. 640.20, 6" SW & N
- B PROP. SANITARY CLEANOUT
TOP ??????
INV. 641.20, 6" S
- C PROP. SANITARY CLEANOUT
TOP ??????
INV. 642.00, 6" N & S
- D PROP. SANITARY CLEANOUT
TOP ??????
INV. 642.00, 6" W & E

NOTE 1:
CONTRACTOR SHALL DEFLECT W.M. AS NECESSARY TO MAINTAIN 18" MIN. VERTICAL CLEARANCE BETWEEN W.M. & SAN. SEW. AND/OR STM. SEW. AT ALL TIMES. (INSTALL BENDS WHERE NECESSARY.)

ROOF DRAIN CONNECTION NOTE:
ROOF DRAINS MAY ALL BE INTERCONNECTED MORE EFFICIENTLY ON-SITE AND REDUCE CONNECTIONS TO THE MANLINE STORAGE SYSTEM. ALL CONNECTIONS TO THE STORAGE SYSTEM SHALL BE KOR-N-TEE.

LEGEND
ITALICS TEXT REPRESENTS EXISTING CONDITION
NON-ITALICS TEXT REPRESENTS PROPOSED CONDITION



THE CITY OF LAKEWOOD WASTEWATER/WATER COLLECTION (W/WC) PERSONNEL SHALL OPERATE ANY VALVES WITHIN THE CITY RIGHT-OF-WAY. THE WATER TAP CONNECTION ON LAKE AVENUE SHALL BE MADE BY THE W/WC CONTACT NICK DEL VECCHIO 216-529-1867.

UPON COMPLETION OF THE UTILITY WORK, A DYE TEST SHALL BE PERFORMED BY THE CONTRACTOR IN THE PRESENCE OF THE CITY ENGINEERS REPRESENTATIVE TO ASSURE THAT THE SANITARY AND STORM CONNECTIONS ARE CORRECTLY CONNECTED.



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Reg. No.: 61709

CLIENT:

RDL ARCHITECTS

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 BEACHWOOD, OHIO 44122
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OWNER:

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P.O. BOX 30399
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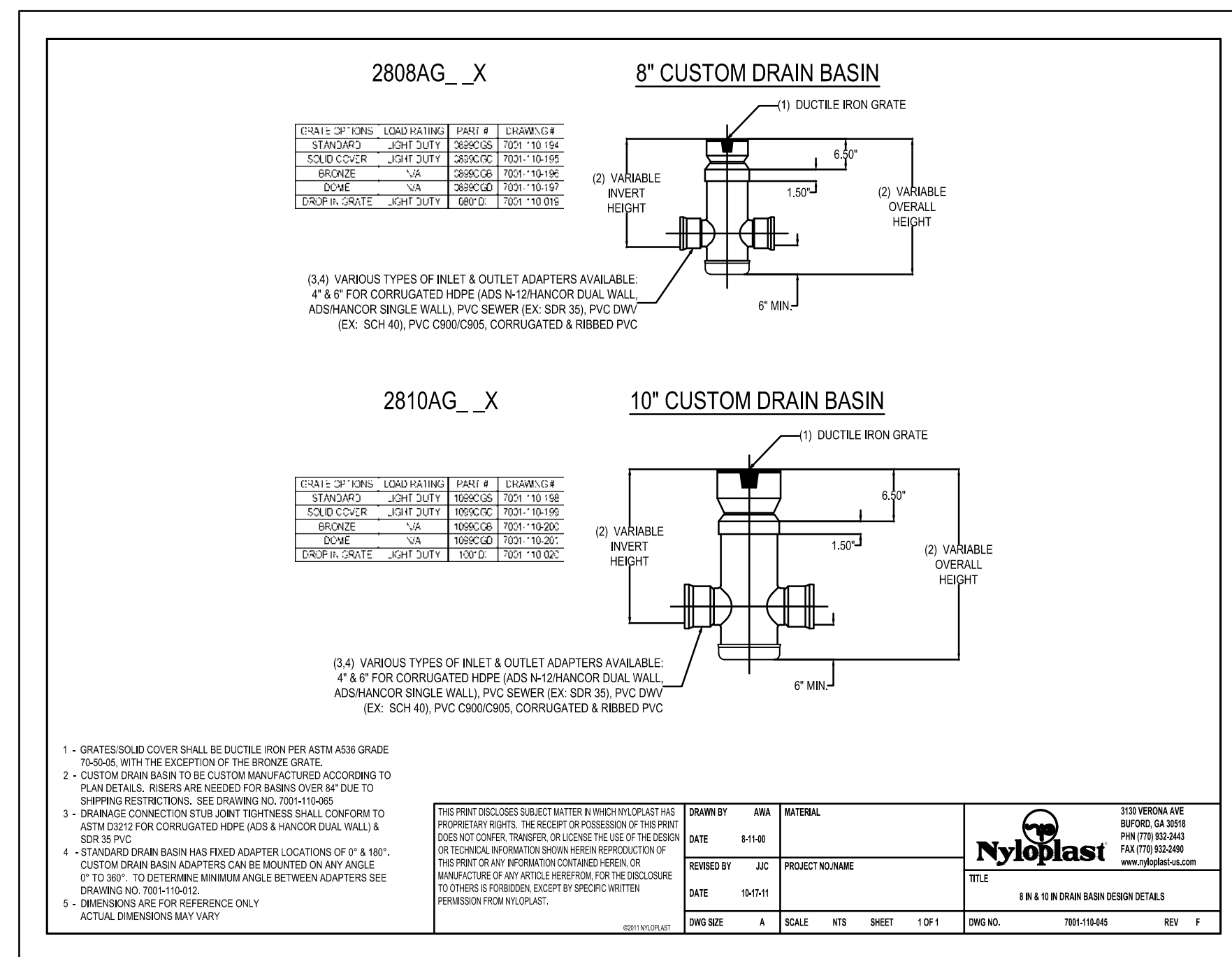
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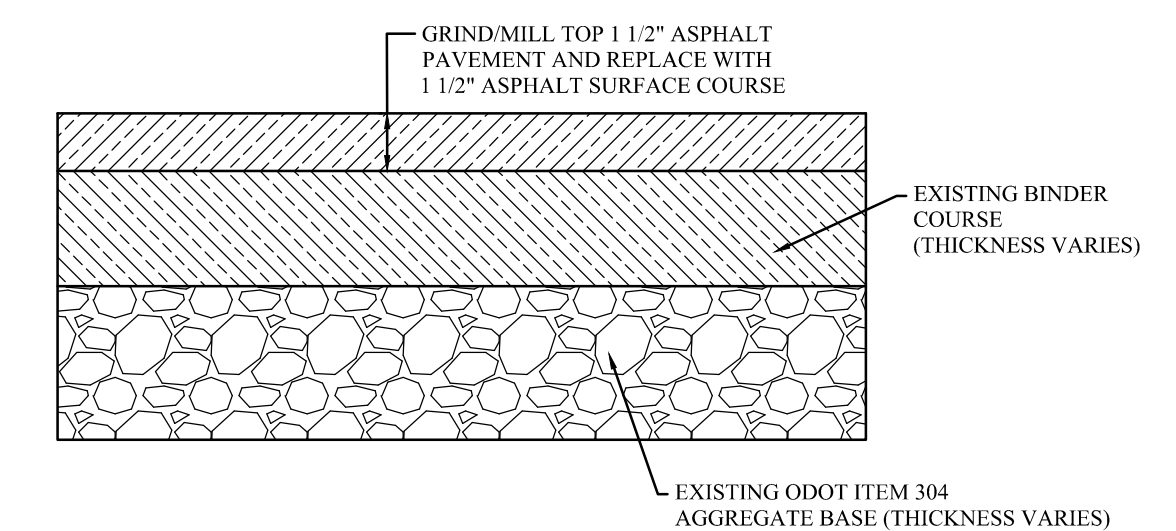
SHADY COVE TOWNHOMES
 NEW CONSTRUCTION
 12534 LAKE AVE, LAKEWOOD, OH

SITE
 DETAILS

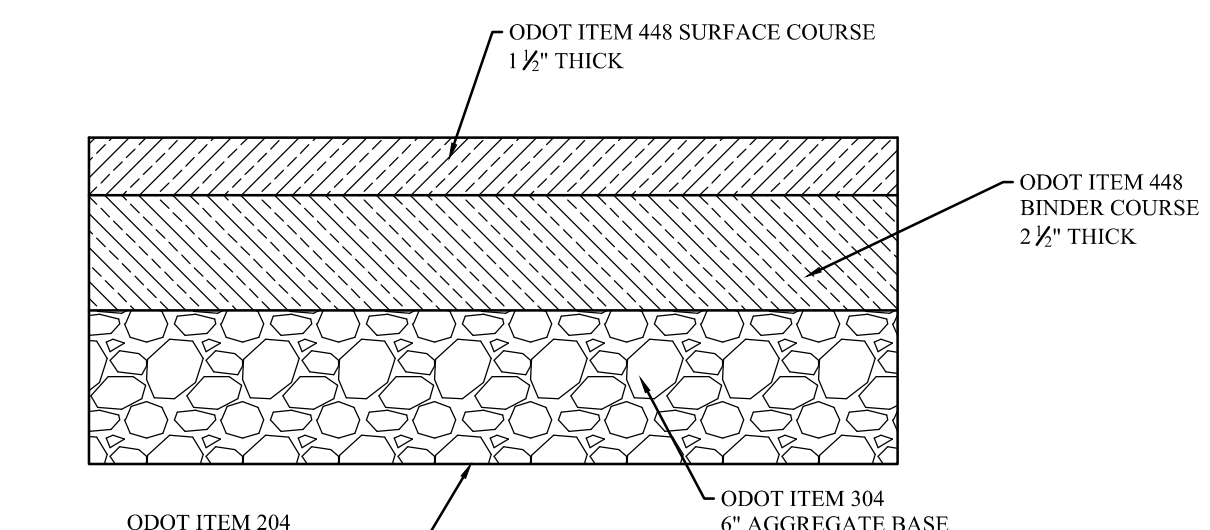
C105
 Project No. 2023-252



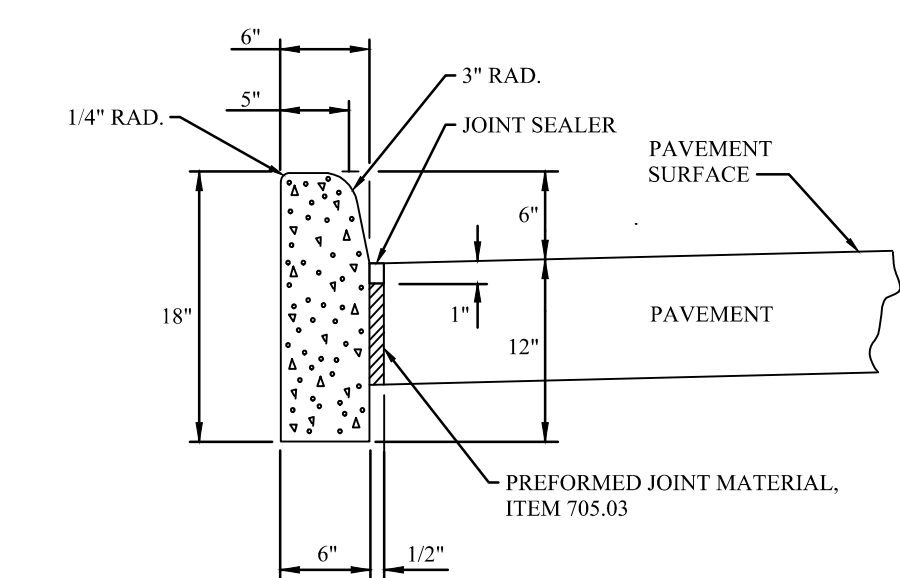
AREA DRAIN DETAIL



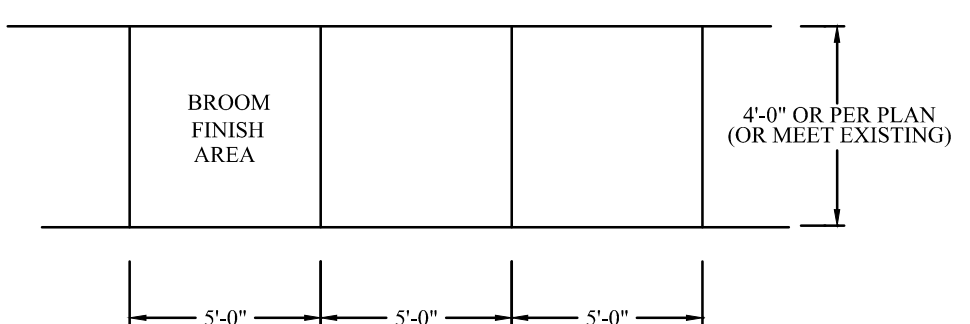
PROP. ASPHALT PAVEMENT RE-SURFACING
 REFERENCE ONLY NOT TO SCALE



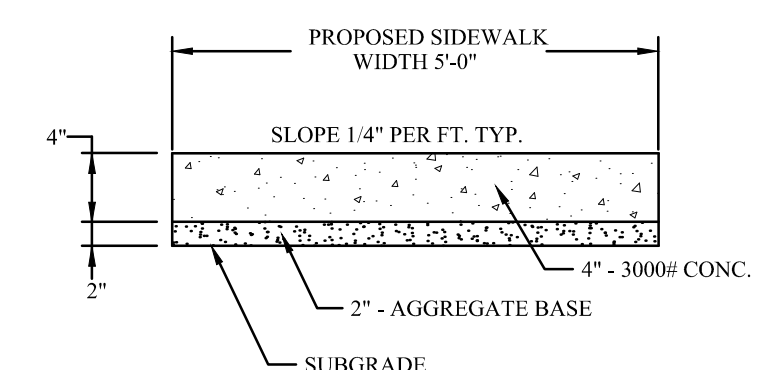
PROP. REGULAR DUTY ASPHALT PAVEMENT
 REFERENCE ONLY NOT TO SCALE
 (CONTRACTOR SHALL VERIFY WITH CURRENT GEOTECHNICAL REPORT)



