

**AGENDA
BOARD OF ZONING APPEALS
CITY OF LAKEWOOD
12650 DETROIT AVENUE
APRIL 18, 2024**

**PRE-REVIEW MEETING
6:00 P.M.
EAST CONFERENCE ROOM**

**REVIEW MEETING
6:30 P.M.
AUDITORIUM**

1. ROLL CALL
2. APPROVE MINUTES OF THE MARCH 21, 2024 MEETING
3. OPENING REMARKS

OLD BUSINESS

4. **Docket No. 10-16-23
12534 Lake Ave.
Shady Cove Townhouses**

Applicant Tyler Brummett of Brookside Shady LLC proposes the construction of 16 townhouses. The proposal has been approved at ABR and is now before the Planning Commission for a lot split to create 16 for sale townhomes on individual parcels, and one remainder parcel for a common driveway or private drive and other common areas. The parcels are smaller than the minimum lot size and frontage guidelines, and the proposed townhomes do not meet the required front, two side and rear setback requirements. Additionally, each townhome has a proposed uncovered rooftop patio which requires a variance because these patios are uncovered. Due to the number of variances being requested it is important to refer to the drawing, as proposed The property is located in the MH, Multi-Family High Density District. (Page 4)

- Variances for Building A: Proposed Building A will be split into 5 parcels with 5 townhomes that will be sold. The required minimum lot size is 10,000 square feet, minimum frontage for each parcel is 60 feet. The parcels range in size from 1152.11 to 1370.93 square feet, and range in frontage from 21.20- 28.87 feet. Ten variances are required for the parcels, as proposed. The buildings on each parcel exceed maximum permitted lot coverage, and do not have the required front, rear or two side setbacks requirements. Additionally, each townhome has an uncovered rooftop patio with an area of 150 square feet and a height of 34 feet 6 inches. The buildings require 30 variances, as proposed. Pursuant to all applicable sections of Chapter 1127 including sections 1127.03,(91-95.Passed 10-7-1996)1127.06(91-95.Passed 10-7-1996),1127.07(91-95.Passed 10-7-1996),1127.09(91-95.Passed 10-7-1996) and 1127.10(39-16. Passed 9-6-2016).
- Variances for Building B: Proposed Building B will be split into 6 parcels with 6 townhomes that will be sold. The required minimum lot size is 10,000 square feet, minimum frontage for each parcel

is 60 feet. The parcels range in area from 994.55 to 1,010.05 square feet, and range in frontage on the new private drive from 20.13- 20.44 feet. Ten variances are required for the parcels, as proposed. The buildings on each parcel exceed maximum permitted lot coverage, and do not have the required front, rear or two side setbacks. Additionally, each proposed townhome has an uncovered rooftop patio with an area of 150 square feet and a height of 34 feet 6 inches. The buildings require 36 variances, as proposed. . Pursuant to all applicable sections of Chapter 1127 including sections 1127.03,(91-95.Passed 10-7-1996)1127.06(91-95.Passed 10-7-1996),1127.07(91-95.Passed 10-7-1996),1127.09(91-95.Passed 10-7-1996) and 1127.10(39-16. Passed 9-6-2016).

- Variances for Building C: Proposed Building C will be split into 5 parcels with 5 townhomes that will be sold. The required minimum lot size is 10,000 square feet, minimum frontage for each parcel is 60 feet. The parcels range in area from 994.55 to 1,187.27 square feet, and range in frontage on the new private drive from 20.13- 20.44 feet. Ten variances are required for the parcels, as proposed. The buildings on each parcel exceed maximum permitted lot coverage, and do not have the required front, rear or side setbacks. Additionally, each proposed townhome has an uncovered rooftop patio with an area of 150 square feet and a height of 34 feet 6 inches. The buildings require 30 variances, as proposed. . Pursuant to all applicable sections of Chapter 1127 including sections 1127.03,(91-95.Passed 10-7-1996)1127.06(91-95.Passed 10-7-1996),1127.07(91-95.Passed 10-7-1996),1127.09(91-95.Passed 10-7-1996) and 1127.10(39-16. Passed 9-6-2016).

The remainder lot of approx. 17,181.38 square feet will be used for the creation of a private drive and common areas, and because it meets the requirements for minimum area and frontage does not require any variances. Ownership, easements, and maintenance responsibilities will be established by deed, and mailing address and contact information of the common areas/private drive will be provided to all applicable city departments and updated regularly.

NEW BUSINESS

5. Docket No. 04-07-24 1246 Manor Park Ave.

Applicant Charles McGettrick of C.A. McGettrick LLC, for homeowner Charles Essi, proposes the demolition of the existing single car detached garage and the construction of a two-story addition to the primary structure including an attached two car garage. The proposal does not meet the minimum side yard requirement of 5 ft nor the combined side yard requirement of 15 feet. The property is located in the R1H, Single Family High-Density Zoning District. (Page 22)

- Variance 1: Propose the construction of an attached two car garage which will reduce the side setback on the south side of the property to 2 feet, minimum required is 5 ft.. Request a variance of 3 ft. to construct the addition at 2 ft. from the side lot line, as proposed. Pursuant to Schedule 1121.07 Minimum Yard Requirements (Ord. 91-95. Passed 10-7-1996.)
- Variance 2: Propose the construction of an attached two garage which will reduce the combined side yard setback to 7.3 ft., required combined side yard setback is 15 feet. Request a variance of 7.7 ft. to construct the addition at 2 ft from the south side lot line, as proposed. . Pursuant to Schedule 1121.07 Minimum Yard Requirements (Ord. 91-95. Passed 10-7-1996.)

6. Docket No. 04-08-24

1047 Kirtland Ln.

Applicant Brandon Young of Young Design Studio LLC, for homeowners Meredith Ross and Trevor Dasch, proposes a modification to an approved plan. The addition on the rear of their home has been modified to include an unroofed patio deck the is 257 sq. feet on the third story at an elevation of 27 feet 4 3/8 inches, in addition to the previously approved second story unroofed patio deck. The property is located in the R1M Single Family Medium Density District. (Page 37)

- Variance 1: Addition proposed on rear of house, with the addition of a third story unroofed patio deck that is 257 sq ft in area and at an elevation of 27 ft. 4 3/8 inches. The maximum height permitted is 42 inches and the maximum area is 300 sq ft. Request a variance of 286 inches to build a 257 sq. ft unroofed patio deck is proposed. Pursuant to section 1121.03(d) Permitted Accessory Uses (Ord. 24-98 Passed 5-18-1998)

ADJOURN

“Individuals with disabilities, who require accommodations for participation in meetings, must request accommodations at least 3 business days ahead of the scheduled meeting. Contact [Michelle Noхта](mailto:Michelle.Noхта@lakewoodoh.gov) at (216) 529-5906 michelle.noхта@lakewoodoh.gov .”



BOARD OF ZONING APPEALS

12650 Detroit Avenue • 44107 • (216) 529-6630 • FAX (216) 529-5907
www.lakewoodoh.gov

Application Cover Page

Docket No.: 10-16-23

Reference No.: BZA23-000034, BZA23-000040, BZA23-000041

Applicant Name: Tyler Brummett, Brookside Shady, LLC

Project Address: 12534 Lake Ave.

Project Name: Shady Cove Townhouses


Proposal: The construction of 16 townhouses. The proposal has been approved at ABR and is now before the Planning Commission for a lot split to create 16 for sale townhomes on individual parcels, and one remainder parcel for a common driveway or private drive and other common areas. The parcels are smaller than the minimum lot size and frontage guidelines, and the proposed townhomes do not meet the required front, two side and rear setback requirements. Additionally, each townhome has a proposed uncovered rooftop patio which requires a variance because these patios are uncovered. Due to the number of variances being requested it is important to refer to the drawing, as proposed. The property is located in the MH, Multi-Family High Density District.

SHADY COVE TOWNHOMES

CITY OF LAKEWOOD COUNTY OF CUYAHOGA STATE OF OHIO



2555 Hartville Rd., Suite B
Rookstown, OH 44272
www.WeberEngineeringServices.com
330-329-2037
matt@webercivil.com



Reg. No.: 61709

CLIENT:

RDL
ARCHITECTS

21111 CHAGRIN BLVD., #110
BEACHWOOD, OHIO 44122
216.752.4300

OWNER:

VL FREELAND LLC

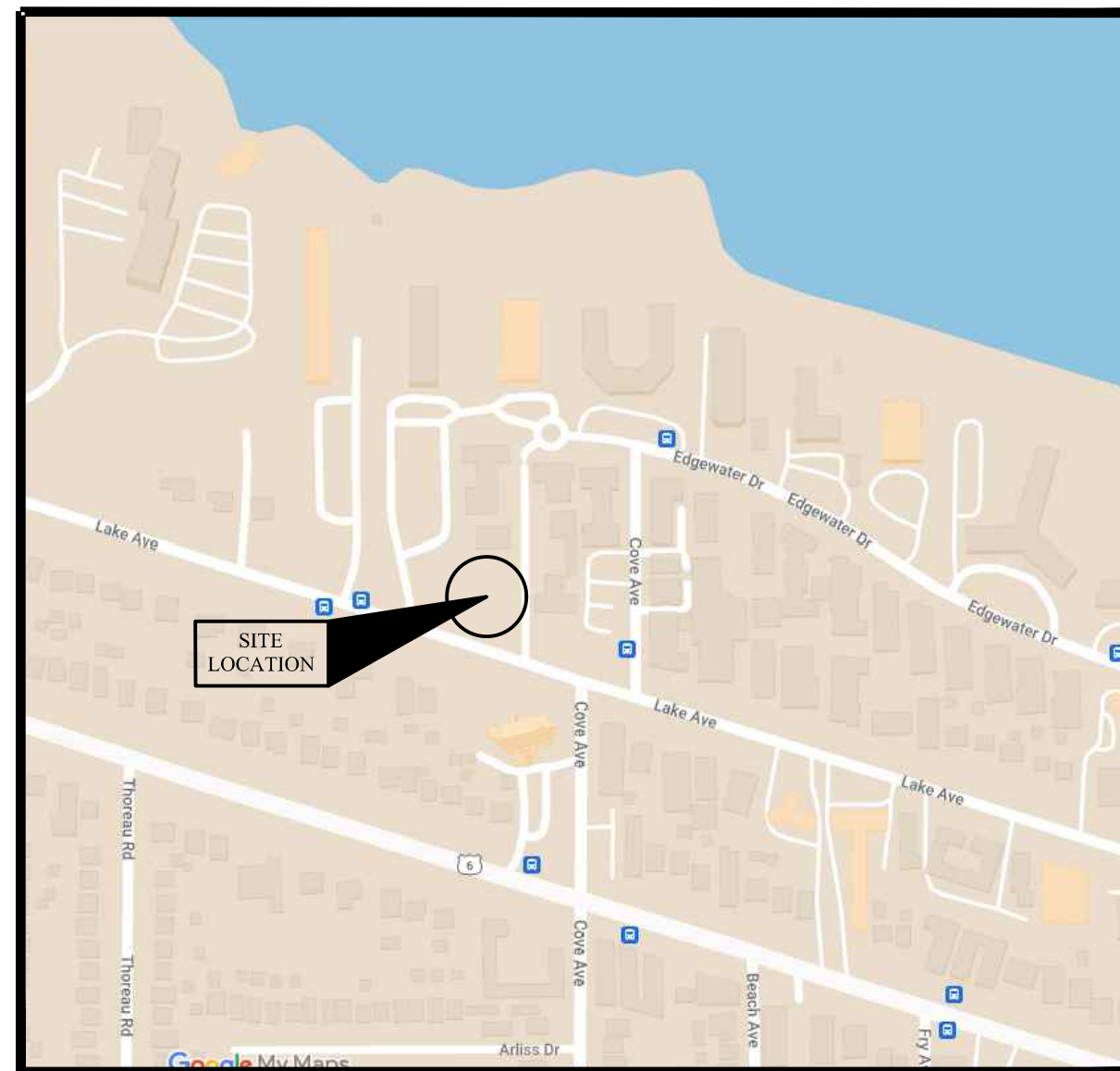
P.O. BOX 30339
MIDDLEBURG HEIGHTS, OH
44130