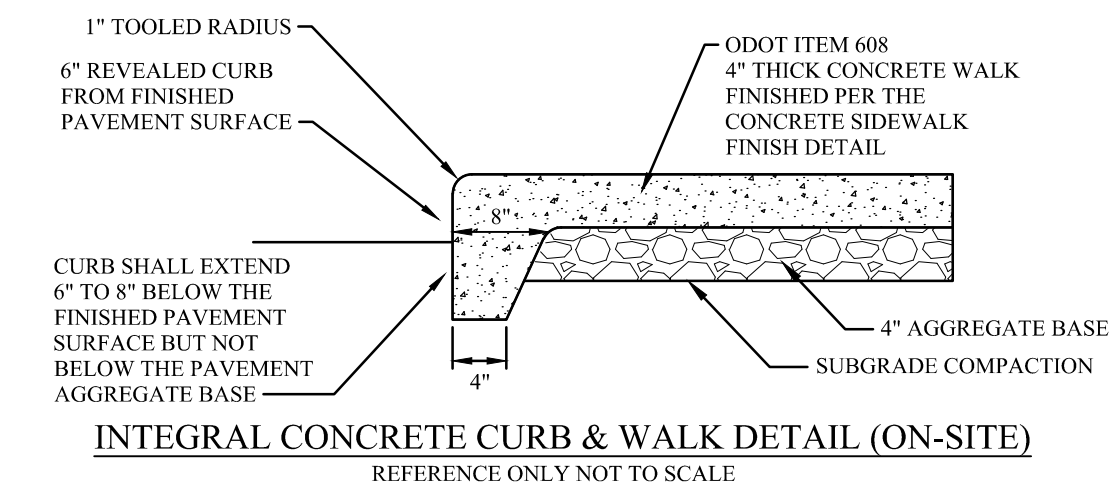
ODOT TYPE 6 CONCRETE CURB
 REFERENCE ONLY NOT TO SCALE



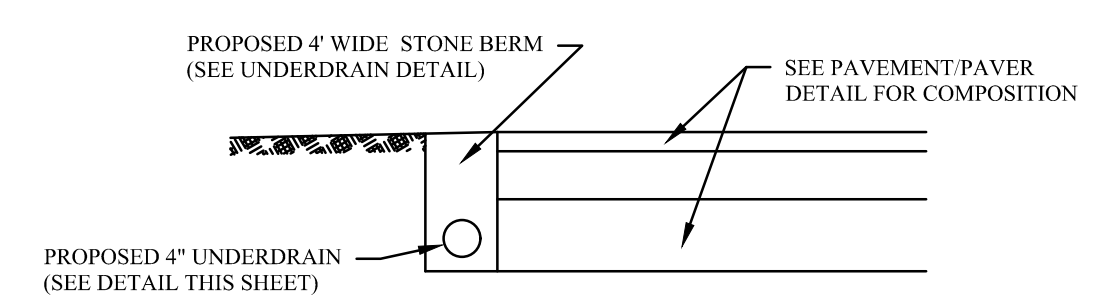
CONCRETE SIDEWALK FINISH AND JOINTS
 REFERENCE ONLY NOT TO SCALE



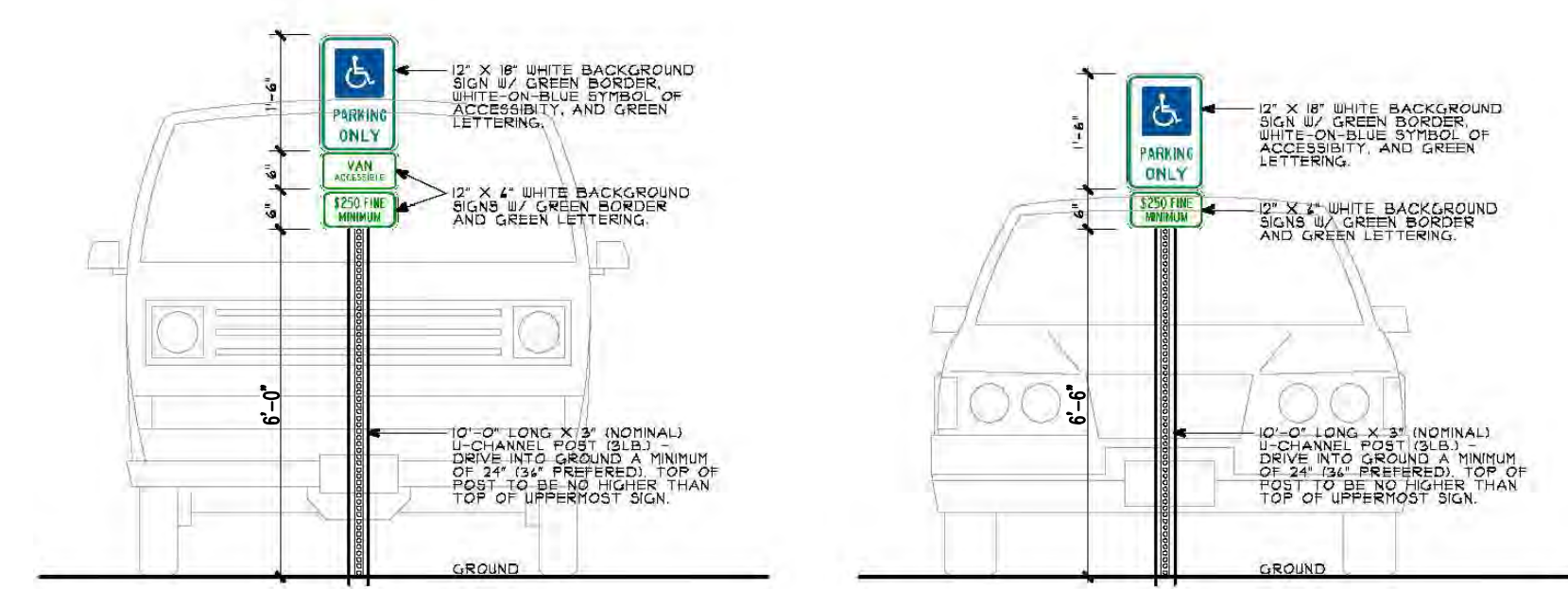
CONCRETE SIDEWALK
 REFERENCE ONLY NOT TO SCALE



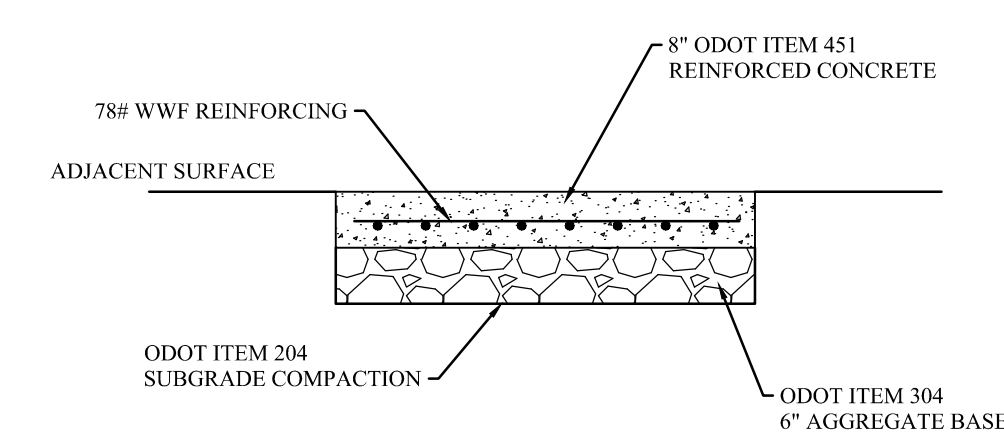
INTEGRAL CONCRETE CURB & WALK DETAIL (ON-SITE)
 REFERENCE ONLY NOT TO SCALE



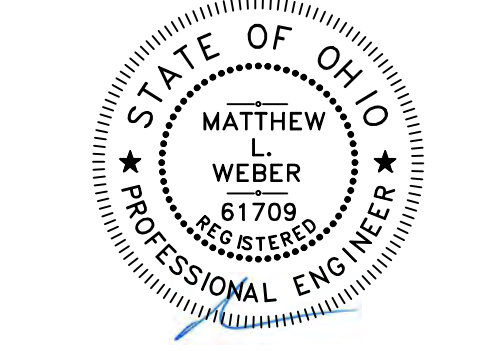
STONE BERM DETAIL
 REFERENCE ONLY NOT TO SCALE



HANDICAPPED PARKING DETAIL
 REFERENCE ONLY NOT TO SCALE



CONCRETE DRIVE APRON DETAIL
 REFERENCE ONLY NOT TO SCALE



Reg. No.: 61709

CLIENT:

RDL ARCHITECTS
 21111 CHAGRIN BLVD., #110
 BEACHWOOD, OHIO 44122
 216.752.4300

OWNER:

VL FREELAND LLC
 P.O. BOX 30339
 MIDDLEBURGH HEIGHTS, OH
 44130

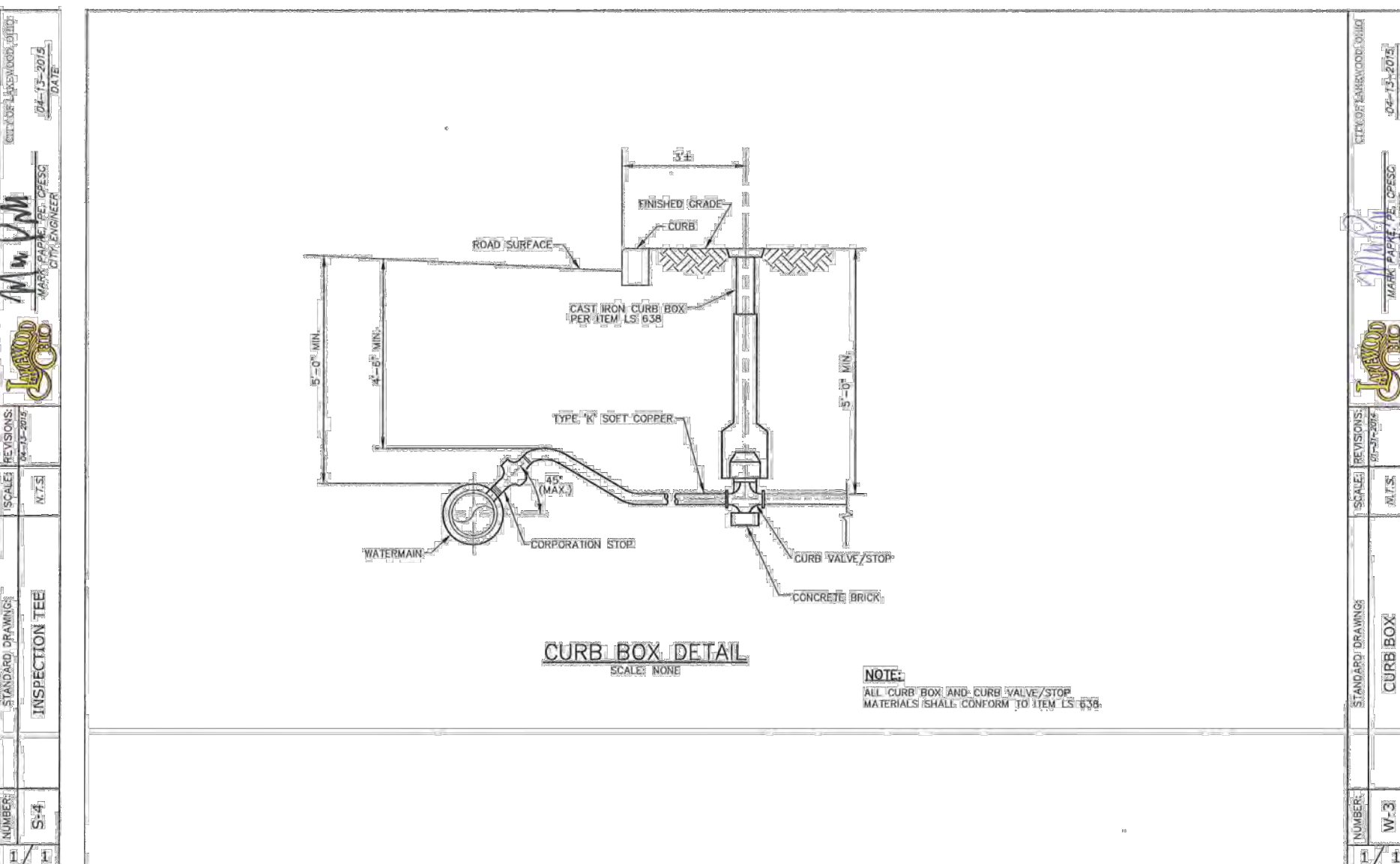
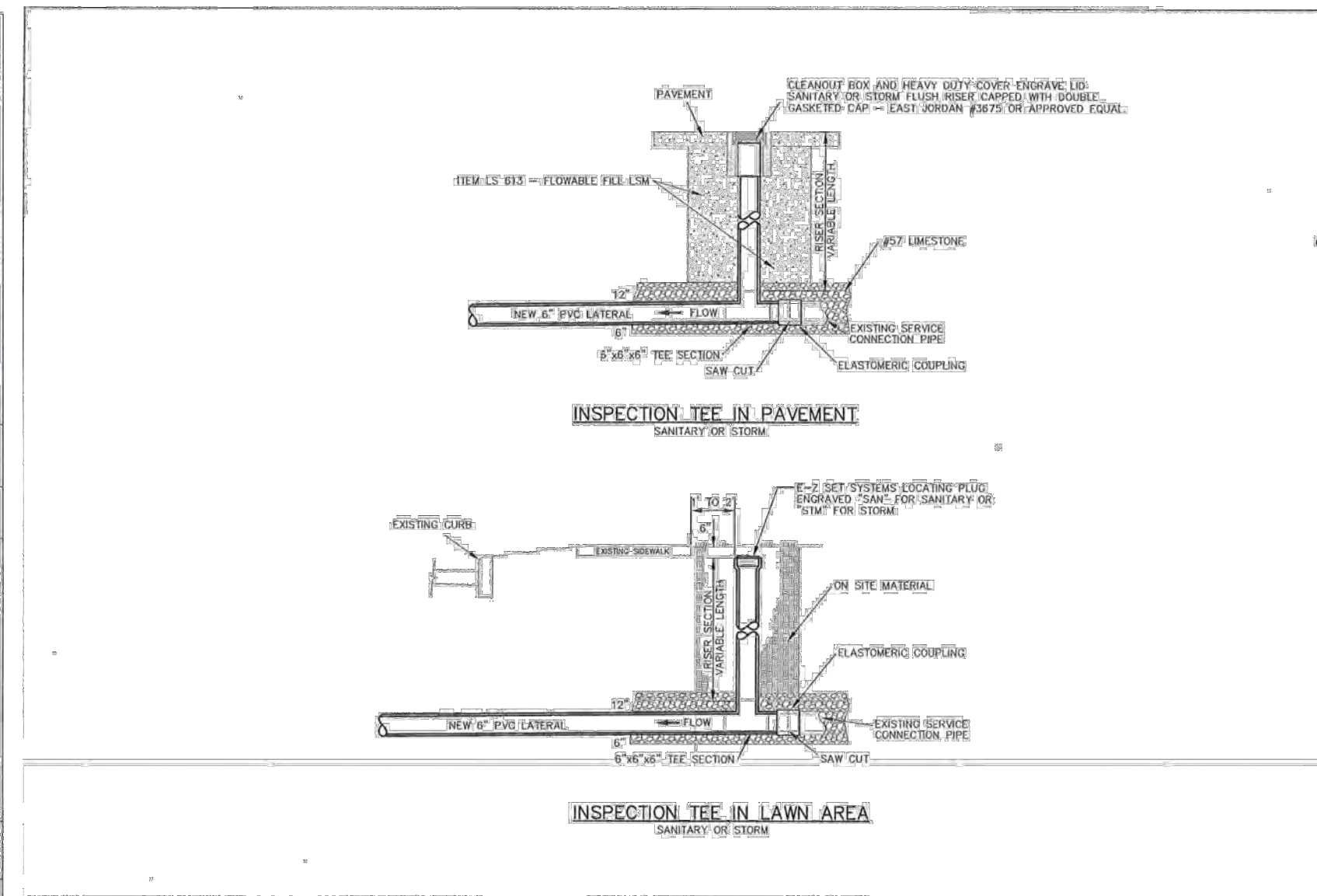
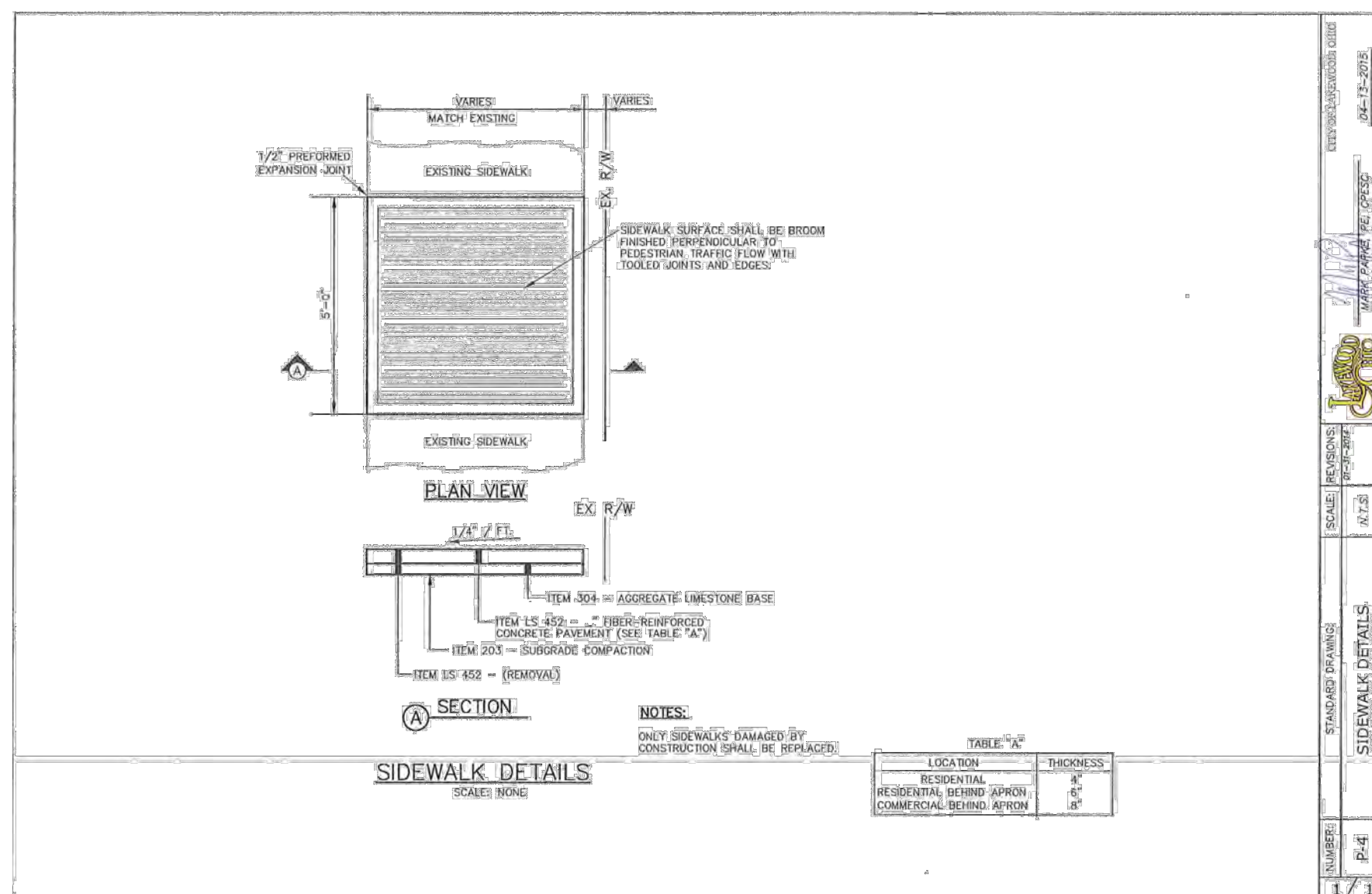
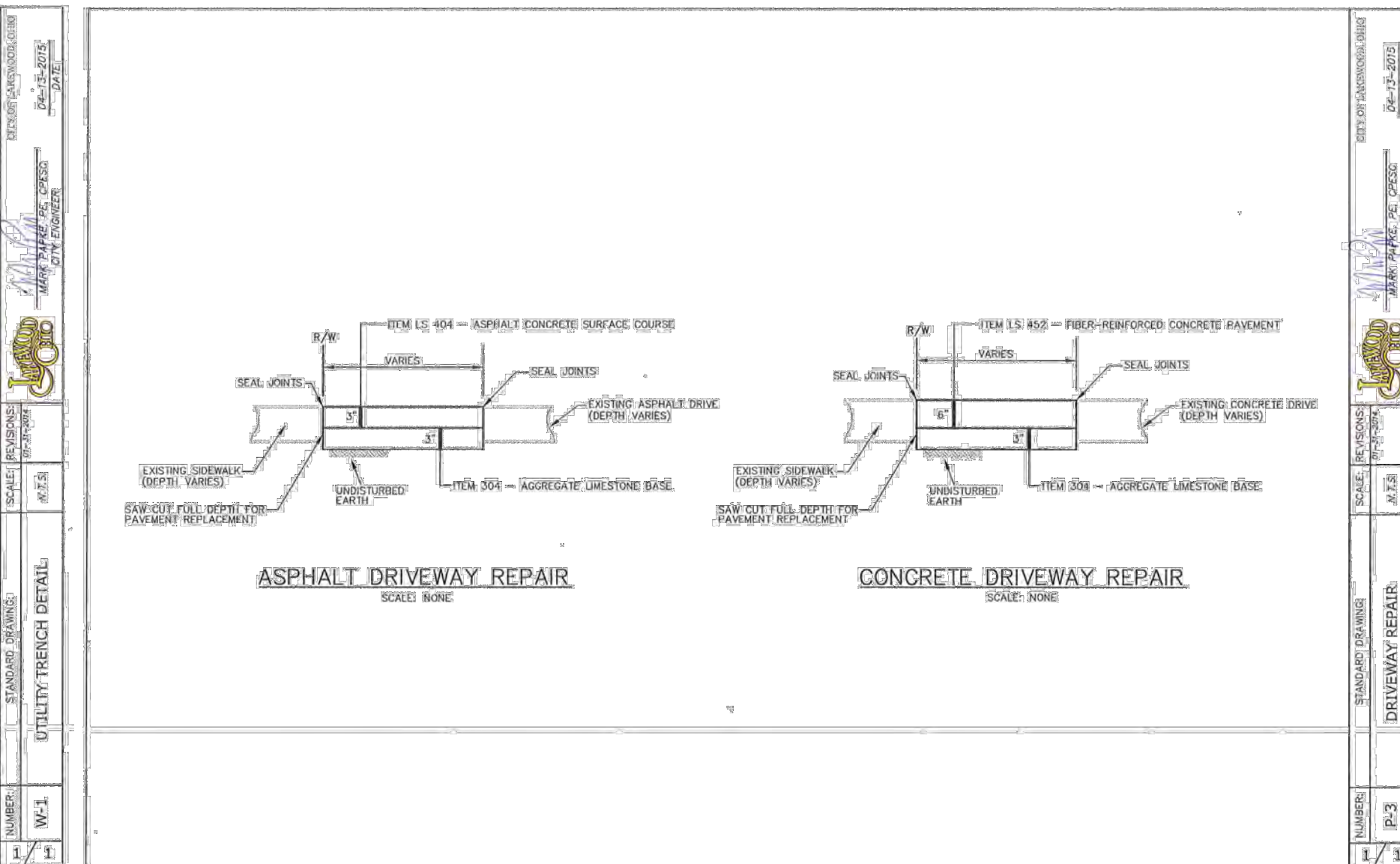
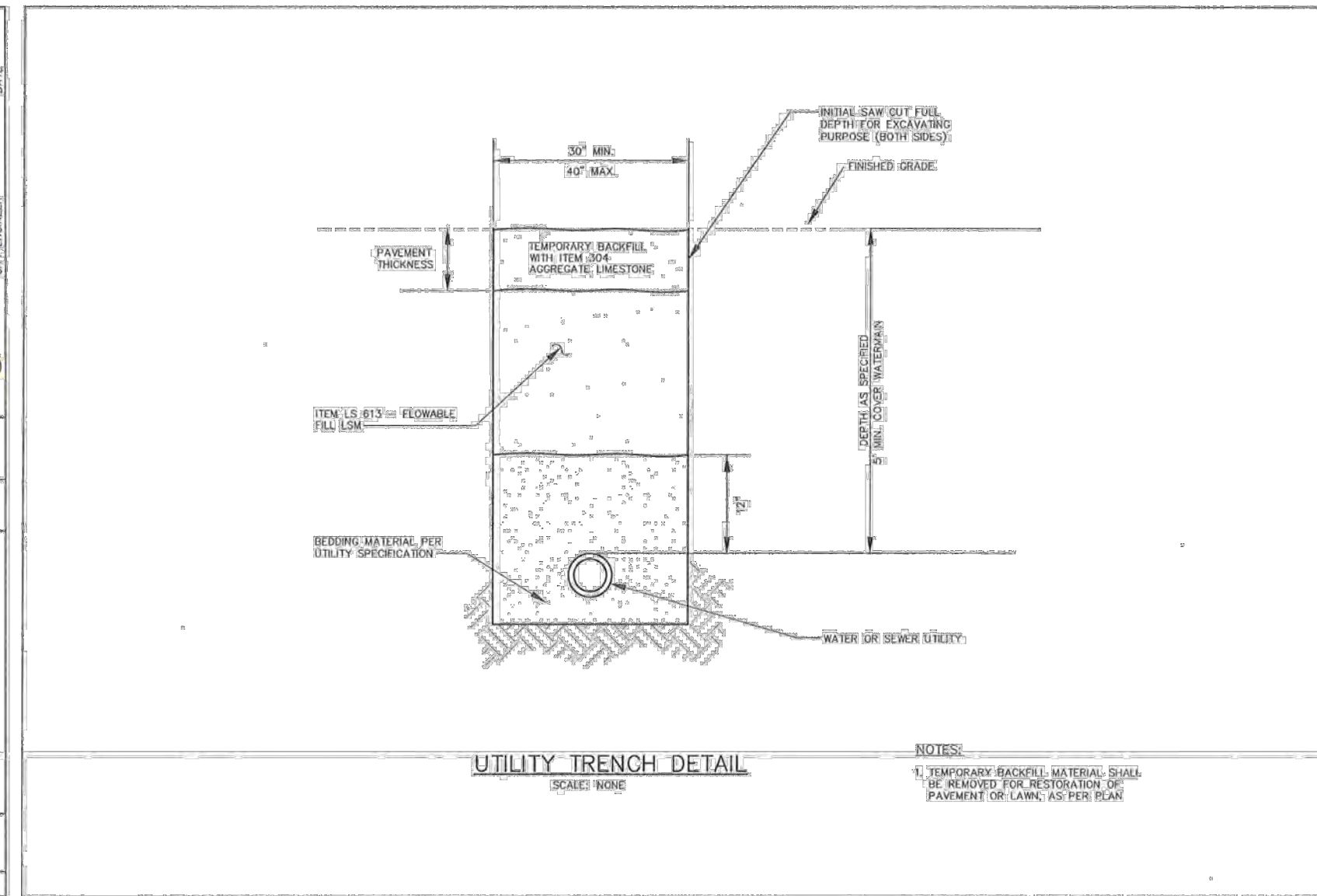
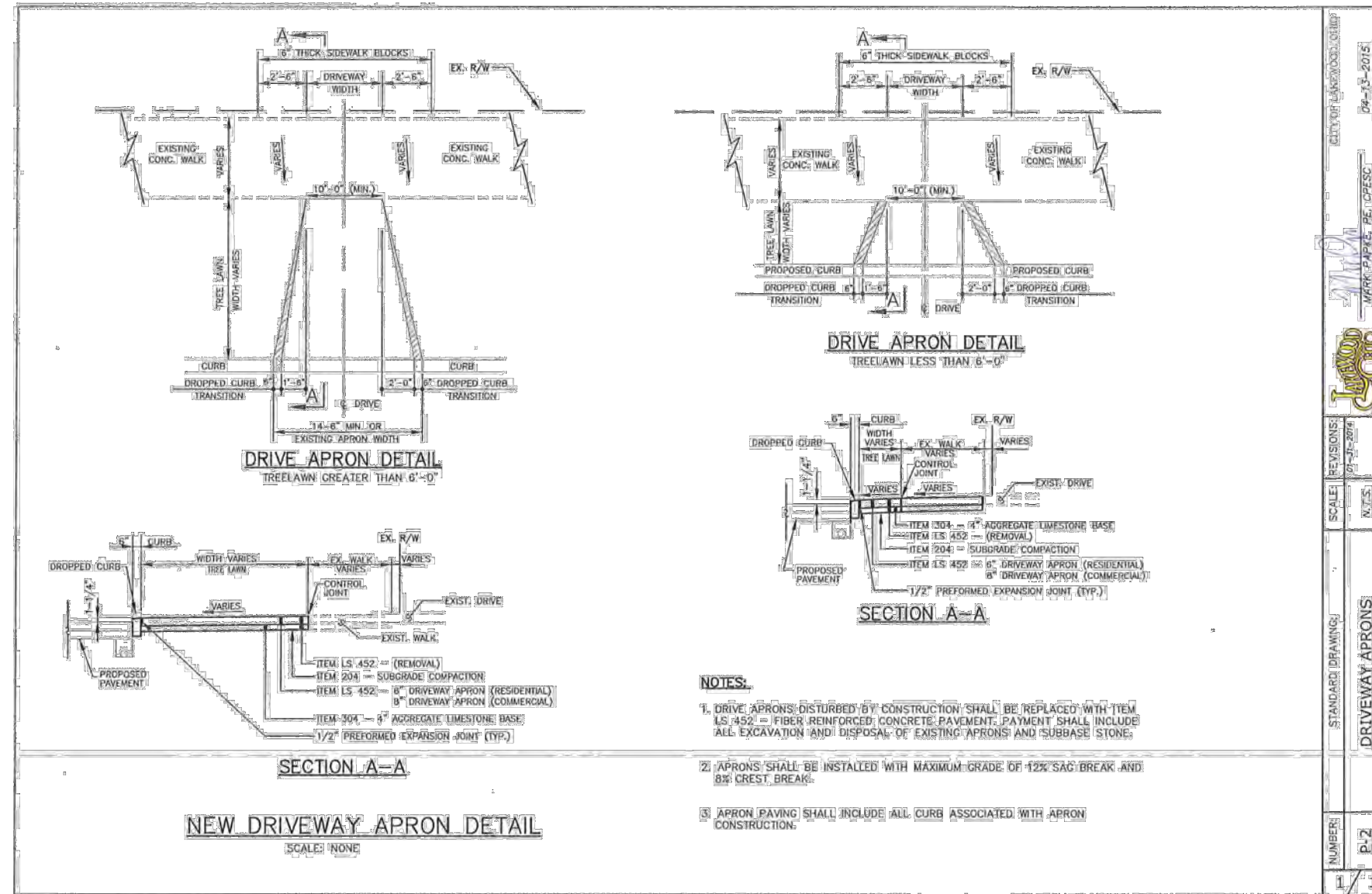
Issue Date