SHADY COVE TOWNHOMES
NEW CONSTRUCTION
12534 LAKE AVE, LAKEWOOD, OH

Issue Date
02-17-2024
02-26-2024
03-04-2024
03-05-2024

GENERAL NOTES

1. THE CONSTRUCTION OF THIS PROJECT SHALL BE GOVERNED BY THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION (O.D.O.T.) CONSTRUCTION AND MATERIAL SPECIFICATIONS, CURRENT EDITION, THE O.D.O.T. STANDARD CONSTRUCTION DRAWINGS, AND THE CITY OF LAKEWOOD SPECIFICATIONS AND STANDARD CONSTRUCTION DRAWINGS.
2. ALL DISTURBED GREEN AREAS SHALL BE TOP DRESSED AND RE-SEEDED.
3. CALL OHIO UTILITIES PROTECTION SERVICE BEFORE DIGGING (811).
4. ALL STORM SEWERS SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE), SMOOTH LINED, PER O.D.O.T. ITEM 707.33.
5. ELECTRICAL CONDUIT SHALL BE AS REQUIRED BY THE UTILITY OWNER.
6. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS IN THE ENGINEERING AND BUILDING DEPARTMENTS.
7. THE CONTRACTOR IS RESPONSIBLE FOR ANY ADDITIONAL SILTATION CONTROL MEASURES NECESSARY TO PREVENT SILT FROM LEAVING THE SITE.
8. THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF DEMOLITION MATERIAL AND DEBRIS.
9. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL DISTURBED AREAS TO THEIR ORIGINAL CONDITION, OR BETTER.
10. TEMPORARY SOIL EROSION AND SEDIMENT CONTROL WILL BE REQUIRED IN ACCORDANCE WITH THE CITY OF LAKEWOOD ENGINEER'S OFFICE.
11. A PRE CONSTRUCTION MEETING MUST BE HELD AT THE CITY OF LAKEWOOD ENGINEER'S OFFICE PRIOR TO STARTING ANY CONSTRUCTION ACTIVITY. IN ADDITION, THE CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE TO THE CITY OF LAKEWOOD BEGINNING WORK TO ARRANGE FOR INSPECTION.
12. A 18 INCH MINIMUM VERTICAL CLEARANCE SHALL BE MAINTAINED FROM THE OUTSIDE EDGE OF ALL WATER MAIN PIPE TO THE OUTSIDE EDGE OF ALL STORM SEWER PIPE.
13. A 10 FOOT MINIMUM HORIZONTAL CLEARANCE SHALL BE MAINTAINED FROM THE OUTSIDE EDGE OF ALL WATER MAIN PIPE, STORM SEWER PIPE & SANITARY SEWER PIPE.
14. AN 18 INCH MINIMUM VERTICAL CLEARANCE SHALL BE MAINTAINED FROM THE OUTSIDE EDGE OF ALL WATER MAIN PIPE TO THE OUTSIDE EDGE OF ALL SANITARY SEWER.



VICINITY MAP
NO SCALE



CITY OF LAKEWOOD REQUIRED NOTES

1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL DOCUMENT THE PRE-CONSTRUCTION RIGHT OF WAY CONDITIONS ALONG LAKE AVENUE WITH PHOTOGRAPHS AND VIDEO. THE DOCUMENTATION SHALL BE PROVIDED TO THE CITY ENGINEER FOR APPROVAL TWO WEEKS PRIOR TO CONSTRUCTION PROCEEDING.
2. THE CONTRACTOR SHALL TEMPORARILY USE STEEL PLATES OVER TRENCHES IN THE RIGHT OF WAY FOR ALL UTILITY UNDERGROUND WORK. PAVEMENT TRENCHES SHALL BE PLATED FOR NO MORE THAN 7 DAYS. TRENCHES SHALL BE TO THE SURFACE WITH EITHER TEMPORARY ASPHALT OR CONCRETE UNTIL THE FINAL RESTORATION IS MADE. PLACEMENT OF STONE AT THE SURFACE IS PROHIBITED.
3. ALL WORK PERFORMED IN THE RIGHT OF WAY SHALL BE OBSERVED BY THE CITY OF LAKEWOOD ENGINEERS REPRESENTATIVE JOE SCHALLER, PE. SCHEDULE 24 HOURS IN ADVANCE 440-537-8945.
4. TWO WEEKS PRIOR TO INSTALLATION, PROVIDE MATERIAL SUBMITTALS FOR USE IN THE RIGHT OF WAY TO THE CITY ENGINEER FOR APPROVAL.
5. PROVIDE AS-BUILT DRAWINGS TO THE CITY ENGINEER AT THE COMPLETION OF WORK.
6. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY ENGINEER.

WATER LINE NOTES

1. ALL WATER LINE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF LAKEWOOD WATER DISTRIBUTION SECTION LS 638.

SANITARY SEWER NOTES

1. ALL SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF LAKEWOOD SANITARY SEWER SECTION LS 2530.

INDEX

DESCRIPTION	SHEET NO.
TITLE SHEET	C100
DEMOLITION PLAN	C101
SITE PLAN	C102
UTILITY PLAN	C103
GRADING PLAN	C104
SITE DETAILS	C105
ABBREVIATED SWP ₃	C106
ABBREVIATED SWP ₃ DETAILS	C107-C110

SHEET NO.

C100
C101
C102
C103
C104
C105
C106
C107-C110

TITLE SHEET

C100
Project No. 2023-252



BENCH MARK #1

MATCHLINE (THIS SHEET)