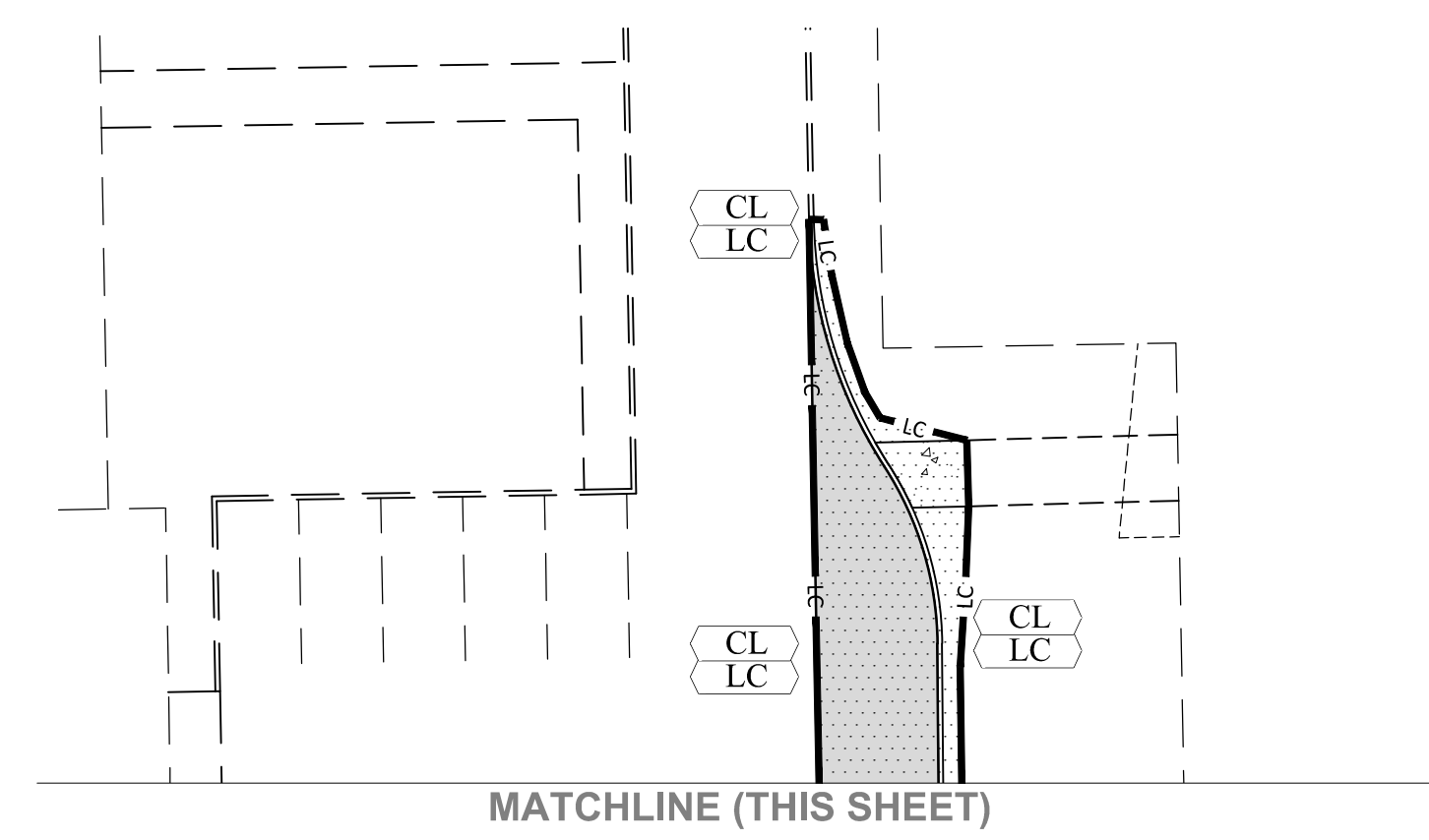
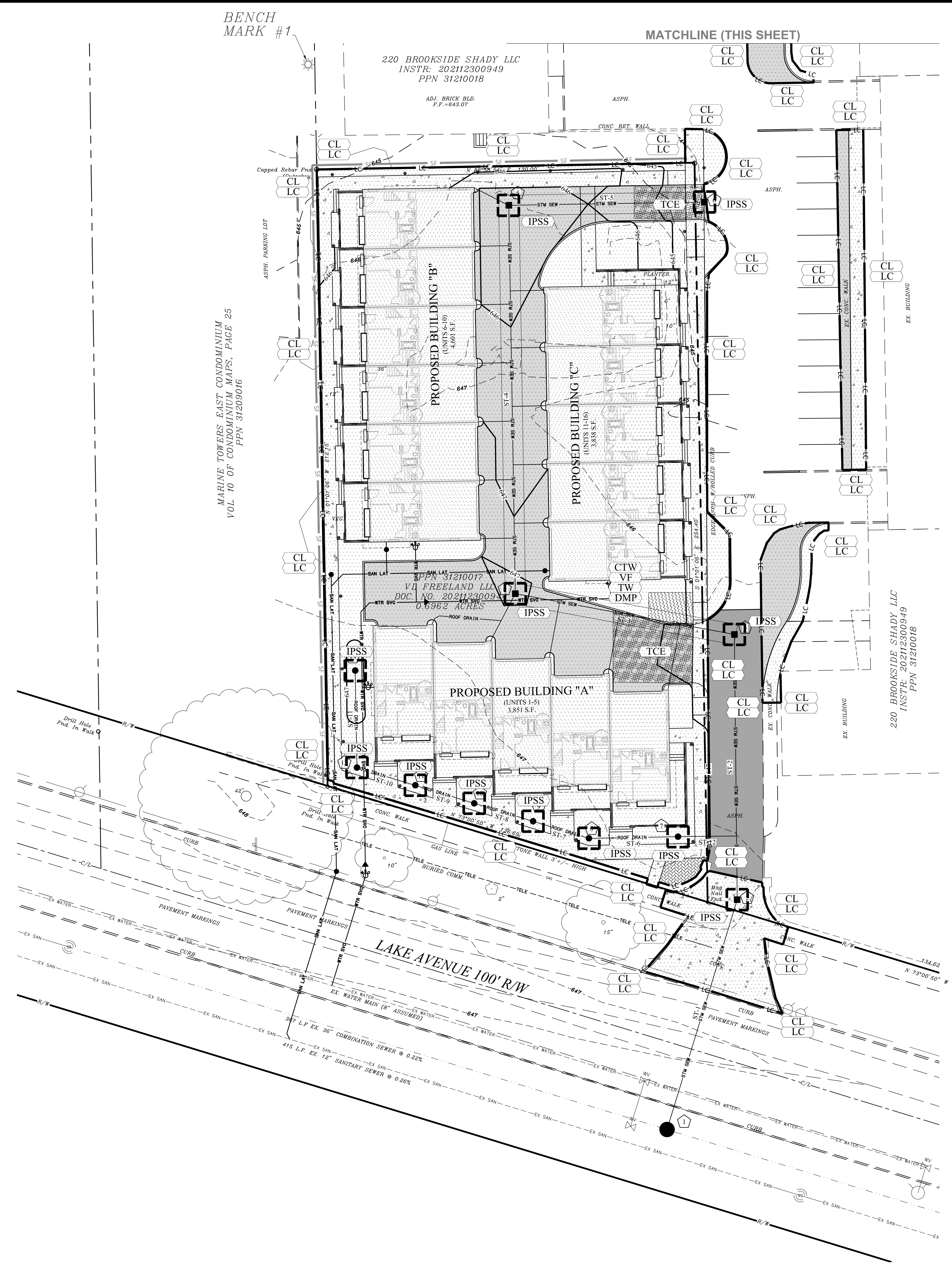
- 02-17-2024
- 02-26-2024
- 03-04-2024
- 03-05-2024

**SHADY COVE TOWNHOMES
 NEW CONSTRUCTION**
 12534 LAKE AVE, LAKEWOOD, OH

**SITE
 DETAILS**

C105A
 Project No. 2023-252





SITE BENCH MARK
 BENCH MARK #1
 DESCRIPTION
 MAG NAIL SET 1' UP ON SOUTH SIDE OF LIGHT POLE
 LOCATED NORTH OF THE NW. PROPERTY CORNER.
 ELEVATION = 644.53

WEBER ENGINEERING SERVICES
 Where Strong Relationships & Superior Service Guide Your Project

2555 Hartville Rd., Suite B
 Rossstown, OH 44273
 www.WeberEngineeringServices.com
 330-329-2037
 matt@webercivil.com

STATE OF OHIO
 REGISTERED PROFESSIONAL ENGINEER
 MATTHEW WEBER
 61709

Reg. No.: 61709

CLIENT:
RDL ARCHITECTS
 21111 CHAGRIN BLVD., #110
 BEACHWOOD, OHIO 44122
 216.752.4300

OWNER:
VL FREELAND LLC
 P.O. BOX 30339
 MIDDLEBURG HEIGHTS, OH
 44130

Issue Date
 02-17-2024
 02-26-2024
 03-04-2024
 03-05-2024

**SHADY COVE TOWNHOMES
 NEW CONSTRUCTION**
 12534 LAKE AVE, LAKEWOOD, OH

ABBREVIATED SWP3

C106
 Project No. 2023-252

FLOOD ZONE

FLOOD ZONE "X" PER FLOOD INSURANCE
 RATE MAP NUMBER 39035C 0157 F
 COMMUNITY PANEL NUMBER 39035 0157 F
 EFFECTIVE DATE SEPTEMBER 15, 2019

ABBREVIATED SWP3 AMENDMENT ACTIVITIES

GRADING	DATE
SITE STABILIZATION	DATE
ABBREVIATED SWP3 AMENDMENT	DATE

ABBREVIATED SWP3 RESPONSIBLE PARTY

AUGERE CONSTRUCTION
 JIM STEWART
 115 EXECUTIVE PARKWAY, SUITE 200,
 HUDSON, OHIO 44236
 office@augereconstruction.com
 TEL: 330.342.4287

ESTIMATED CONSTRUCTION DATES

START DATE	06-01-2024
END DATE	06-01-2025

ABBREVIATED SWP3 PREPARED

02-17-2024

ALL OFF-SITE BORROW OR SPOIL AREAS SHALL
 BE REQUIRED TO BE PERMITTED BY A SEPARATE NOI AND
 RELATED SWP3.

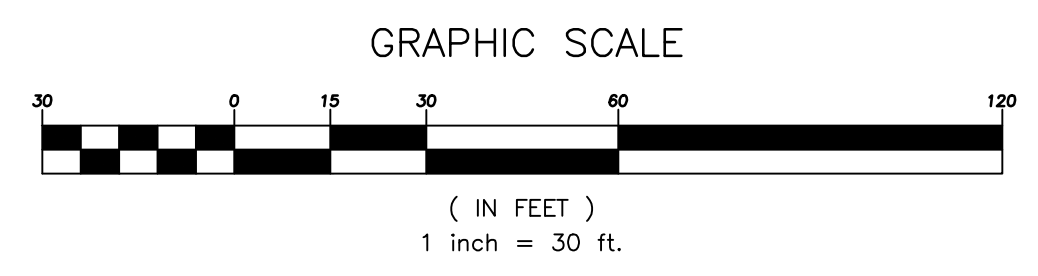
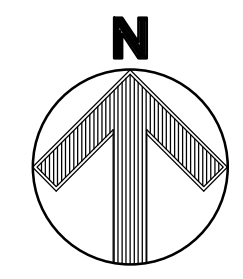
TAG	HATCH/SYMBOL	SWP3 BMP
CL LC		CLEARING LIMITS, LIMITS OF CONSTRUCTION
TCE		TEMPORARY CONSTRUCTION ENTRANCE
CTW VF TW DMP		CEMENT TRUCK WASHOUT, VEHICLE FUELING, TOXIC WASTE AND DUMPSTER LOCATION
IP		INLET PROTECTION (SEE DETAIL ON SHT. C110)
IPSS		INLET SILT SACK PROTECTION (SEE DETAIL ON SHT. C110)

TAG	LINE	SWP3 BMP
SF		SILT FENCE
CFS		12" COMPOST FILTER SOCK MAY BE SUBSTITUTED FOR SILT FENCE AT CONTRACTORS DISCRETION

INSPECTION CHECKLIST

INSPECTIONS SHALL BE MADE ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS AFTER ANY
 STORM EVENT GREATER THAN ONE-HALF INCH OF RAIN PER 24 HOUR PERIOD

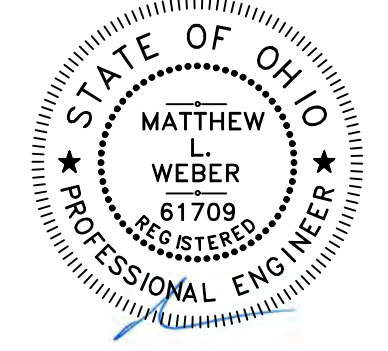
DATE	INSPECTOR	WEATHER CONDITIONS	RAINFALL AMOUNT	SEDIMENT DISCHARGE	DISCHARGE LOCATION	BMPs FAILED	ADDITIONAL BMPs NEEDED	CORRECTION MADE



D:\Revised - WORK\Civil ID Projects\2024\2023-252 Shady Cove Townhomes\Draw\2024\2023-252 Shady Cove Townhomes\Draw\3.5.2024\10-8-23.DWG



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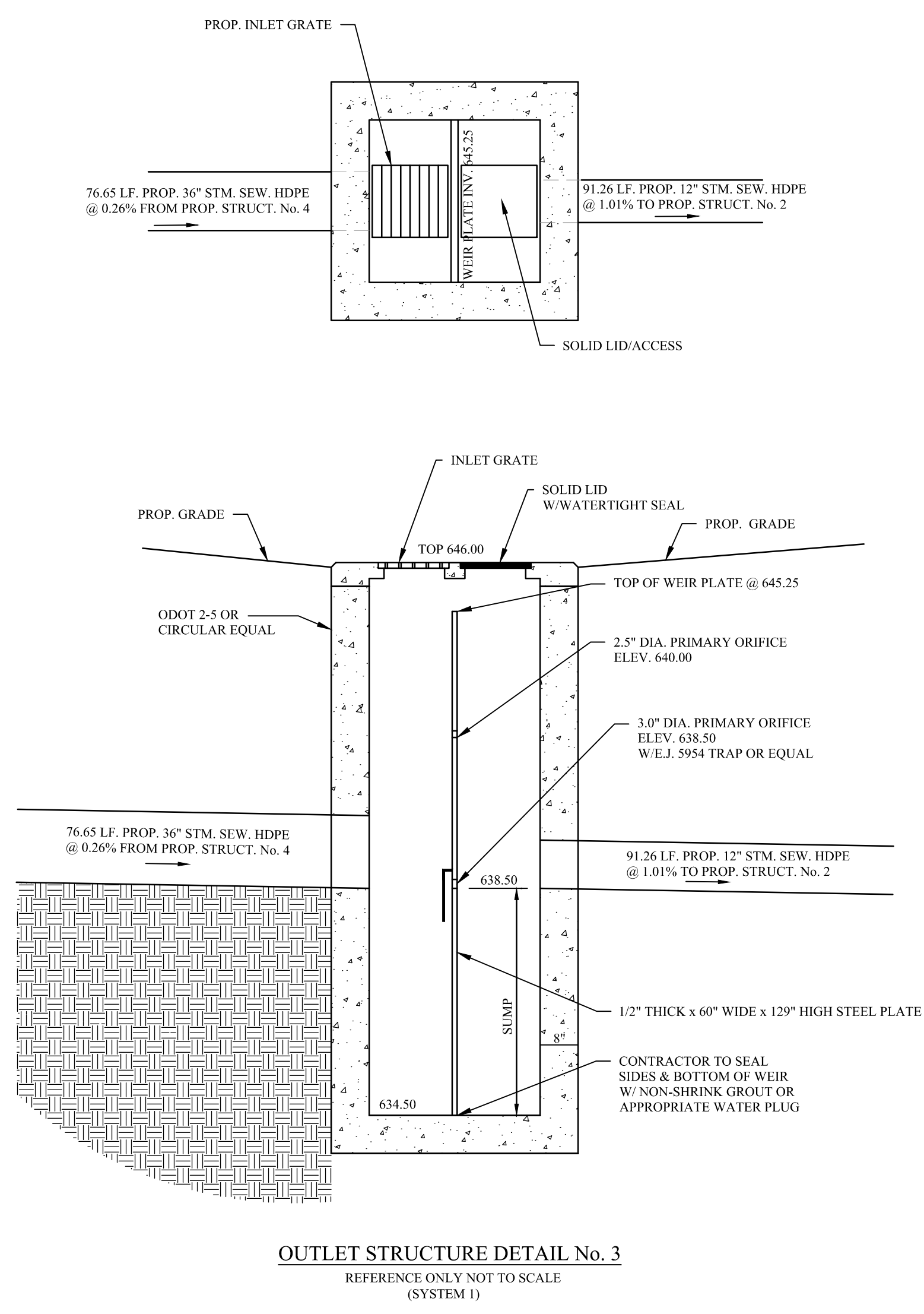
Issue Date

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- 03-04-2024
- 03-05-2024

SHADY COVE TOWNHOMES
 NEW CONSTRUCTION
 12534 LAKE AVE, LAKEWOOD, OH

ABBREVIATED
 SWP3
 DETAILS

C108
 Project No. 2023-252



- Construction personnel, including subcontractors who may use or handle hazardous or toxic materials, shall be made aware of the following general guidelines regarding disposal and handling of hazardous and construction wastes:
 - Prevent spills
 - Use products up
 - Follow label directions for disposal
 - Remove lids from empty bottles and cans when disposing in trash
 - Recycle wastes whenever possible
 - Don't pour into waterways, storm drains or onto the ground
 - Don't pour down the sink, floor drain or septic tanks
 - Don't bury chemicals or containers
 - Don't burn chemicals or containers
 - Don't mix chemicals together
- Containers shall be provided for the proper collection of all waste material including construction debris, trash, petroleum products and any hazardous materials used on-site. Containers shall be covered and not leaking. All waste material shall be disposed of at facilities approved for that material. Construction Demolition and Debris (CDD&D) waste must be disposed of at an Ohio EPA approved CD&D landfill.
- No construction related waste materials are to be buried on-site. By exception, clean fill (bricks, hardened concrete, soil) may be utilized in a way which does not encroach upon natural wetlands, streams or floodplains or result in the contamination of waters of the state.
- Handling Construction Chemicals. Mixing, pumping, transferring or other handling of construction chemicals such as fertilizer, lime, asphalt, concrete drying compounds, and all other potentially hazardous materials shall be performed in an area away from any watercourse, ditch or storm drain.
- Equipment Fueling and Maintenance, oil changing, etc. shall be performed away from watercourses, ditches or storm drains. In an area designated for that purpose. The designated area shall be equipped for recycling oil and catching spills. Secondary containment shall be provided for all fuel oil storage tanks. These areas must be inspected every seven days and within 24 hrs. of a 0.5 inch or greater rain event to ensure there are no exposed materials which would contaminate storm water. Site operators must be aware that Spill Prevention Control and Countermeasures (SPCC) requirements may apply. An SPCC plan is required for sites with one single above ground tank of 660 gallons or more, accumulative above ground storage of 1330 gallons or more, or 42,000 gallons of underground storage. Contaminated soils must be disposed of in accordance with Item 8.
- Concrete Wash Water shall not be allowed to flow to streams, ditches, storm drains, or any other water conveyance. A sump or pit with no potential for discharge shall be constructed if needed to contain concrete wash water. Field tie or other subsurface drainage structures within 10 ft. of the sump shall be cut and plugged.
- Spill Reporting Requirements: Spills on pavement shall be absorbed with sawdust or kity litter and disposed of with the trash at a licensed sanitary landfill. Hazardous or industrial wastes such as most solvents, gasoline, oil-based paints, and cement curing compounds require special handling. Spills shall be reported to Ohio EPA (1-800-282-9378). Spills of 25 gallons or more of petroleum products shall be reported to Ohio EPA, the local fire department, and the Local Emergency Planning Committee within 30 min. of the discovery of the release. All spills which contact waters of the state must be reported to Ohio EPA.
- Contaminated Soils. If substances such as oil, diesel fuel, hydraulic fluid, antifreeze, etc. are spilled, leaked, or released onto the soil, the soil should be dug up and disposed of at licensed sanitary landfill or other approved petroleum contaminated soil remediation facility. (not a construction/demolition debris landfill). Note that storm water runoff associated with contaminated soils are not authorized under Ohio EPA's General Storm Water Permit associated with Construction Activities.
- Open Burning. No materials containing rubber, grease, asphalt, or petroleum products, such as tires, autoparts, plastics or plastic coated wire may be burned (OAC 3745-19). Open burning is not allowed in restricted areas, which are defined as: 1) within corporation limits; 2) within 1000 feet outside a municipal corporation having a population of 1000 to 10,000; and 3) a one mile zone outside of a corporation of 10, 000 or more. Outside of restricted areas, no open burning is allowed within a 1000 feet of an inhabited building on another property. Open burning is permissible in a restricted area for: heating tar, welding, smudge pots and similar occupational needs, and heating for warmth or outdoor barbecues. Outside of restricted areas, open burning is permissible for landscape or land-clearing wastes (plant material, with prior written permission from Ohio EPA), and agricultural wastes, excluding buildings.
- Dust Control or dust suppressants shall be used to prevent nuisance conditions, in accordance with the manufacturer's specifications and in a manner, which prevent a discharge to waters of the state. Sufficient distance must be provided between applications and nearby bridges, catch basins, and other waterways. Application (excluding water) may not occur when rain is imminent as noted in the short term forecast. Used oil may not be applied for dust control.
- Other Air Permitting Requirements: Certain activities associated with construction will require air permits including but not limited to: mobile concrete batch plants, mobile asphalt plants, concrete crushers, large generators, etc. These activities will require specific Ohio EPA Air Permits for installation and operation. Operators must seek authorization from the corresponding district of Ohio EPA. For demolition of all commercial sites, a Notification for Restoration and Demolition must be submitted to Ohio EPA to determine if asbestos corrective actions are required.
- Process Waste Water/Leachate Management. Ohio EPA's Construction General Permit only allows the discharge of storm water and does not include other waste streams/discharges such as vehicle and/or equipment washing, on-site septic leachate concrete wash outs, which are considered process wastewaters. All process wastewaters must be collected and properly disposed at an approved disposal facility. In the event, leachate or septage is discharged; it must be isolated for collection and proper disposal and corrective actions taken to eliminate the source of waste water.
- A Permit to Install (PTI) is required prior to the construction of all centralized sanitary systems, including sewer extensions, and sewerage systems (except those serving one, two, and three family dwellings) and potable water lines. Plans must be submitted and approved by Ohio EPA. Issuance of an Ohio EPA Construction General Storm Water Permit does not authorize the installation of any sewerage system where Ohio EPA has not approved a PTI.

CONSTRUCTION SEQUENCE

(ALL ITEMS ARE TO BE THE RESPONSIBILITY OF THE GENERAL SITE CONTRACTOR)

SITE PREPARATION

NOTE:

PROVIDE SAFE AND SECURE PEDESTRIAN AND VEHICULAR TRAFFIC CIRCULATION THROUGHOUT THE ENTIRETY OF THE CONSTRUCTION SEQUENCE WITH WELL DEFINED CONSTRUCTION BOUNDARIES TO BE ACCESSED BY CONSTRUCTION PERSONNEL ONLY. ALL EROSION CONTROLS ARE TO BE THOROUGHLY INSPECTED BY THE CONTRACTOR UPON THE COMPLETION OF EACH WORK DAY AND MAINTAINED THROUGHOUT THE REQUIRED LIFE OF THE CONTROL, AS SPECIFIED BY THE APPROVED EROSION AND SEDIMENTATION CONTROL PLANS AND NARRATIVE. THE CONTRACTOR MUST REVIEW THE APPROVED EROSION AND SEDIMENTATION CONTROL PLANS AND NARRATIVE. THE CONTRACTOR MUST REVIEW THE APPROVED NPDES PERMIT AND SIGN THE PERMIT TO ACCEPT RESPONSIBILITIES AS THE CO-PERMITTEE.

INITIAL PHASE (WITHIN 7 DAYS OF START OF GRUBBING)

- INSTALL A TEMPORARY CONSTRUCTION ENTRANCE FOR ACCESS TO CONSTRUCTION AREAS OF SITE.
- SETUP CONSTRUCTION TRAILER ON SITE AND ESTABLISH TEMPORARY POWER AND TELEPHONE SERVICE AS NECESSARY.
- ALL TEMPORARY UTILITY SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- STAKEOUT LIMITS OF DISTURBANCE.
- INSTALL TEMPORARY INLET PROTECTION ON ALL EXISTING CATCH BASINS WITHIN LIMITS OF CONSTRUCTION. REMOVE SILT PROTECTION FROM DESIGNATED INLETS ONLY WHEN INLET STRUCTURE IS TO BE REMOVED AS REQUIRED BY PROGRESSION OF CONSTRUCTION. REFER TO PLANS FOR IDENTIFICATION OF INLET STRUCTURES TO BE REMOVED.
- INSTALL ALL FILTER FABRIC FENCE WHERE SHOWN ON PLANS.
- BEGIN SITE CLEARING.
- REMOVE TOPSOIL FROM AREAS OF BUILDING AND PAVEMENT.
- BEGIN EARTHWORK OPERATIONS.
- CONSTRUCT STORM WATER BASIN.
- IN THE EVENT OF RAIN, ALLOW STANDING WATER TO SETTLE PRIOR TO PUMPING. UTILIZE THE PUMPING SYSTEMS TO PUMP POLLUTED WATER PER E.P.A. REQUIREMENTS. ALLOW ONLY CLEAN WATER TO BE DISCHARGED TO THE EXISTING DRAINAGE SYSTEM. REMOVE SILT FROM BASINS AS NECESSARY PRIOR TO CONTINUING EARTHWORK. MATERIAL SHOULD BE MECHANICALLY SPREAD AND DRIED PRIOR TO INCORPORATION INTO THE EARTHWORK PROCEDURES. ADEQUACY OF THE DRIED MATERIAL IS TO BE DETERMINED BY A GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE AND ENSURE THAT PROPER MECHANISMS ARE IN PLACE TO CONTROL WASTE MATERIALS. CONSTRUCTION WASTES INCLUDES, BUT ARE NOT LIMITED TO, EXCESS SOIL MATERIALS, BUILDING MATERIALS, CONCRETE WASH WATER, SANITARY WASTES, ETC., THAT COULD ADVERSELY IMPACT WATER QUALITY. MEASURES SHALL BE PLANNED AND IMPLEMENTED FOR HOUSEKEEPING, MATERIALS MANAGEMENT, AND LITTER CONTROL. WHEREVER POSSIBLE, RECYCLING OF EXCESS MATERIALS IS PREFERRED, RATHER THAN DISPOSAL.