220 BROOKSIDE SHADY LLC
INSTR. 202112300949
PPN 31210018

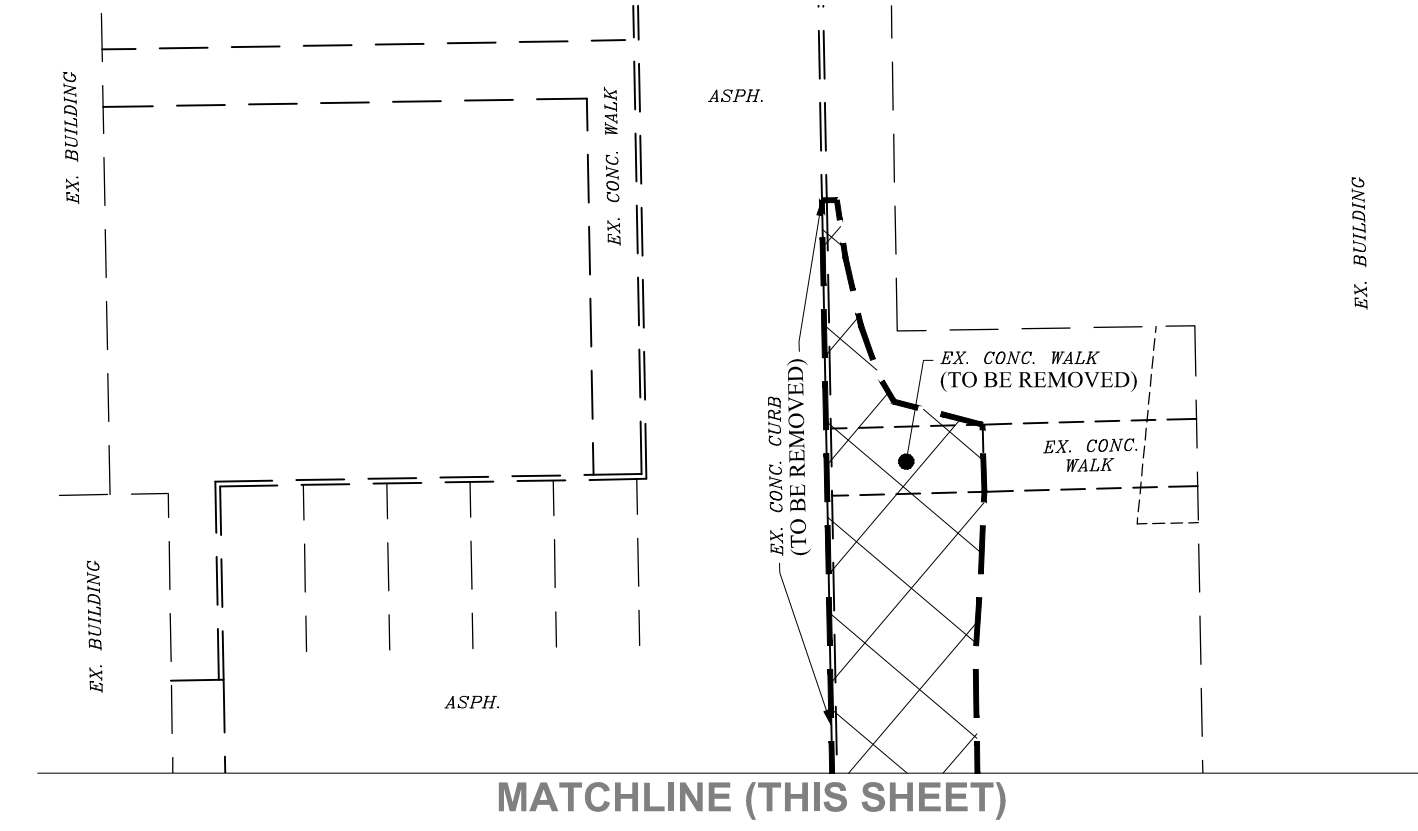
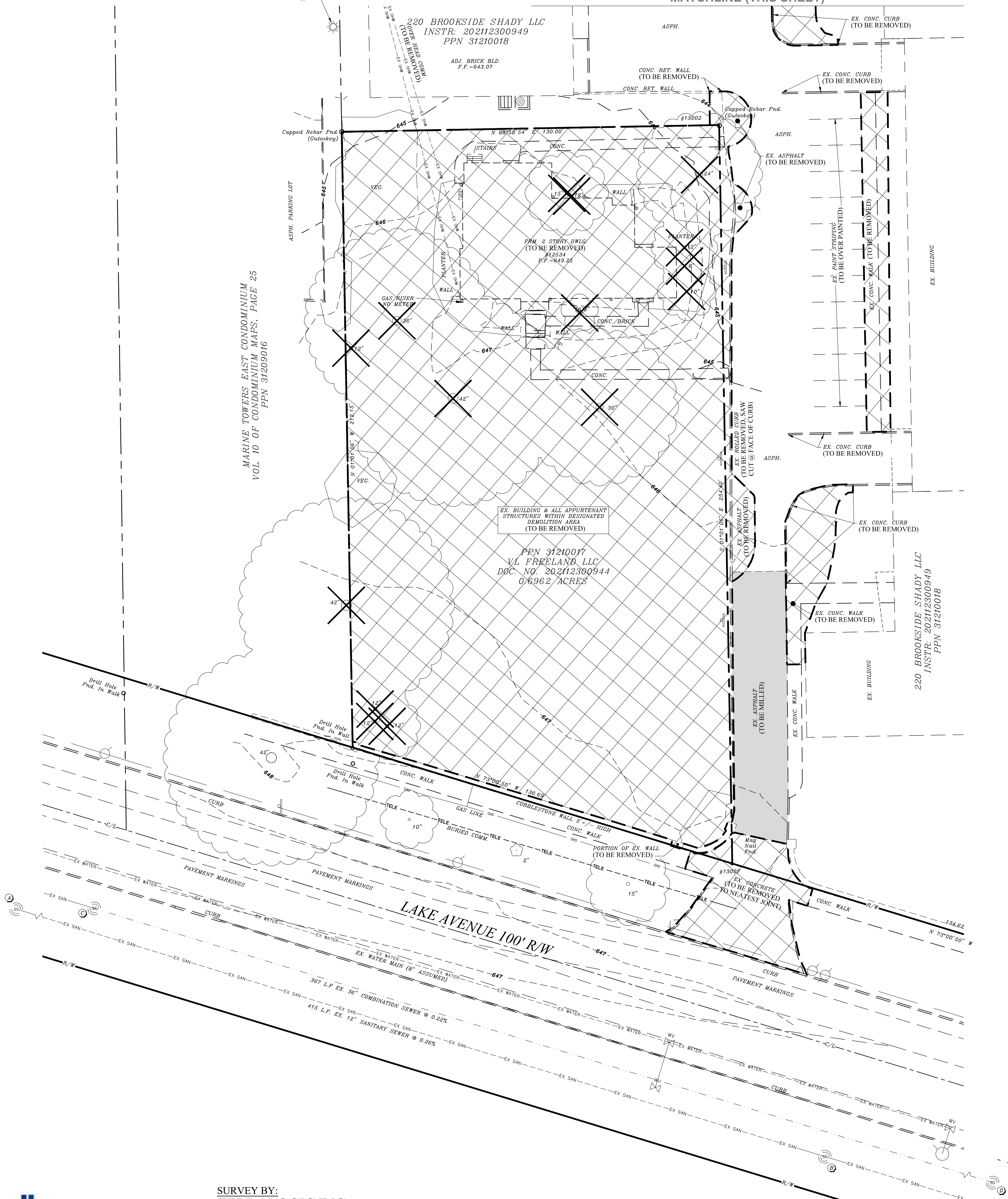
ADJ. BRICK BLD.
P.P. -648.07