INTERIM PHASE GENERAL CONSTRUCTION

- MAINTAIN TEMPORARY CONTROLS UNTIL REMOVAL IS WARRANTED DUE TO PROGRESSION OF WORK.
- BEGIN EARTHMOVING OPERATIONS. CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE COUNTY CONSERVATION DISTRICT OF LOCATION AND EROSION AND SEDIMENTATION CONTROL MEASURES IMPLEMENTED AT BORROW OR SOIL SITE OF IMPORT/EXPORT MATERIAL. THE CONTRACTOR IS TO COORDINATE WITH OWNER THE PLACEMENT OF SUCH MEASURES.
- STORM SEWER, SANITARY SEWER, WATER LINE AND UTILITY LINE CONSTRUCTION MAY BEGIN IMMEDIATELY FOLLOWING ESTABLISHMENT OF GRADE AND WITH THE PERMISSION OF THE OWNER.
- STABILIZE ALL UTILITY TRENCHES AT THE END OF EACH WORKDAY BY MEANS OF GRAVEL BACKFILL TO SURFACE, REPAVING OR MULCHING.
- REPLACE TOPSOIL, FINE GRADE AND SEED AS REQUIRED.
- STABILIZE ALL DISTURBED AREAS WITH PERMANENT SEED AND MULCHING OR CROWNVEITCH SEEDING IMMEDIATELY UPON REACHING FINAL GRADE.
- INSTALL PAVEMENT SUBBASE.
- BEGIN BITUMINOUS PAVING, REMOVING TEMPORARY CONSTRUCTION ENTRANCE ONLY WHEN NECESSARY.
- RESEED AND REDRESS ANY AREAS THAT MAY REQUIRE ATTENTION IMMEDIATELY. NOTE THAT LAWN AREAS WILL NOT BE DEEMED STABLE UNTIL A UNIFORM 80% COVERAGE IS ACHIEVED.
- ALL EROSION MEASURES SHALL REMAIN IN PLACE UNTIL THE SITE IS STABILIZED. ALL AREAS OF VEGETATIVE SURFACE STABILIZATION, WHETHER TEMPORARY OR PERMANENT, SHALL BE CONSIDERED TO BE IN PLACE AND FUNCTIONAL WHEN THE REQUIRED UNIFORM RATE OF COVERAGE (80%) IS OBTAINED.

FINAL PHASE POST-PAVING BASIN CONVERSION

- IF, FOR ANY REASON, THE PROJECT IS SUSPENDED, THE CONTRACTOR SHALL INSURE THAT ALL INSTALLED EROSION MEASURES ARE FUNCTIONING AND PROPERLY MAINTAINED DURING THIS PERIOD, AND THAT ALL BARED SOILS ARE SEEDED AND MULCHED WITH TEMPORARY SEED MIXTURE.
 - REMOVE SEDIMENT CONTROL DEVICES AND ESTABLISH WATER QUALITY CONTROL ORIFICE.
 - REMOVE TEMPORARY CONSTRUCTION ENTRANCE PRIOR TO COMPLETION OF PAVING.
 - SITE CLEAN UP.
 - RESEED ANY AREAS THAT REQUIRE ADDITIONAL SEED
 - FILTER FENCES ARE TO BE CLEANED, REMOVED, BACKFILLED AND SEEDED WITH PERMANENT SEEDING.
 - VERIFY POSITIVE CONVEYANCE FLOW IN ALL DRAINAGE STRUCTURES.

SPECIFICATIONS FOR TEMPORARY SEEDING

TEMPORARY SEEDING SPECIES SELECTION			
SEEDING DATES	SPECIES	LB/100 FT ²	LB/ACRE
MARCH 1 TO AUGUST 15	OATS	3	128 (4 BUSHEL)
	TALL FESCUE	1	40
	ANNUAL RYEGRASS	1	40
	PERENNIAL RYEGRASS	1	40
	TALL FESCUE	1	40
	ANNUAL RYEGRASS	1	40
AUGUST 16TH TO NOVEMBER	ANNUAL RYEGRASS	1.25	55
	PERENNIAL RYEGRASS	3.25	142
	CREeping RED FESCUE	0.4	17
	KENTUCKY BLUEGRASS	0.4	17
	OATS	3	128 (3 BUSHEL)
	TALL FESCUE	1	40
NOVEMBER 1 TO FEB. 29	RYE	3	112 (2 BUSHEL)
	TALL FESCUE	1	40
	ANNUAL RYEGRASS	1	40
	WHEAT	3	120 (BUSHEL)
	TALL FESCUE	1	40
	ANNUAL RYEGRASS	1	40
NOVEMBER 1 TO FEB. 29	PERENNIAL RYE	1	40
	TALL FESCUE	1	40
	ANNUAL RYEGRASS	1	40
	PERENNIAL RYEGRASS CREEPING	3.25	40
	RED FESCUE	0.4	40
	KENTUCKY BLUEGRASS	0.4	40

NOTE: OTHER APPROVED SPECIES MAY BE SUBSTITUTED

- STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS AND SEDIMENT TRAPS SHALL BE INSTALLED AND STABILIZED WITH TEMPORARY SEEDING PRIOR TO GRADING THE REST OF THE CONSTRUCTION-SITE.
- TEMPORARY SEED SHALL BE APPLIED BETWEEN CONSTRUCTION OPERATIONS ON SOIL THAT WILL NOT BE GRADED OR REWORKED FOR 14 DAYS OR MORE. THESE IDLE AREAS SHOULD BE SEEDED AS SOON AS POSSIBLE AFTER GRADING OR SHALL BE SEEDED WITHIN 7 DAYS SEVERAL APPLICATIONS OF TEMPORARY SEEDING ARE NECESSARY ON TYPICAL CONSTRUCTION PROJECTS.
- THE SEEDED SHALL BE MULCHERIZED AND LOOSE TO ENSURE THE SUCCESS OF ESTABLISHING VEGETATION. HOWEVER, TEMPORARY SEEDING SHALL NOT BE POSTPONED IF IDEAL SEEDING PREPARATION IS NOT POSSIBLE.
- SOIL AMENDMENTS--APPLICATIONS OF TEMPORARY VEGETATION SHALL ESTABLISHED ADEQUATE STANDS OF VEGETATION WHICH MAY REQUIRE THE USE OF SOIL AMENDMENTS. SOIL TESTS SHOULD BE TAKEN ON THE SITE TO PREDETERMINE THE NEED FOR LIME AND FERTILIZER.
- SEEDING METHOD--SEED SHALL BE APPLIED UNIFORMLY WITH A CYCLONE SEEDER, DRILL, CULTIPACKER SEEDER, OR HYDROSEEDER. WHEN FEASIBLE, SEED THAT HAS BEEN BROADCAST SHALL BE COVERED BY RAKING OR DRAGGING AND THEN LIGHTLY TAMPED TO PLACE USING A ROLLER OR CULTIPACKER. IF HYDROSEEDING IS USED, THE SEED AND FERTILIZER WILL BE MIXED ON-SITE AND THE SEEDING SHALL BE DONE IMMEDIATELY AND WITHOUT INTERRUPTION.

MULCHING TEMPORARY SEEDING

- APPLICATIONS OF TEMPORARY SEEDING SHALL INCLUDE MULCH WHICH SHALL BE APPLIED DURING OR IMMEDIATELY AFTER SEEDING. SEEDINGS MADE DURING OPTIMUM SEEDING DATES AND WITH FAVORABLE SOIL CONDITIONS AND ON VERY FLAT SOIL CONDITIONS MAY NOT NEED MULCH TO ACHIEVE ADEQUATE STABILIZATION.
- MATERIALS: STRAW--IF STRAW IS USED, IT SHALL BE UNROTTED SMALL-GRAIN APPLIED AT 2 TONS/AC OR 90 LB./1,000 SQ. FT. (TWO TO THREE BALES). THE MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THE SOIL SURFACE IS COVERED FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH. DIVIDE AREA INTO APPROXIMATELY 1,000 SQ. FT. SECTIONS AND SPREAD TWO 45 LB. BALES OF STRAW IN EACH SECTION. HYDROSEEDERS--IF WOOD CELLULOSE FIBER IS USED, IT SHALL BE USED AT 2,000 LB./AC OR 45 LB./1,000 SQ. FT. OTHER--OTHER ACCEPTABLE MULCHES INCLUDE MULCH MATTINGS APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS OR WOOD CHIPS APPLIED AT 4 TONS / AC.
- STRAW MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR WATER. ANCHORING METHODS: MECHANICAL--A DISK, CRIMPER OR SIMILAR TYPE TOOL SHALL BE SET STRAIGHT TO PUNCH OR ANCHOR THE MULCH MATERIAL INTO THE SOIL. STRAW MECHANICALLY ANCHORED SHALL NOT BE FINELY CHOPPED BUT, GENERALLY BE LEFT LONGER THAN 6 IN. MULCH NETTINGS--NETTINGS SHALL BE USED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. NETTING MAY BE NECESSARY TO HOLD MULCH IN PLACE IN AREAS OF CONCENTRATED RUNOFF AND ON CRITICAL SLOPES. SYNTHETIC BINDERS--SYNTHETIC BINDERS SUCH AS ACRYLIC POLYMER (AGRI-TACK), POLYURETHANE (TERRA-TACK OR TERRA-TACK OR EQUAL MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER. WOOD-CELLULOSE FIBRE--WOOD-CELLULOSE FIBRE BINDER SHALL BE APPLIED AT A NET DRY WEIGHT OF 750 LB./AC. THE WOOD-CELLULOSE FIBRE SHALL BE MIXED WITH WATER AND THE MIXTURE SHALL CONTAIN A MAXIMUM OF 50 LB. / 100 GAL.

BMP INSPECTION CHECKLIST

BMP	FREQUENCY	NOTES
GENERAL INSPECTION	EVERY 6 MO.	
STORM WATER BASIN	MONTHLY	
VEGETATION	MONTHLY	FIRST 2 GROWING SEASONS THEN TWICE A YEAR
SILT FENCE	MONTHLY	FIRST GROWING SEASON

REGULAR INSPECTION AND MAINTENANCE WILL BE PROVIDED FOR ALL EROSION AND SEDIMENT CONTROL PRACTICES. PERMANENT RECORDS OF MAINTENANCE AND INSPECTIONS MUST BE KEPT THROUGHOUT THE CONSTRUCTION PERIOD. INSPECTIONS MUST BE MADE A MINIMUM OF ONCE EVERY 7 DAYS AND IMMEDIATELY AFTER STORM EVENTS GREATER THAN 0.5 INCHES OF RAIN IN A 24 HOUR PERIOD. PROVIDED WILL BE NAME OF INSPECTOR, MAJOR OBSERVATIONS, DATED OF INSPECTION AND CORRECTIVE MEASURES TAKEN. RECORDS SHALL L BE SUBMITTED TO THE CITY OF LAKEWOOD ENGINEERING DEPARTMENT FOR REVIEW BY MAY 1st OF EACH YEAR.

ALL CONTROL PRACTICES THAT REQUIRE REPAIR SHALL BE REPAIRED WITHIN THREE (3) DAYS OF THE INSPECTION.

ADDITIONAL SWP3 CONSIDERATIONS

NO OPEN BURNING

DUST CONTROL SHALL BE ACHIEVED BY USE OF WATERING TRUCKS. USE OF OIL IS STRICTLY PROHIBITED. INLET PROTECTION MUST BE IMPLEMENTED PRIOR TO DUST CONTROL MEASURES.

IN THE EVENT OF A PETROLEUM SPILL (-25 GALLONS) OR THE PRESENCE OF OIL SHEEN, THE CONTRACTOR SHALL CONTACT THE OHIO E.P.A. AT 800-282-9378, THE LOCAL FIRE DEPARTMENT.

SMALL SPILLS (-25 GALLONS) SHALL BE CLEANED UP USING AN ABSORBING AGENT, THE ABSORBING AGENT REMOVED AND DISPOSED OF ACCORDING TO FEDERAL REGULATIONS.

ALL TRENCH DEWATERING MEASURES SHALL BE DISCHARGED INTO SETTLING BASINS PRIOR TO DISCHARGE FROM SITE. BMPs THAT REQUIRE REPAIR SHALL BE REPAIRED WITHIN 3 DAYS OF INSPECTION. SETTLING PONDS MUST BE REPAIRED WITHIN 10 DAYS OF INSPECTION.

STREETS ADJACENT TO SITE SHALL BE CLEANED AT THE END OF EACH WORK DAY.

POST-CONSTRUCTION BMP RATIONALE

STORM WATER MANAGEMENT AND POST CONSTRUCTION WATER QUALITY BMPs ARE NOT REQUIRED AS THE SCOPE OF THE PROJECT IS LESS THAN ONE ACRE.

MAINTENANCE FOR PERMANENT SEEDINGS FERTILIZATION AND MOWING					
MIXTURE	FORMULA	LBS./ACRE	LBS./1,000 SQ. FT.	TIME	MOWING
CREEPING RE FESCUE RYEGRASS KENTUCKY BLUEGRASS	10-10-10	500	12	FALL, YEARLY AS NEEDED	NOT CLOSER THAN 3"
TALL FESCUE	10-10-10	500	12		NOT CLOSER THAN 4"
TURF-TYPE FESCUE	10-10-10	500	12		
CROWN VETCH FESCUE	0-20-20	400	10	SPRING, YEARLY FOLLOWING ESTABLISHMENT AND EVERY 4-7 YEARS THEREAFTER	DO NOT MOW
FLAT PEA FESCUE	0-20-20	400	10		DO NOT MOW

NOTE: FOLLOWING SOIL TEST RECOMMENDATIONS IS PREFERRED TO FERTILIZER RATES SHOWN ABOVE.

SPECIFICATIONS FOR PERMANENT SEEDING

SITE PREPARATION

- A SUBSOILER, PLOW OR OTHER IMPLEMENT SHALL BE USED TO REDUCE SOIL COMPACTION AND ALLOW MAXIMUM INFILTRATION. MAXIMIZING INFILTRATION WILL HELP CONTROL BOTH RUNOFF RATE AND WATER QUALITY. SUBSOILING SHOULD BE DONE WHEN THE SOIL MOISTURE IS LOW ENOUGH TO ALLOW THE SOIL TO CRACK OR FRACTURE. SUBSOILING SHALL NOT BE DONE ON SLIP-PRONE AREAS WHERE SOIL PREPARATION SHOULD BE LIMITED TO WHAT IS NECESSARY FOR ESTABLISHING VEGETATION.
- THE SITE SHALL BE GRADED AS NEEDED TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDING PREPARATION AND SEEDING.
- TOPSOIL SHALL BE APPLIED WHERE NEEDED TO ESTABLISH VEGETATION. SEEDING PREPARATION
 - EROSION-AGRICULTURAL GROUND EMENTONE SHALL BE APPLIED TO ACID SOILS AS RECOMMENDED BY A SOIL TEST. IN LIEU OF A SOIL TEST, LIME SHALL BE APPLIED AT THE RATE OF 100 LB./1,000 SQ. FT. OR 2 TONS/ACRE.
 - FERTILIZER--FERTILIZER SHALL BE APPLIED AS RECOMMENDED BY A SOIL TEST. IN LIEU OF A SOIL TEST, FERTILIZER SHALL BE APPLIED AT A RATE OF 25 LB./1,000 SQ. FT. OR 1000 LB./ACRE OF 10-10-10 OR 12-12-12 ANALYSIS.
 - THE LIME AND FERTILIZER SHALL BE WORKED INTO THE SOIL WITH A DISK HARROW, SPRING-TOOTH HARROW OR OTHER SUITABLE FIELD IMPLEMENT TO A DEPTH OF 3 INCHES. ON SLOPING LAND, THE SOIL SHALL BE WORKED TO THE CONTOUR.

EROSION PREVENTION PRACTICES

SEEDING DATES AND SOIL CONDITIONS

DORMANT SEEDING

- SEEDINGS SHOULD NOT BE MADE FROM OCTOBER 1 THROUGH NOVEMBER 20, DURING THIS PERIOD, THE SEEDED AREAS WILL BE PROBABLY FROZEN AND WILL NOT BE ABLE TO SURVIVE THE WINTER.
- THE FOLLOWING METHODS MAY BE USED FOR "DORMANT SEEDING":
 - FROM OCTOBER 1 THROUGH NOVEMBER 20, PREPARE THE SEEDED, ADD THE REQUIRED AMOUNTS OF LIME AND FERTILIZER, THEN MULCH AND ANCHOR. AFTER NOVEMBER 20, PREPARE THE SEEDED SEED MIXTURE AT A 50% INCREASE IN THE SEEDING RATE.
 - FROM NOVEMBER THROUGH MARCH 15, WHEN SOIL CONDITIONS PERMIT, PREPARE THE SEEDED, LIME AND FERTILIZER, APPLY SELECTED SEED MIXTURE, MULCH AND ANCHOR. INCREASE THE SEEDING RATES BY 50% FOR THIS TYPE OF SEEDING.
 - APPLY SEED UNIFORMLY WITH A CYCLONE SEEDER, DRILL, CULTIPACKER SEEDER OR HYDROSEEDER (SLURRY MAY INCLUDE SEED AND FERTILIZER) ON A FIRM, MOST STABLE SURFACE.
 - WHERE FEASIBLE, EXCEPT WHEN A CULTIPACKER TYPE SEEDER IS USED, THE SEEDED SHOULD BE FIRMED FOLLOWING SEEDING OPERATIONS WITH A CULTIPACKER, ROLLER OR LIGHT DRAG ON SLOPING LAND. SEEDING OPERATIONS SHOULD FOLLOW THE CONTOUR WHERE FEASIBLE.

EROSION PREVENTION PRACTICES

WOOD CELLULOSE FIBER--WOOD CELLULOSE FIBER BINDER SHALL BE APPLIED AT A NET DRY WEIGHT OF 750 LBS./ACRE. THE WOOD CELLULOSE FIBER SHALL BE MIXED WITH WATER WITH THE MIXTURE CONTAINING A MAXIMUM OF 50 LBS. CELLULOSE/100 GALLONS OF WATER.

IRRIGATION

PERMANENT SEEDING SHALL INCLUDE IRRIGATION TO ESTABLISH VEGETATION DURING DRY WETTER OR ON ADVERSE SITE CONDITIONS, WHICH REQUIRE ADEQUATE MOISTURE FOR SEED GERMINATION AND PLANT GROWTH.

IRRIGATION RATES SHALL BE MONITORED TO PREVENT EROSION AND DAMAGE TO SEEDED AREAS FROM EXCESSIVE RUNOFF.

PERMANENT SEEDING			
SEED MIX	SEEDING RATE		NOTES
	LBS./ACRE	LBS./1,000 SQ. FEET	
GENERAL USE			
CREEPING RED FESCUE DOMESTIC RYEGRASS KENTUCKY BLUEGRASS	20-40 10-20 20-40	1/2-1 1/4-1/2 1/2-1	FOR CLOSE MOWING & FOR WATERWAYS WITH ~2.0 FT/SEC VELOCITY
TALL FESCUE	40-50	1-1 1/2	
TURF-TYPE (DWARF) FESCUE	90	2 1/2	
STEEP BANKS OR CUT SLOPES			
TALL FESCUE	40-50	1-1/4	
CROWN VETCH TALL FESCUE	10-20 20-30	1/4-1/2 1/2-3/4	DO NOT SEED LATER THAN AUGUST
FLAT PEA TALL FESCUE	20-25 20-30	1/2-3/4 1/2-3/4	DO NOT SEED LATER THAN AUGUST
ROAD DITCHES AND SWALES			
TALL FESCUE	40-50	1-1 1/4	
TURF-TYPE (DWARF) FESCUE KENTUCKY BLUEGRASS	90 5	2 1/4 0.1	
LAWNS			
KENTUCKY BLUEGRASS PERENNIAL RYEGRASS	100-120 2	2 2	
KENTUCKY BLUEGRASS CREEPING RED FESCUE	100-120 2	2 1-1/2	FOR SHADED AREAS

NOTE: OTHER APPROVAL SEED SPECIES MAY BE SUBSTITUTED.

TABLE 1: PERMANENT STABILIZATION

AREA REQUIRING PERMANENT STABILIZATION	TIME FRAME TO APPLY EROSION CONTROLS
ANY AREAS THAT WILL BE DORMANT FOR ONE YEAR OR MORE	WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE
ANY AREAS WITHIN 50 FEET OF A SURFACE WATER OR THE STATE AND AT FINAL GRADE	WITHIN TWO DAYS OF REACHING FINAL GRADE
ANY OTHER AREAS AT FINAL GRADE	WITHIN SEVEN DAYS OF REACHING FINAL GRADE WITHIN THAT AREAS


TABLE 2: TEMPORARY STABILIZATION

AREA REQUIRING TEMPORARY STABILIZATION	TIME FRAME TO APPLY EROSION CONTROLS
ANY DISTURBED AREAS WITHIN 50 FEET OF A SURFACE WATER OF THE STATE AND NOT AT FINAL GRADE	WITHIN TWO DAYS OF THE MOST RECENT DISTURBANCE IF THE AREA WILL REMAIN IDLE FOR MORE THAN 14 DAYS
FOR ALL CONSTRUCTION ACTIVITIES, AND DISTURBED AREAS THAT WILL BE DORMANT FOR MORE THAN 14 DAYS BUT LESS THAN ONE YEAR, AND NOT WITHIN 50 FEET OF A SURFACE WATER OF THE STATE	WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE WITHIN THE AREA
DISTURBED AREAS THAT WILL BE IDLE OVER WINTER	FOR RESIDENTIAL SUBDIVISIONS, DISTURBED AREAS MUST BE STABILIZED AT LEAST SEVEN DAYS PRIOR TO TRANSFER OF PERMIT COVERAGE FOR THE INDIVIDUAL LOTS. PRIOR TO THE ONSET OF WINTER WEATHER

WHERE VEGETATIVE STABILIZATION TECHNIQUES MAY CAUSE STRUCTURAL INSTABILITY OR ARE OTHERWISE UNOBTAINABLE, ALTERNATIVE STABILIZATION TECHNIQUES MUST BE EMPLOYED. PERMANENT AND TEMPORARY STABILIZATION ARE DEFINED IN PART VII.



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Issue Date

02-17-2024
02-26-2024
03-04-2024
03-05-2024

SHADY COVE TOWNHOMES
NEW CONSTRUCTION
12584 LAKE AVE, LAKEWOOD, OH

ABBREVIATED
SWP3
DETAILS

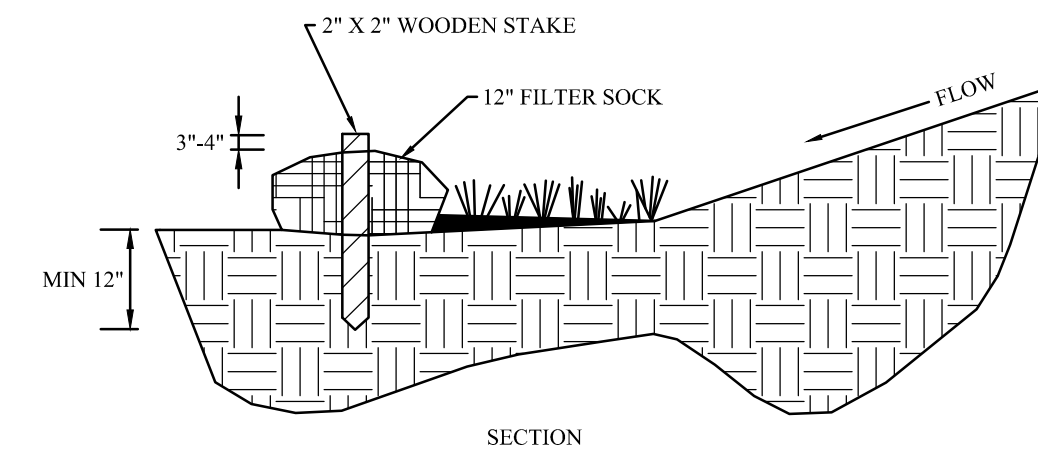
C109
Project No. 2023-252

SPECIFICATIONS FOR MULCHING

- MULCH AND OTHER APPROPRIATE VEGETATIVE PRACTICES SHALL BE APPLIED TO DISTURBED AREAS WITHIN 7 DAYS OF GRADING IF THE AREA IS TO REMAIN DORMANT (UNDISTURBED) FOR MORE THAN 21 DAYS OR ON AREAS AND PORTIONS OF THE SITE WHICH CAN BE BROUGHT TO FINAL GRADE.
- MULCH SHALL CONSIST OF ONE OF THE FOLLOWING:
 - STRAW - SHALL BE UNROTTED SMALL GRAIN STRAW APPLIED AT THE RATE OF 2 TONS/AC. OR 90 LB./1,000 SQ. FT. (TWO TO THREE BALES). THE STRAW MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THE SOIL SURFACE IS COVERED FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH. DIVIDE AREA INTO APPROXIMATELY 1,000-SQ.-FT. SECTIONS AND PLACE TWO 45-LB. BALES OF STRAW IN EACH SECTION.
 - HYDROSEEDERS - WOOD CELLULOSE FIBER SHOULD BE USED AT 2,000 LB./AC. OR 46 LB./1,000 SQ. FT.
 - OTHER - ACCEPTABLE MULCHES INCLUDE MULCH MATTINGS AND ROLLED EROSION CONTROL PRODUCTS APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS OR WOOD MULCH CHIPS APPLIED AT 10-20 TONS/AC.
- MULCH ANCHORING - MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR RUNOFF. THE FOLLOWING ARE ACCEPTABLE METHODS FOR ANCHORING MULCH:
 - MECHANICAL - USE A DISK, CRIMPER, OR SIMILAR TYPE TOOL SET STRAIGHT TO PUNCH OR ANCHOR THE MULCH MATERIAL INTO THE SOIL. STRAW MECHANICALLY ANCHORED SHALL NOT BE FINELY CHOPPED BUT BE LEFT GENERALLY LONGER THAN 6 INCHES.
 - MULCH NETTINGS - USE ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS, FOLLOWING ALL PLACEMENT AND ANCHORING REQUIREMENTS. USE IN AREAS OF WATER CONCENTRATION AND STEEP SLOPES TO HOLD MULCH IN PLACE.
 - SYNTHETIC BINDERS - FOR STRAW MULCH, SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGR-TAC), DCA-70, PETROSET, TERRA TACK, OR EQUAL MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER. ALL APPLICATIONS OF SYNTHETIC BINDERS MUST BE CONDUCTED IN SUCH A MANNER WHERE THERE IS NO CONTACT WITH WATER OF THE STATE.
 - WOOD CELLULOSE FIBER - WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. THE FIBER BINDER SHALL BE APPLIED AT A NET DRY WEIGHT OF 750 LBS./AC. THE WOOD CELLULOSE FIBER SHALL BE MIXED WITH WATER AND THE MIXTURE SHALL CONTAIN A MAXIMUM OF 50 LB./100 GAL. OF WOOD CELLULOSE FIBER.

SPECIFICATIONS FOR SODDING

- MATERIALS**
- SOD SHALL BE HARVESTED, DELIVERED AND INSTALLED WITHIN A PERIOD OF 48 HOURS. SOD NOT TRANSPLANTED WITHIN THIS PERIOD SHALL BE INSPECTED AND APPROVED PRIOR TO INSTALLATION.
 - THE SOD SHALL BE KEPT MOIST AND COVERED DURING HAULING AND PREPARATION FOR PLACEMENT.
 - SOD SHALL BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF 0.75 INCHES, PLUS OR MINUS 0.25 INCHES, AT THE TIME OF CUTTING. MEASUREMENTS FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH.
- SITE PREPARATION**
- A SUBSOILER, PLOW OR OTHER IMPLEMENT SHALL BE USED TO REDUCE SOIL COMPACTION AND ALLOW MAXIMUM INFILTRATION. MAXIMIZING INFILTRATION WILL HELP CONTROL BOTH RUNOFF RATE AND WATER QUALITY. SUBSOILING SHALL NOT BE CONDUCTED ON SLIP-PRONE AREAS WHERE SOIL PREPARATION SHOULD BE LIMITED ONLY TO WHAT IS NECESSARY FOR ESTABLISHING VEGETATION.
 - THE AREA SHALL BE GRADED AND TOPSOIL SPREAD WHERE NEEDED.
 - SOIL AMENDMENTS
 - LIME - AGRICULTURAL GROUND LIMESTONE SHALL BE APPLIED TO ACIDIC SOILS AS RECOMMENDED BY A SOIL TEST. IN LIEU OF A SOIL TEST, LIME SHALL BE APPLIED AT THE RATE OF 100 LB./1,000 SQ. FT. OR 2 TONS/AC.
 - FERTILIZER - FERTILIZER SHALL BE APPLIED AS RECOMMENDED BY A SOIL TEST. IN LIEU OF A SOIL TEST FERTILIZER SHALL BE APPLIED AT A RATE OF 12 LB./1,000 SQ. FT. OR 500 LB./AC. OF 10-10-10 OR 12-12-12 ANALYSIS
 - THE LIME AND FERTILIZER SHALL BE WORKED INTO THE SOIL WITH A DISK HARROW, SPRING-TOOTH HARROW, OR OTHER SUITABLE FIELD IMPLEMENT TO A DEPTH OF 3 INCHES.
 - BEFORE LAYING SOD, THE SURFACE SHALL BE UNIFORMLY GRADED AND CLEARED OF ALL DEBRIS, STONES AND CLOUDS LARGER THAN 3-IN. DIAMETER.
- SOD INSTALLATION**
- DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURES, THE SOIL SHALL BE LIGHTLY IRRIGATED IMMEDIATELY BEFORE LAYING THE SOD.
 - SOD SHALL NOT BE PLACED ON FROZEN SOIL.
 - THE FIRST ROW OF SOD SHALL BE LAID IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO AND TIGHTLY WEDGED AGAINST EACH OTHER. LATERAL JOINTS SHALL BE STAGGERED IN A BRICK-LIKE PATTERN. ENSURE THAT SOD IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS THAT WOULD DRY THE ROOTS.
 - ON SLOPING AREAS WHERE EROSION MAY BE A PROBLEM, SOD SHALL BE LAID WITH THE LONG EDGE PARALLEL TO THE CONTOUR AND STAGGERED JOINTS. THE SOD SHALL BE SECURED WITH PEGS OR STAPLES.
 - AS SODDING IS COMPLETED IN ANY ONE SECTION, THE ENTIRE AREA SHALL BE ROLLED OR TAMPED TO ENSURE SOLID CONTACT OF ROOTS WITH THE SOIL SURFACE. SOD SHALL BE WATERED IMMEDIATELY AFTER ROLLING OR TAMPING UNTIL THE SOD AND SOIL SURFACE BELOW THE SOD ARE THOROUGHLY WET. THE OPERATIONS OF LAYING TAMPING AND IRRIGATING FOR ANY PIECE OF SOD SHALL BE COMPLETED WITHIN 8 HOURS.
- MAINTENANCE**
- IN THE ABSENCE OF ADEQUATE RAINFALL, WATERING SHALL BE PERFORMED DAILY OR AS OFTEN AS NECESSARY DURING THE FIRST WEEK WITH SUFFICIENT QUANTITIES TO MAINTAIN MOIST SOIL TO A DEPTH OF 4-6 INCHES.
 - AFTER THE FIRST WEEK, SOD SHALL BE WATERED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE AND ENSURE ESTABLISHMENT.
 - THE FIRST MOWING SHALL NOT BE ATTEMPTED UNTIL SOD IS FIRMLY ROOTED.



- MATERIALS-COMPOST USED FOR FILTER SOCKS SHALL BE WEED, PATHOGEN AND INSECT FREE AND FREE OF ANY REFUSE, CONTAMINANTS OR OTHER MATERIALS TOXIC TO PLANT GROWTH. THEY SHALL BE DERIVED FROM A WELL-DECOMPOSED SOURCE OF ORGANIC MATTER AND CONSIST OF PARTICLES RANGING FROM 1/4" TO 2".
 - FILTER SOCKS SHALL BE 3 OR 5 MIL CONTINUOUS, TUBULAR, HDPE 3/4" KNITTED MESH NETTING MATERIAL, FILLED WITH COMPOST PASSING THE ABOVE SPECIFICATIONS FOR COMPOST PRODUCTS.
 - FILTER SOCKS WILL BE PLACED ON A LEVEL LINE ACROSS SLOPES, GENERALLY PARALLEL TO THE BASE OF THE SLOPE OR OTHER AFFECTED AREA. ON SLOPES APPROACHING 2:1, ADDITIONAL SOCKS SHALL BE PROVIDED AT THE TOP AND AS NEEDED MID-SLOPE.
 - FILTER SOCKS INTENDED TO BE LEFT AS A PERMANENT FILTER OR PART OF THE NATURAL LANDSCAPE SHALL BE SEEDED AT THE TIME OF INSTALLATION FOR ESTABLISHMENT OF PERMANENT VEGETATION.
 - FILTER SOCKS ARE NOT TO BE USED IN CONCENTRATE FLOW SITUATIONS OR IN RUNOFF CHANNELS.
- MAINTENANCE:**
- ROUTINELY INSPECT FILTER SOCKS AFTER EACH SIGNIFICANT RAIN, MAINTAINING FILTER SOCKS IN A FUNCTIONAL CONDITION AT ALL TIMES.
 - REMOVE SEDIMENTS COLLECTED AT THE BASE OF THE FILTER SOCKS IN A FUNCTIONAL CONDITION AT ALL TIMES.
 - WHERE THE FILTER SOCK DETERIORATES OR FAILS, IT WILL BE REPAIRED OR REPLACED WITH A MORE EFFECTIVE ALTERNATIVE.
 - REMOVAL-FILTER SOCKS WILL BE DISPERSED ON SITE WHEN NO LONGER REQUIRED IN SUCH A WAY AS TO FACILITATE AN NO OBSTRUCT SEEDINGS.