MARINE TOWERS EAST CONDOMINIUM
VOL. 10 OF CONDOMINIUM MAPS, PAGE 25
PPN 31209016

EX. BUILDING & ALL APPURTENANT
STRUCTURES WITHIN DESIGNATED
DEMOLITION AREA
(TO BE REMOVED)

PRN 31210017
VL FREELAND LLC
DOC. NO. 202112300944
0.6962 ACRES

220 BROOKSIDE SHADY LLC
INSTR. 202112300949
PPN 31210018



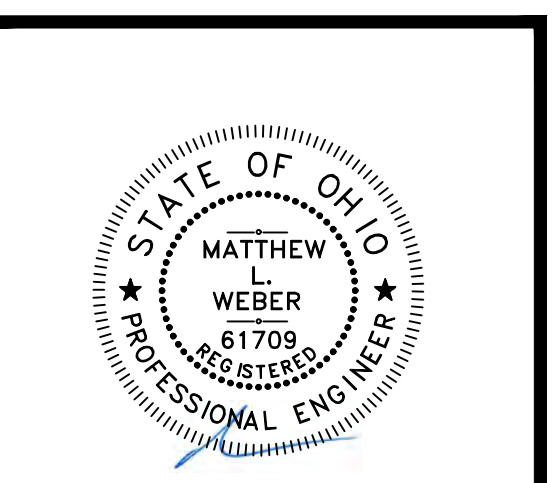
SITE BENCH MARK
BENCH MARK #1
DESCRIPTION
MAG NAIL SET 1' UP ON SOUTH SIDE OF LIGHT POLE
LOCATED NORTH OF THE NW. PROPERTY CORNER.
ELEVATION = 644.53

EX. SANITARY
STRUCTURE
SCHEDULE

- ① SAN. MANHOLE #1
RIM-648.31
INV. 12' SE&NW-638.42
- ② SAN. MANHOLE #2
RIM-647.54
INV. 12' SE&NW-637.34
- ③ SAN. MANHOLE #3
RIM-648.02
INV. 36' SE&NW-625.95
- ④ SAN. MANHOLE #4
RIM-646.93
INV. 36' SE&NW-625.16

WEBER ENGINEERING SERVICES
Where Strong Relationships & Superior Service Guide Your Project

2555 Hartville Rd., Suite B
Roostown, OH 44272
www.WeberEngineeringServices.com
330-329-2037
matt@webercivil.com



Reg. No.: 61709

CLIENT:

RDL ARCHITECTS

21111 CHAGRIN BLVD., #110
BEACHWOOD, OHIO 44122
216.752.4300

OWNER:

VL FREELAND LLC

P.O. BOX 30339
MIDDLEBURG HEIGHTS, OH
44130

Issue Date

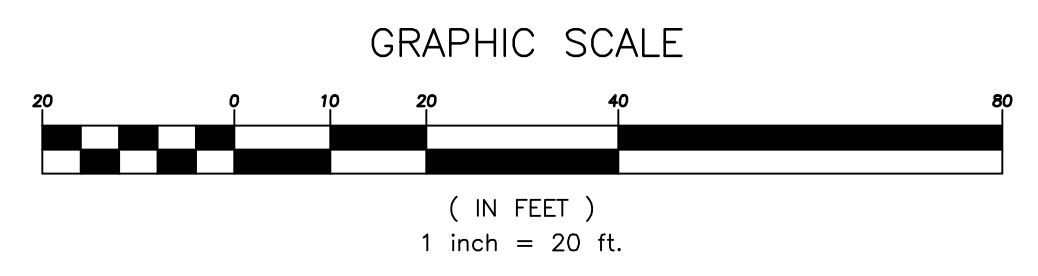
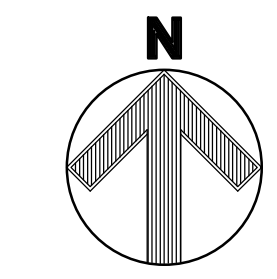
02-17-2024
02-26-2024
03-04-2024
03-05-2024

EXISTING UTILITY NOTE:
CONTRACTOR SHALL FIELD VERIFY LOCATION, DEPTH, SIZE AND CONNECTIVITY OF ALL EXISTING UTILITIES SERVING THE EXISTING STRUCTURE ON SITE PRIOR TO CONSTRUCTION. RECOMMEND USING A GPS SERVICE. DOCUMENT UTILITY INFORMATION AND ABANDON IN ACCORDANCE WITH CITY OF LAKEWOOD STANDARDS.

LEGEND

AREA OF DEMOLITION & CLEARING
TREE TO BE REMOVED

ITALICS TEXT REPRESENTS EXISTING CONDITION
NON-ITALICS TEXT REPRESENTS PROPOSED CONDITION



SURVEY BY:
TERRALOGIC INC.
SURVEYING & CONSTRUCTION SERVICES
MICHAEL J. BLASIO, P.S.
330-324-9999
2418 STATE STREET, N.W.
UNIONTOWN, OH 44685

DEMOLITION
PLAN

C101
Project No. 2023-252

D:\Revised - WORK\Civil ID Projects\2024\2023-252\Site\1\DDWG\3\5\2024\10-08-05.DWG

BENCH MARK #1

MATCHLINE (THIS SHEET)