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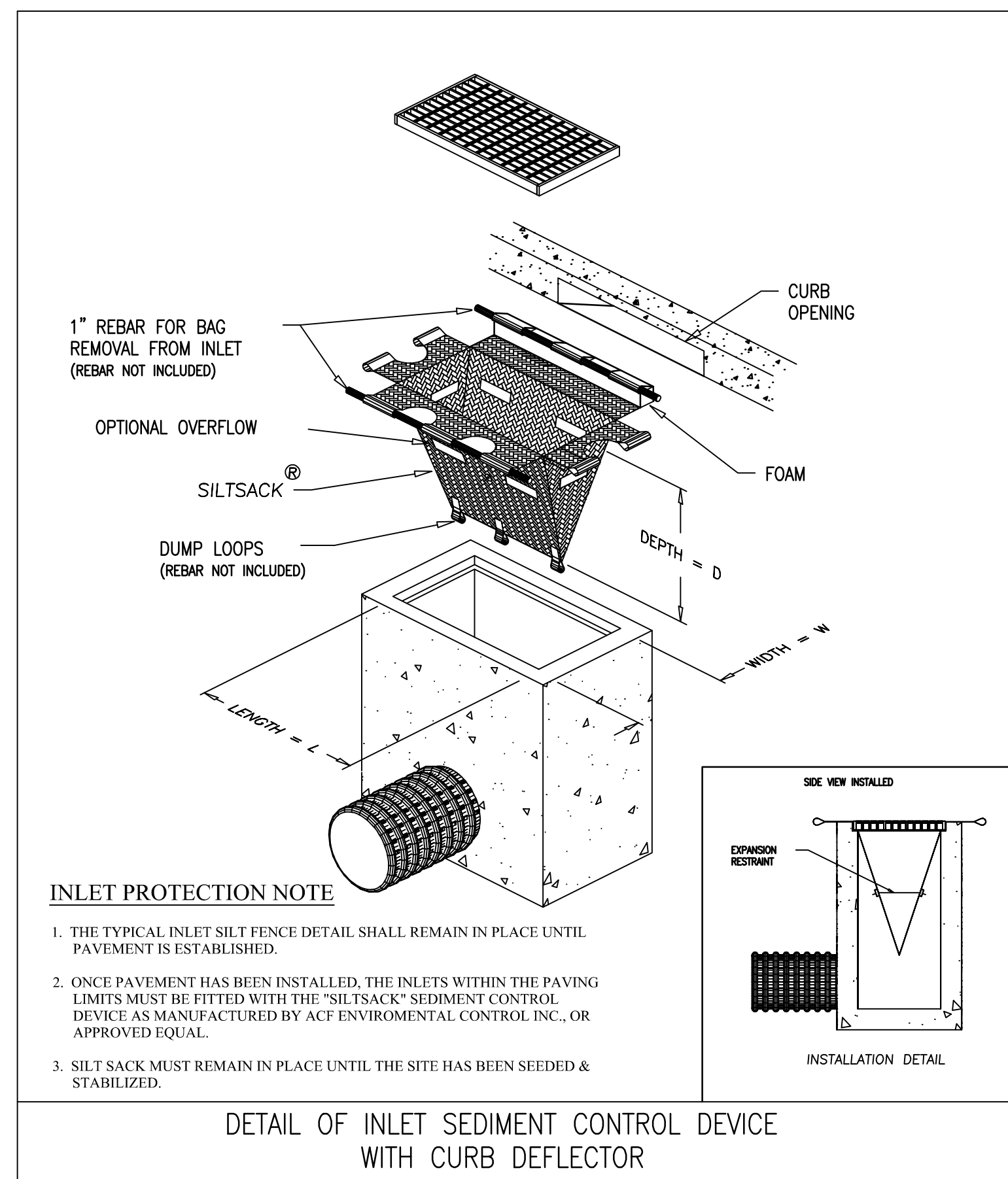
SPECIFICATIONS FOR DUST CONTROL

ADHESIVES FOR DUST CONTROL

ADHESIVE	WATER DILUTION (ADHESIVE WATER)	NOZZLE TYPE	APPLICATION RATE GAL./AC.
LATEX EMULSION	12.5:1	FINE	235
TESIN IN WATER ACRYLIC EMULSION (NO-TRAFFIC)	4:1	FINE	300
ACRYLIC EMULSION (NO-TRAFFIC)	7:1	COARSE	450
ACRYLIC EMULSION (TRAFFIC)	3.5:1	COARSE	350

- VEGETATIVE COVER AND MULCH- APPLY TEMPORARY OR PERMANENT SEEDING AND MULCH TO AREAS THAT WILL REMAIN IDLE FOR OVER 21 DAYS. SAVING EXISTING TREES AND LARGE SHRUBS WILL ALSO REDUCE SOIL AND AIR MOVEMENT ACROSS DISTURBED AREAS. SEE TEMPORARY SEEDING; PERMANENT SEEDING; MULCHING PRACTICES; AND TREE AND NATURAL AREA PROTECTION PRACTICES.
- WATERING- SPRAY SITE WITH WATER UNTIL THE SURFACE IS WET BEFORE AND DURING GRADING AND REPEAT AS NEEDED, ESPECIALLY ON HAUL ROADS AND OTHER HEAVY TRAFFIC ROUTES. WATERING SHALL BE DONE AT A RATE THAT PREVENTS DUST BUT DOES NOT CAUSE SOIL EROSION. WETTING AGENTS SHALL BE UTILIZED ACCORDING TO MANUFACTURERS INSTRUCTIONS.
- SPRAY-ON ADHESIVES-APPLY ADHESIVE ACCORDING TO THE FOLLOWING TABLE OR MANUFACTURERS' INSTRUCTIONS
- STONE - GRADED ROADWAYS AND OTHER SUITABLE AREAS WILL BE STABILIZED USING CRUSHED STONE OR COARSE GRAVEL AS SOON AS PRACTICABLE AFTER REACHING AN INTERIM OR FINAL GRADE. CRUSHED STONE OR COARSE GRAVEL CAN BE USED AS A PERMANENT COVER TO PROVIDE CONTROL OF SOIL EMISSIONS.
- BARRIERS- EXISTING WINDBREAK VEGETATION SHALL BE MARKED AND PRESERVED. SNOW FENCING OR OTHER SUITABLE BARRIER MAY BE PLACED PERPENDICULAR TO PREVAILING AIR CURRENTS AT INTERVALS OF ABOUT 15 TIMES THE BARRIER HEIGHT TO CONTROL AIR CURRENTS AND BLOWING SOIL.
- CALCIUM CHLORIDE - THIS CHEMICAL MAY BE APPLIED BY MECHANICAL SPREADER AS LOOSE, DRY GRANULES OR FLAKES AT A RATE THAT KEEPS THE SURFACE MOIST BUT NOT SO HIGH AS TO CAUSE WATER POLLUTION OR PLANT DAMAGE. APPLICATION RATES SHOULD BE STRICTLY IN ACCORDANCE WITH SUPPLIER'S SPECIFIED RATES.
- OPERATION AND MAINTENANCE - WHEN TEMPORARY DUST CONTROL MEASURES ARE USED, REPETITIVE TREATMENT SHOULD BE APPLIED AS NEEDED TO ACCOMPLISH CONTROLS.

STREET CLEANING- PAVED AREAS THAT HAVE ACCUMULATED SEDIMENT FROM CONSTRUCTION SHOULD BE CLEANED DAILY, OR AS NEEDED, UTILIZING A STREET SWEEPER OR BUCKET-TYPE ENDLOADER OR SCRAPER.



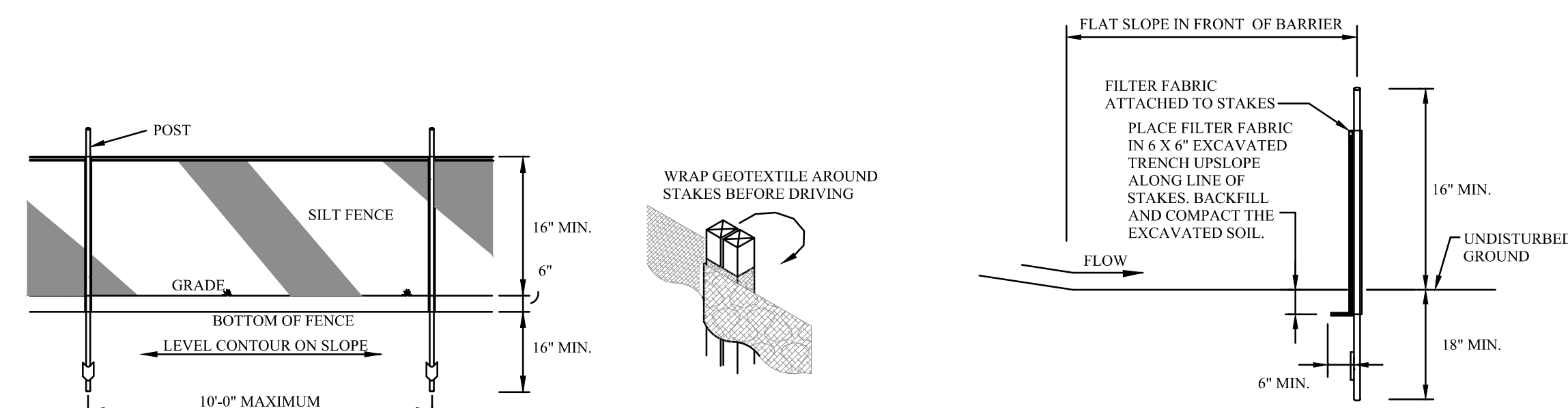
INLET PROTECTION NOTE

- THE TYPICAL INLET SILT FENCE DETAIL SHALL REMAIN IN PLACE UNTIL PAVEMENT IS ESTABLISHED.
- ONCE PAVEMENT HAS BEEN INSTALLED, THE INLETS WITHIN THE PAVING LIMITS MUST BE FITTED WITH THE "SILTSACK" SEDIMENT CONTROL DEVICE AS MANUFACTURED BY ACF ENVIRONMENTAL CONTROL INC., OR APPROVED EQUAL.
- SILT SACK MUST REMAIN IN PLACE UNTIL THE SITE HAS BEEN SEEDED & STABILIZED.

DETAIL OF INLET SEDIMENT CONTROL DEVICE WITH CURB DEFLECTOR

IPSS SILTSACK DETAIL

COMPOST FILTER SOCK DETAIL
 REFERENCE ONLY NOT TO SCALE



SILT FENCE DETAIL
 REFERENCE ONLY NOT TO SCALE

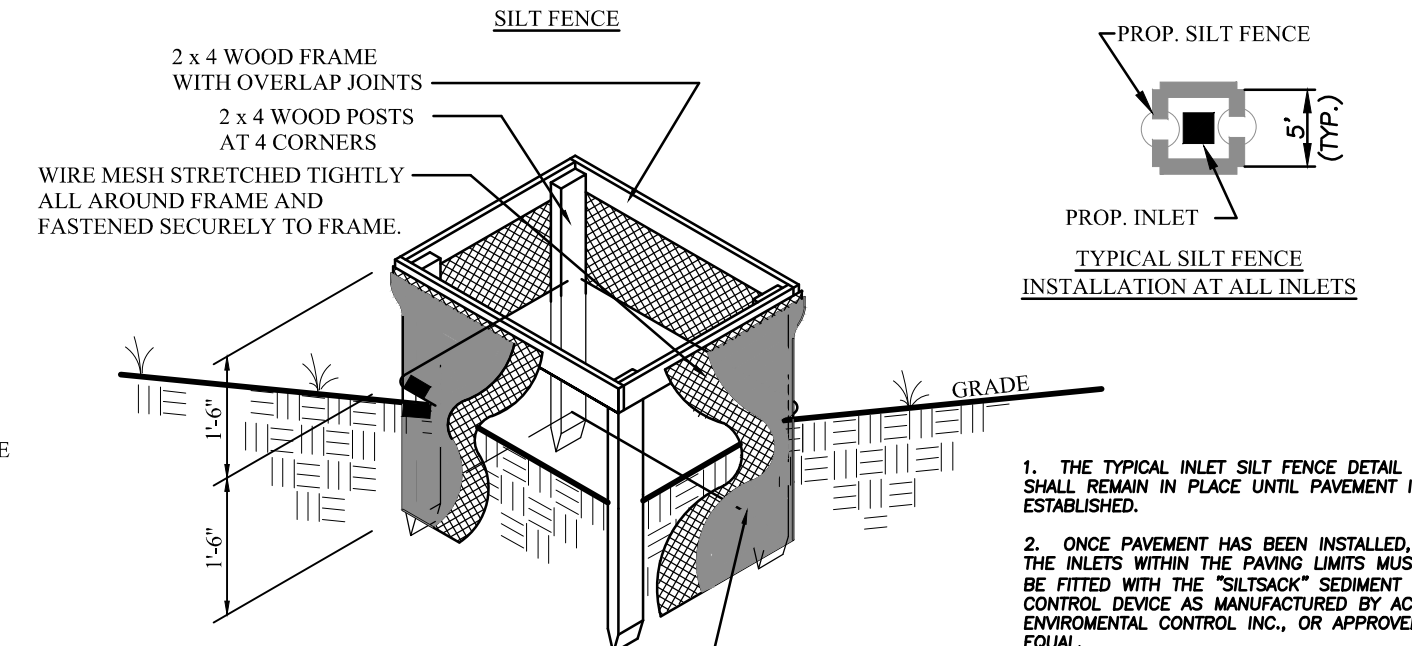
JOINING SECTIONS OF SILT FENCE DETAIL
 REFERENCE ONLY NOT TO SCALE

SILT FENCE SECTION
 REFERENCE ONLY NOT TO SCALE

- SILT FENCE SHALL BE CONSTRUCTED BEFORE UPSLOPE LAND DISTURBANCE BEGINS.
- ALL SILT FENCE SHALL BE PLACED AS CLOSE TO THE CONTOUR AS POSSIBLE SO THAT WATER WILL NOT CONCENTRATE AT LOW POINTS IN THE FENCE AND SO THAT SMALL SWALES OR DEPRESSIONS WHICH MAY CARRY SMALL CONCENTRATED FLOWS TO THE SILT FENCE ARE DISSIPATED ALONG ITS LENGTH.
- TO PREVENT WATER PONDED BY THE SILT FENCE FROM FLOWING AROUND THE ENDS, EACH END SHALL BE CONSTRUCTED UPSLOPE SO THAT THE ENDS ARE AT A HIGHER ELEVATION.
- WHERE POSSIBLE, SILT FENCE SHALL BE PLACED ON THE FLATTEST AREA AVAILABLE.
- WHERE POSSIBLE, VEGETATION SHALL BE PRESERVED FOR 5 FT. OR AS MUCH AS POSSIBLE UPSLOPE FROM THE SILT FENCE. IF VEGETATION IS REMOVED, IT SHALL BE REESTABLISHED WITHIN 7 DAYS FROM THE INSTALLATION OF THE SILT FENCE.
- THE HEIGHT OF THE SILT FENCE SHALL BE A MIN. OF 16 IN. ABOVE THE ORIGINAL GROUND SURFACE.
- THE SILT FENCE SHALL BE PLACED IN A TRENCH CUT A MIN. OF 6 IN. DEEP. THE TRENCH SHALL BE CUT WITH A TRENCHER, CABLE LAYING MACHINE, OR OTHER SUITABLE DEVICE WHICH WILL ENSURE AN ADEQUATELY UNIFORM TRENCH DEPTH.
- THE SILT FENCE SHALL BE PLACED WITH THE STAKES ON THE DOWN SLOPE SIDE OF THE GEOTEXTILE AND SO THAT 3 IN. OF CLOTH ARE BELOW THE GROUND SURFACE. EXCESS MATERIAL SHALL LAY ON THE BOTTOM OF THE 6 IN. DEEP TRENCH. THE TRENCH SHALL BE BACKFILLED AND COMPACTED ON BOTH SIDES OF THE FABRIC.
- SEAMS BETWEEN SECTIONS OF SILT FENCE SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST WITH A MINIMUM 6 IN. OVERLAP PRIOR TO DRIVING INTO THE GROUND.
- MAINTENANCE-SILT FENCE SHALL ALLOW RUNOFF TO PASS ONLY AS DIFFUSE FLOW THROUGH THE GEOTEXTILE. IF RUNOFF OVERTOPS THE SILT FENCE, FLOWS UNDER OR AROUND THE ENDS, OR IN ANY OTHER WAY BECOMES A CONCENTRATED FLOW, ONE OF THE FOLLOWING SHALL BE PERFORMED, AS APPROPRIATE: 1) THE LAYOUT OF THE SILT FENCE SHALL BE CHANGED, 2) ACCUMULATED SEDIMENT SHALL BE REMOVED, OR 3) OTHER PRACTICES SHALL BE INSTALLED.

MINIMUM CRITERIA FOR SILT FENCE FABRIC (ODOT, 2002)		
FABRIC PROPERTIES	VALUES	TEST METHOD
MINIMUM TENSILE STRENGTH	120 LBS. (533 N)	ASTM D 4362
MAXIMUM ELONGATION AT 60 LBS	50%	ASTM D 4832
MINIMUM PUNCTURE STRENGTH	50 LBS (220 N)	ASTM D 4833
MINIMUM TEAR STRENGTH	40 LBS (180 N)	ASTM D 4833
APPARENT OPENING SIZE	<84 MM	ASTM D 4751
MINIMUM PERMITTIVITY	1X10 ⁻² SEC ⁻¹	ASTM D 4491
UV EXPOSURE STRENGTH RETENTION	70%	ASTM D 4355

SF SPECIFICATIONS FOR SILT FENCE



- INLET PROTECTION SHALL BE CONSTRUCTED EITHER BEFORE UPSLOPE LAND DISTURBANCE BEGINS OR BEFORE THE STORM INLET BECOMES FUNCTIONAL.
- THE EARTH AROUND THE INLET SHALL BE EXCAVATED COMPLETELY TO A DEPTH AT LEAST 18 INCHES.
- THE WOODEN FRAME SHALL BE CONSTRUCTED OF 2-BY-4-IN. CONSTRUCTION-GRADE LUMBER. THE 2-BY-4-IN. POSTS SHALL BE DRIVEN INTO THE GROUND AT FOUR CORNERS OF THE INLET AND THE TOP PORTION OF 2-BY-4-IN. FRAME ASSEMBLED USING THE OVERLAP JOINT SHOWN. THE TOP OF THE FRAME SHALL BE AT LEAST 6 INCHES BELOW ADJACENT ROADS IF PONDED WATER WOULD POSE A SAFETY HAZARD TO TRAFFIC.
- WIRE MESH SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT FABRIC WITH WATER FULLY IMPOUNDED AGAINST IT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY TO THE FRAME.
- GEOTEXTILE MATERIAL SHALL HAVE AN EQUIVALENT OPENING SIZE OF 20-40. SIEVE AND BE RESISTANT TO SUNLIGHT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY. IT SHALL EXTEND FROM TOP OF THE FRAME TO 18 INCHES BELOW THE INLET NOTCH ELEVATION. THE GEOTEXTILE SHALL OVERLAP ACROSS ONE SIDE OF THE INLET SO THE ENDS OF THE CLOTH ARE NOT FASTENED TO THE SAME POST.
- BACKFILL SHALL BE PLACED AROUND THE INLET IN COMPACTED 6-IN. LAYERS UNTIL THE EARTH IS EVEN WITH NOTCH ELEVATION ON ENDS AND TOP ELEVATION ON SIDES.
- A COMPACTED EARTH DIKE OR A CHECK DAM SHALL BE CONSTRUCTED IN THE DITCH LINE BELOW THE INLET IF THE INLET IS NOT IN A DEPRESSION AND IF RUNOFF BYPASSING THE INLET WILL NOT FLOW TO A SETTLING POND. THE TOP OF EARTH DIKES SHALL BE AT LEAST 6 INCHES HIGHER THAN THE TOP OF THE FRAME.

MAINTENANCE

EFFECTIVE STORM DRAIN INLET PROTECTION COLLECTS SEDIMENT AND THEREFORE MUST BE CLEANED REGULARLY TO PREVENT CLOGGING AND SUBSEQUENT FLOODING CONDITIONS, PIPING, OR OVERTOPPING OF THE CONTROL STRUCTURES. SEDIMENT BARRIERS THAT SAG, FALL OVER, OR ARE NOT PROPERLY SECURED, MUST BE PROMPTLY REPAIRED OR REPLACED.