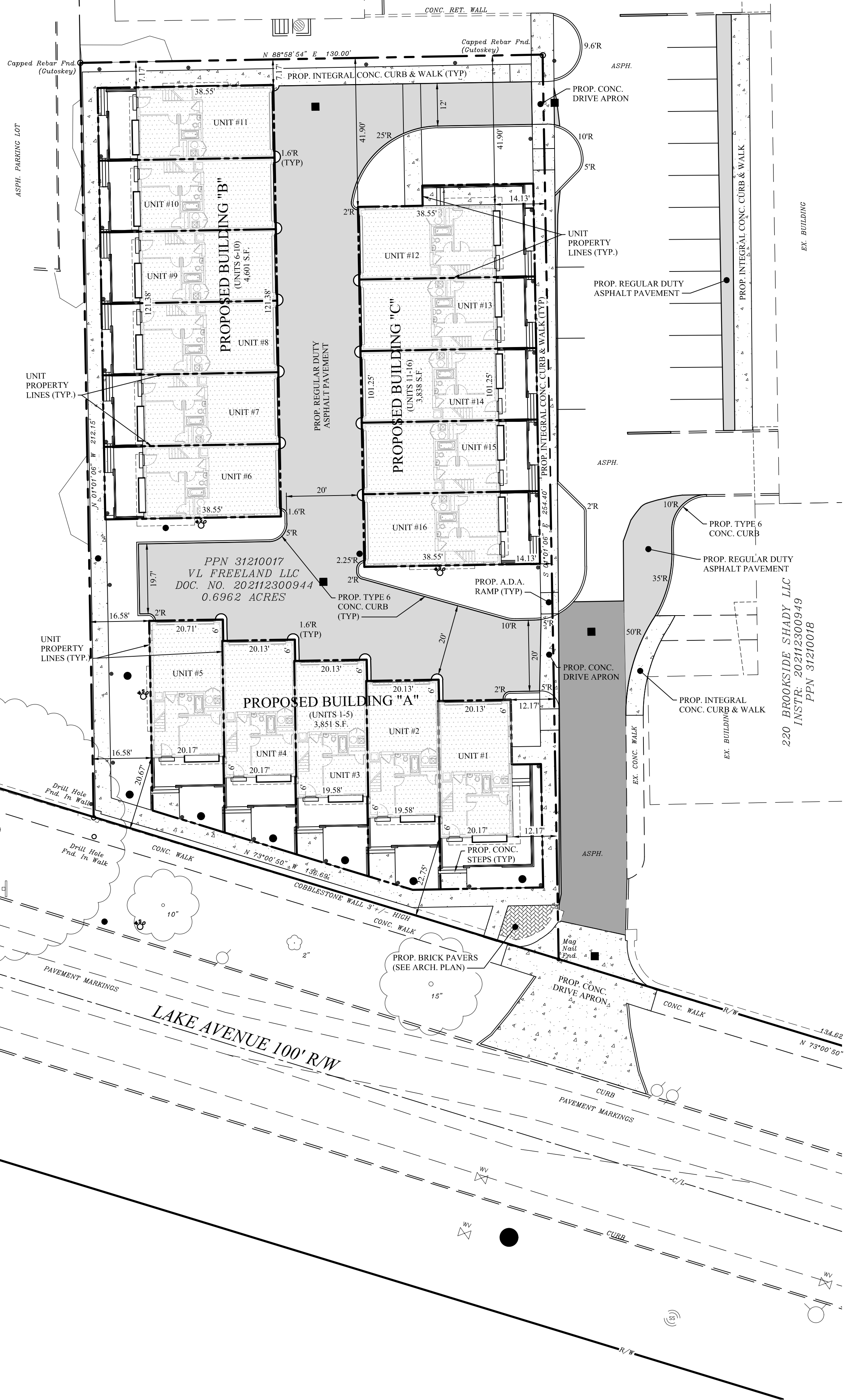
220 BROOKSIDE SHADY LLC
INSTR: 202112300949
PPN 31210018

PROP. REGULAR DUTY ASPHALT PAVEMENT

PROP. TYPE 6 CONC. CURB

ADJ. BRICK BLD.
P.P. - 643.07

MARINE TOWERS EAST CONDOMINIUM
VOL. 10 OF CONDOMINIUM MAPS, PAGE 25
PPN 31205016

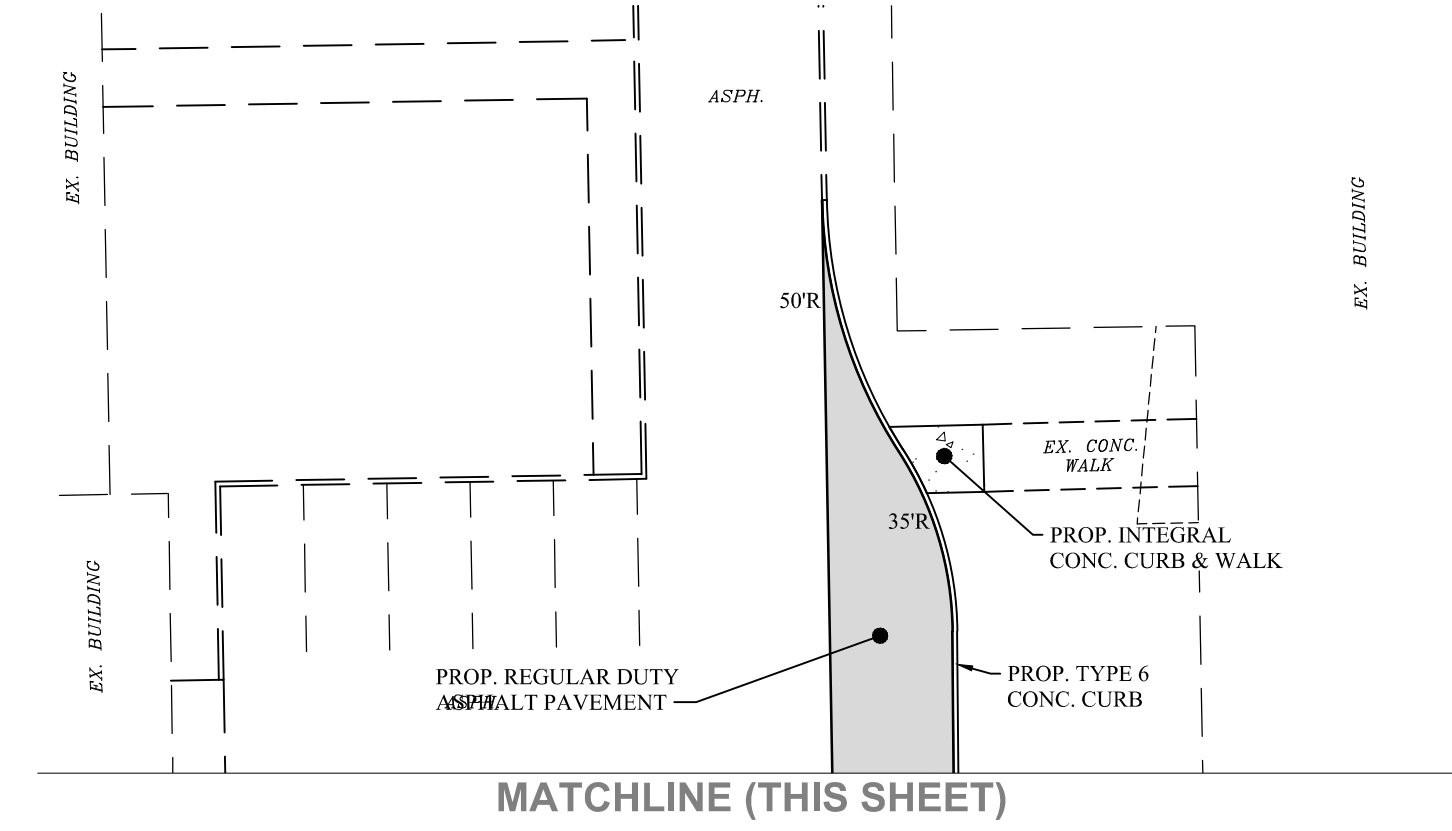


PPN 31210017
VL FREELAND LLC
DOC. NO. 202112300944
0.6962 ACRES

220 BROOKSIDE SHADY LLC
INSTR: 202112300949
PPN 31210018

LAKE AVENUE 100' R/W

SITE BENCH MARK
BENCH MARK #1
DESCRIPTION:
MAG NAIL SET 1' UP ON SOUTH SIDE OF LIGHT POLE
LOCATED NORTH OF THE NW. PROPERTY CORNER.
ELEVATION = 644.53



MATCHLINE (THIS SHEET)



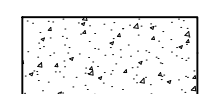
SITE DATA

USE DISTRICT	= MH (RESIDENTIAL, MULTI FAMILY, HIGH DENSITY)
SITE AREA	= (0.6962 AC.)
PROP. BUILDING AREA	= 12,290 S.F. (TOTAL FOOTPRINT)
BUILDING SETBACKS:	
FRONT YARD	= 50' (75% OF BLDG. HT., FROM STREET C/L) OR "BUILDING LINE MAP VALUE
SIDE YARD	= 33' (75% OF BLDG. HT.)
REAR YARD	= 50' (75% OF BLDG. HT.)

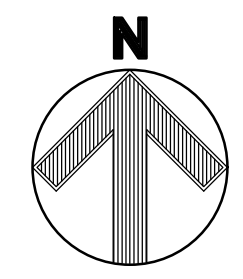
FLOOD ZONE

FLOOD ZONE "X" PER FLOOD INSURANCE
RATE MAP NUMBER 39035C 0157 F
COMMUNITY PANEL NUMBER 39035 0157 F
EFFECTIVE DATE SEPTEMBER 15, 2019

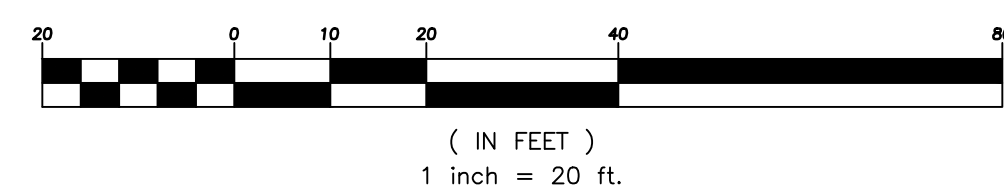
LEGEND

-  REGULAR DUTY ASPHALT
-  ASPHALT RESURFACING
-  CONCRETE PAVING

ITALICS TEXT REPRESENTS EXISTING CONDITION
NON-ITALICS TEXT REPRESENTS PROPOSED CONDITION



GRAPHIC SCALE



WEBER ENGINEERING SERVICES
Where Strong Relationships & Superior Service Guide Your Project

2555 Hartville Rd., Suite B
Rookstown, OH 44272
www.WeberEngineeringServices.com
330-329-2037
matt@webercivil.com

STATE OF OHIO
MATTHEW WEBER
61709
REGISTERED PROFESSIONAL ENGINEER

Reg. No.: 61709

CLIENT:

RDL ARCHITECTS

21111 CHAGRIN BLVD., #110
BEACHWOOD, OHIO 44122
216.752.4300

OWNER:

VL FREELAND LLC

P.O. BOX 30339
MIDDLEBURG HEIGHTS, OH
44130

SHADY COVE TOWNHOMES
NEW CONSTRUCTION
12534 LAKE AVE, LAKEWOOD, OH

Issue Date
02-17-2024
02-26-2024
03-04-2024
03-05-2024

SITE PLAN

C102
Project No. 2023-252



D:\Revised - WORK\Civil ID Projects\2024\2023-252 Shady Cove Lakewood Townhomes\Draw\2024\2023-252 Site\01.DWG 3/5/2024 10:48:08 PM

SITE BENCH MARK
 BENCH MARK #1
 DESCRIPTION
 MAG NAIL SET 1' UP ON SOUTH SIDE OF LIGHT POLE
 LOCATED NORTH OF THE NW PROPERTY CORNER.
 ELEVATION = 644.53

WEBER ENGINEERING SERVICES
Where Strong Relationships & Superior Service Guide Your Project

2555 Hartville Rd., Suite B
 Rootstown, OH 44272
 www.WeberEngineeringServices.com
 330-329-2037
 matt@webercivil.com

STATE OF OHIO
 MATTHEW WEBER
 61709
 REGISTERED PROFESSIONAL ENGINEER

Reg. No.: 61709

CLIENT:

RDL ARCHITECTS

21111 CHAGRIN BLVD., #110
 BEACHWOOD, OHIO 44122
 216.752.4300

OWNER:

VL FREELAND LLC

P.O. BOX 30339
 MIDDLEBURG HEIGHTS, OH
 44130

SHADY COVE TOWNHOMES NEW CONSTRUCTION 12534 LAKE AVE, LAKEWOOD, OH	Issue Date
	02-17-2024
	02-26-2024
	03-04-2024
	03-05-2024

PRELIMINARY PLAT

C102A
 Project No. 2023-252

OWNERS CERTIFICATION

SITUATED IN THE CITY OF LAKEWOOD, COUNTY OF GEauga, AND STATE OF OHIO, KNOWN AS PERMANENT PARCEL NUMBER 31210017.

THE UNDERSIGNED, VL FREELAND LLC, THROUGH ITS AGENT _____, HEREBY CERTIFIES THAT THE ATTACHED PLAT ACCURATELY REPRESENTS ITS SHADY COVE TOWNHOMES, A SUBDIVISION OF 16 LOTS (SUBLOT NUMBERS 1 THROUGH 16 INCLUSIVE) AND THE SAME WAS PREPARED AT OUR INSISTENCE.

VL FREELAND LLC, HEREBY GRANTS UNTO THE SHADY COVE HOMEOWNERS ASSOCIATION, INC. AN "ACCESS, UTILITY AND MAINTENANCE EASEMENT" AS SHOWN HEREON.