INLET PROTECTION SHALL BE INSPECTED WEEKLY AND AFTER EACH RAINFALL EVENT. AREAS WHERE THERE IS ACTIVE TRAFFIC SHALL BE INSPECTED DAILY. REPAIRS SHALL BE MADE AS NEEDED TO ASSURE THE PRACTICE IS PERFORMING AS INTENDED. SEDIMENT SHALL BE REMOVED WHEN ACCUMULATION IS ONE-HALF THE HEIGHT OF THE TRAP. SEDIMENT SHALL NOT BE WASHED INTO THE INLET. SEDIMENT SHALL BE REMOVED AND PLACED IN A LOCATION WHERE IT IS STABLE AND NOT SUBJECT TO EROSION.

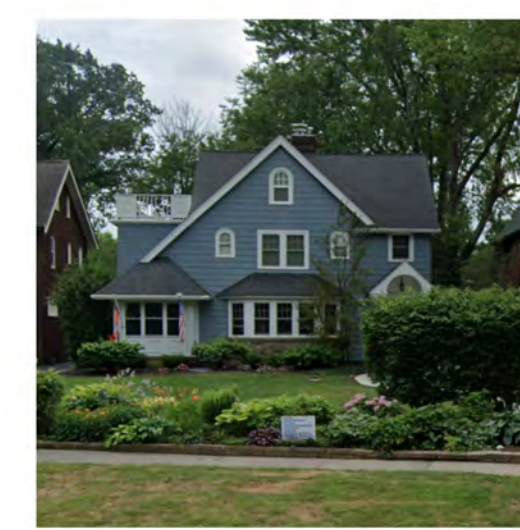
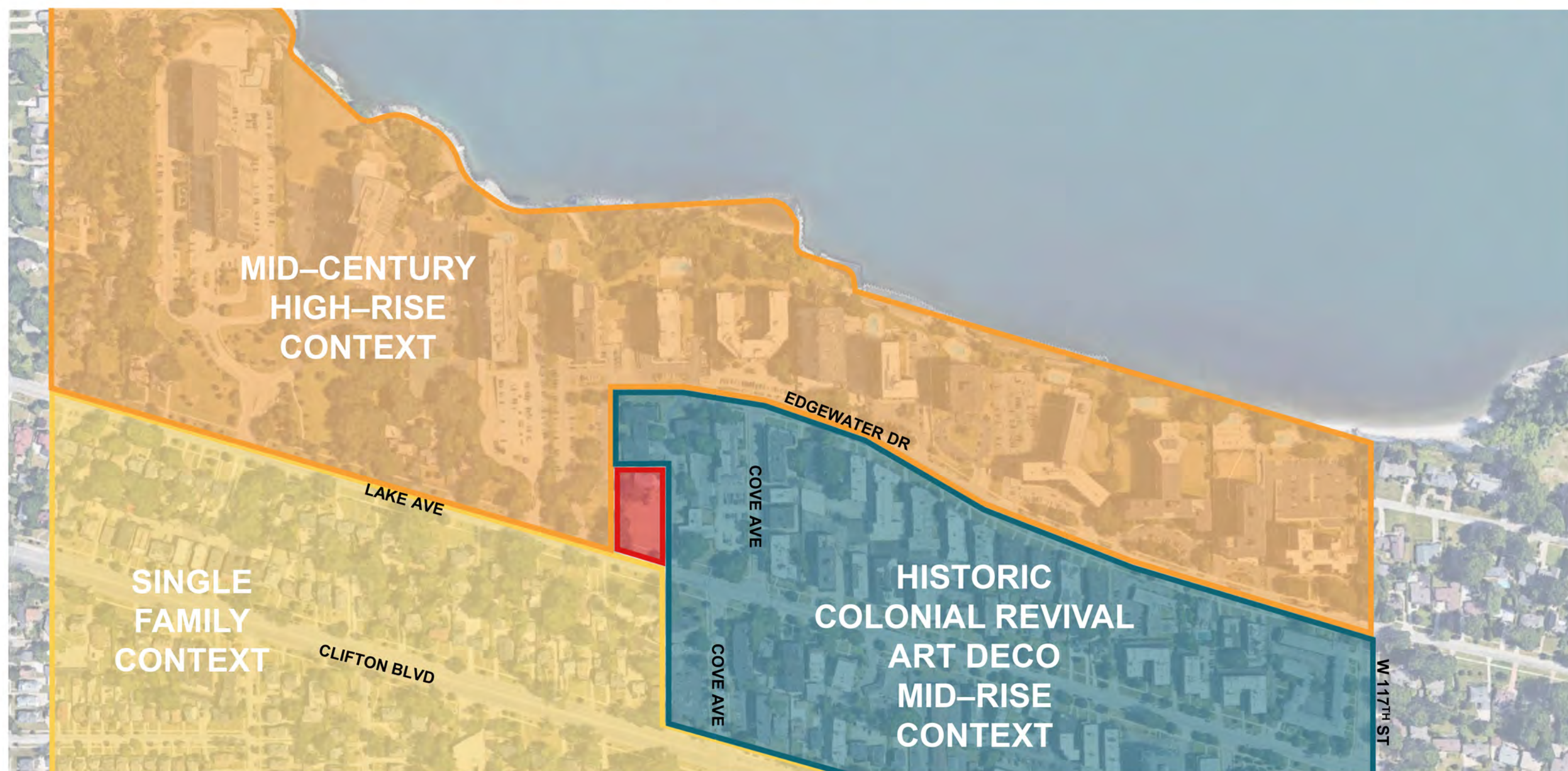
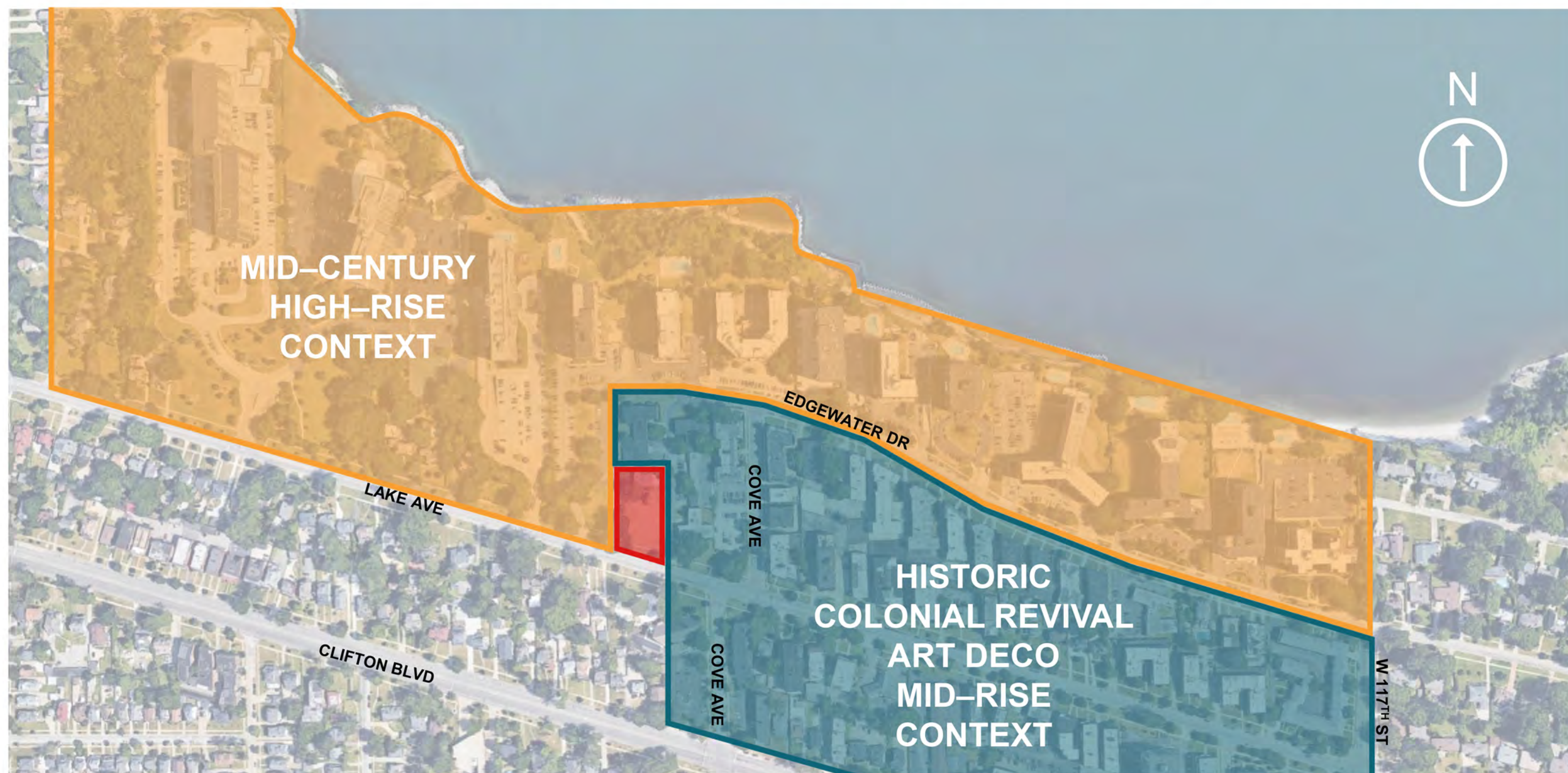
ONCE THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED, ALL FILTER MATERIAL AND COLLECTED SEDIMENT SHALL BE REMOVED AND PROPERLY DISPOSED.

IP SPECIFICATIONS FOR GEOTEXTILE INLET PROTECTION
 REFERENCE ONLY NOT TO SCALE

SHADY COVE TOWNHOMES
 NEW CONSTRUCTION
 12584 LAKE AVE, LAKEWOOD, OH
 Issue Date
 02-17-2024
 02-26-2024
 03-04-2024
 03-05-2024

ABBREVIATED SWP3 DETAILS

C110
 Project No. 2023-252



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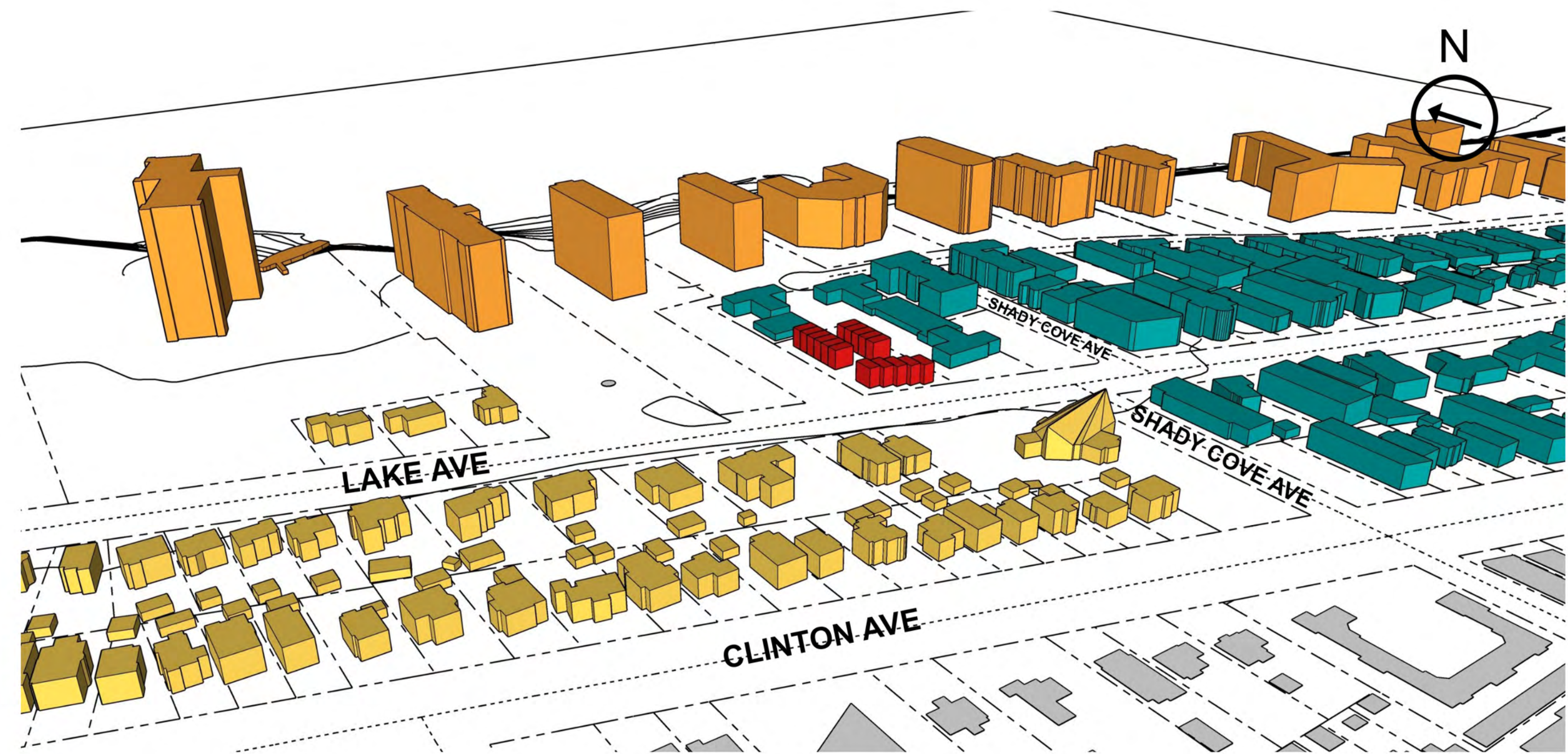
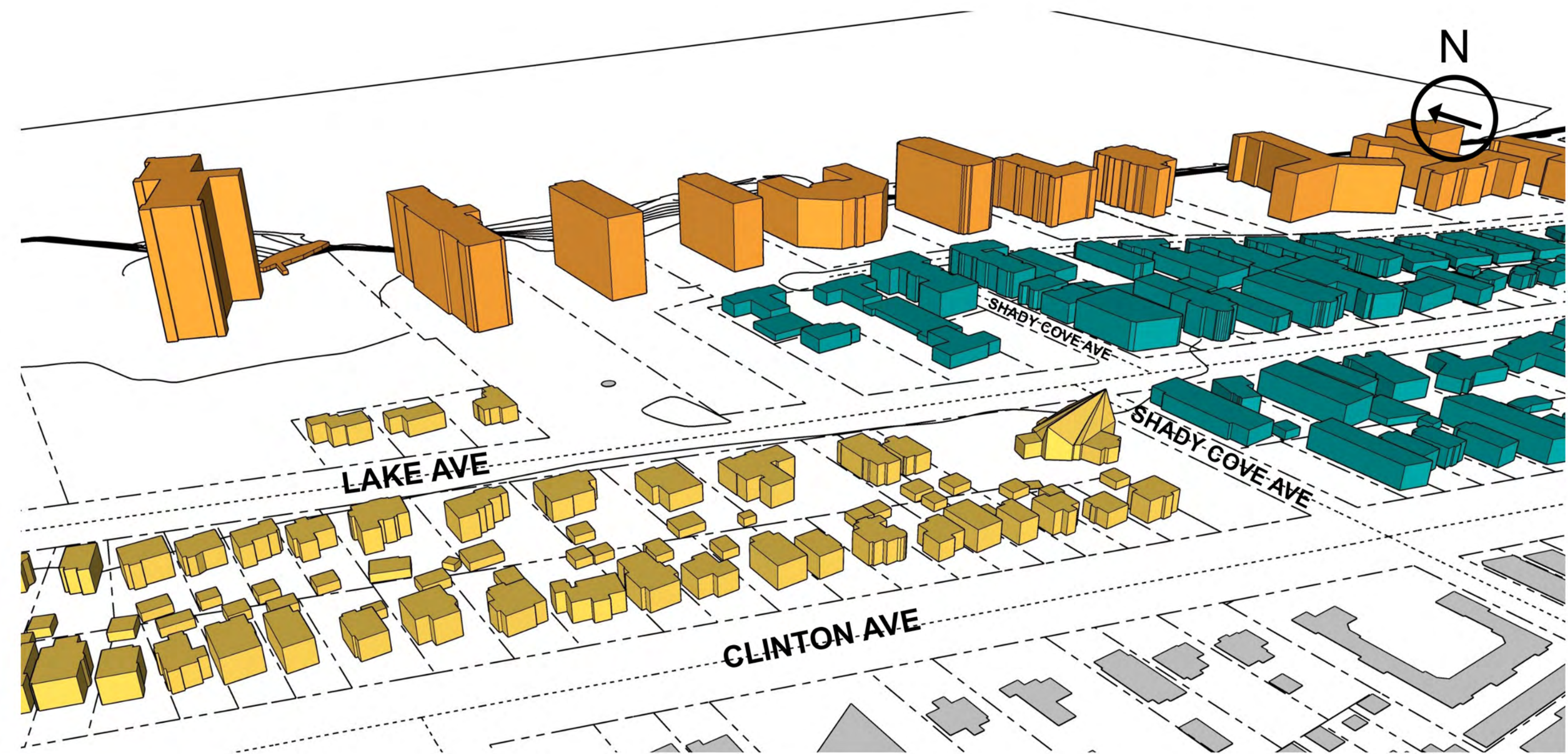
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NEIGHBORHOOD CONTEXT

PROJECT # 23138S
DRAWN BY _____
CHECKED BY RDL
FILE NAME _____
PLOT DATE 03/19/2024

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ISSUE

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**NEIGHBORHOOD
CONTEXT**

PROJECT # 23138S
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ISSUE

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CONTEXT VIEWS

PROJECT # 23138S
DRAWN BY _____
CHECKED BY RDL
FILE NAME _____
PLOT DATE 03/19/2024

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Eye Level - Looking west on Lake Ave.



Low Aerial - Looking east on Lake Ave.



Eye Level - Looking across Lake Ave.



Low Aerial - Looking west on Lake Ave.



Eye Level - Looking east on Lake Ave.



Aerial - Looking south from Marinae Towers