SAID "ACCESS, UTILITY AND MAINTENANCE EASEMENT" IS NOT GRANTED FOR USE BY THE GENERAL PUBLIC, BUT IS GRANTED FOR THE COMMON USE AND ENJOYMENT OF THE HOMEOWNERS WITHIN SHADY COVE SUBDIVISION AND IS TO BE MAINTAINED BY THE SHADY COVE HOMEOWNERS ASSOCIATION, INC.

THE UNDERSIGNED FURTHER AGREES THAT ANY USE IF IMPROVEMENTS MADE ON THIS LAND SHALL BE IN CONFORMITY WITH ALL EXISTING VALID ZONING, PLATTING, HEALTH OR OTHER LAWFUL RULES AND REGULATIONS INCLUDING THE APPLICABLE OFF-STREET PARKING AND LOADING REQUIREMENTS OF THE CITY OF LAKEWOOD, OHIO FOR THE BENEFIT OF THEMSELVES AND ALL OTHER SUBSEQUENT OWNERS OR ASSIGNS TAKING TITLE FROM OF UNDER OR THROUGH THE UNDERSIGNED.

IN WITNESS WHEREOF, VL FREELAND LLC, THROUGH ITS AGENT _____, HAS HERETO SET HIS HAND AT _____, OHIO,
 THIS _____ DAY OF _____, 2024.

BY: _____
 AGENT

NOTARY PUBLIC

STATE OF OHIO,
 COUNTY OF CUYAHOGA,
 BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE,
 PERSONALLY APPEARED THE ABOVE NAMED, VL FREELAND LLC, THROUGH ITS AGENT _____, WHO ACKNOWLEDGED THAT HE DID SIGN THE FOREGOING INSTRUMENT AND THAT THE SAME IS HIS VOLUNTARY ACT AND DEED.

IN TESTIMONY WHEREOF, I HAVE HERETO SET MY HAND AND OFFICIAL SEAL AT _____, OHIO,
 THIS _____ DAY OF _____, 2024.

 NOTARY PUBLIC

APPROVALS

CITY ENGINEER
 THIS PLAT IS HEREBY APPROVED, BY THE CITY ENGINEER OF THE CITY OF LAKEWOOD THIS _____ DAY OF _____, 2024.

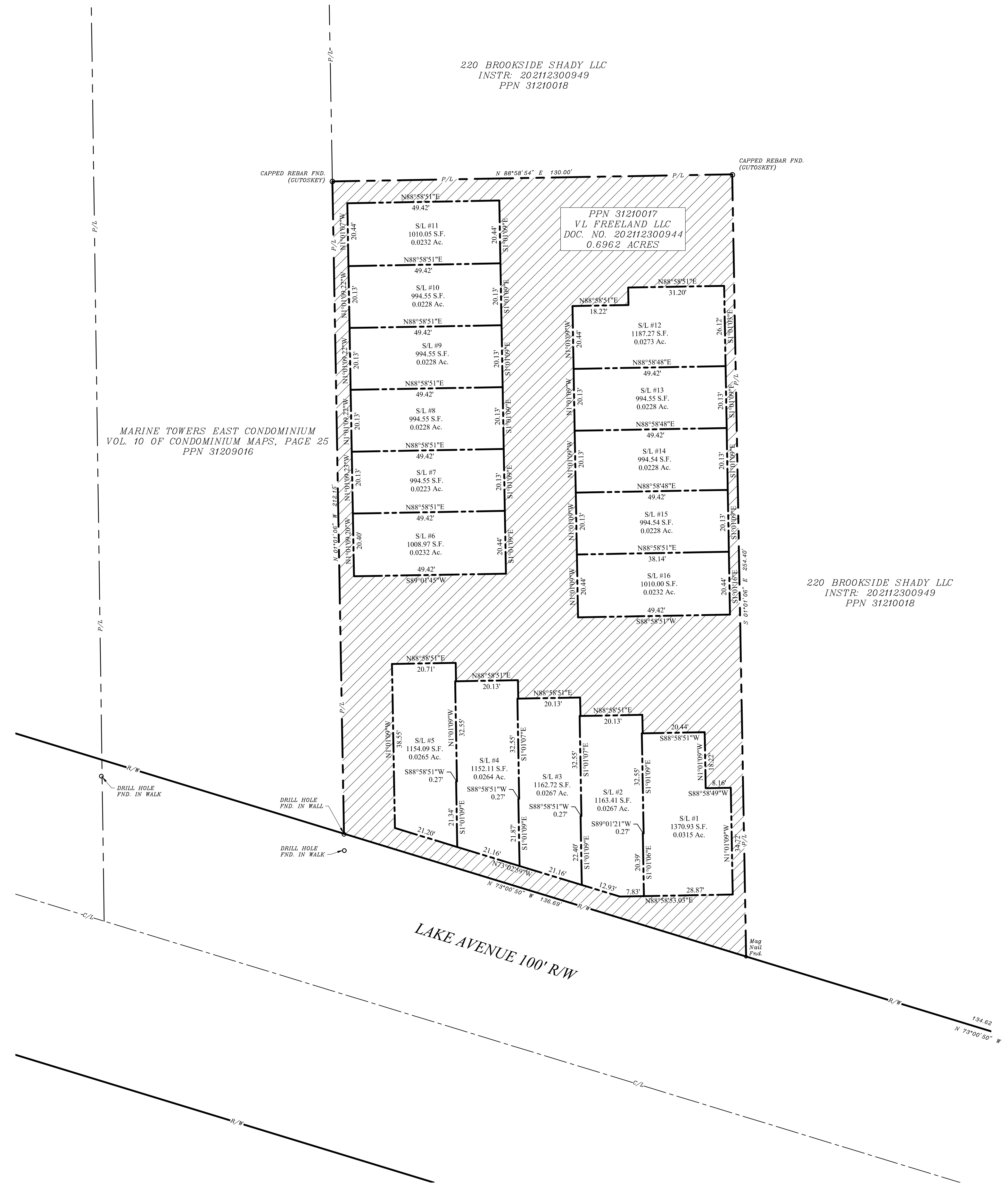
 LAKEWOOD CITY ENGINEER

PLANNING COMMISSION
 THIS PLAT HEREBY APPROVED, BY THE PLANNING COMMISSION OF THE CITY OF LAKEWOOD THIS _____ DAY OF _____, 2024.

 PLANNING COMMISSION CHAIRMAN

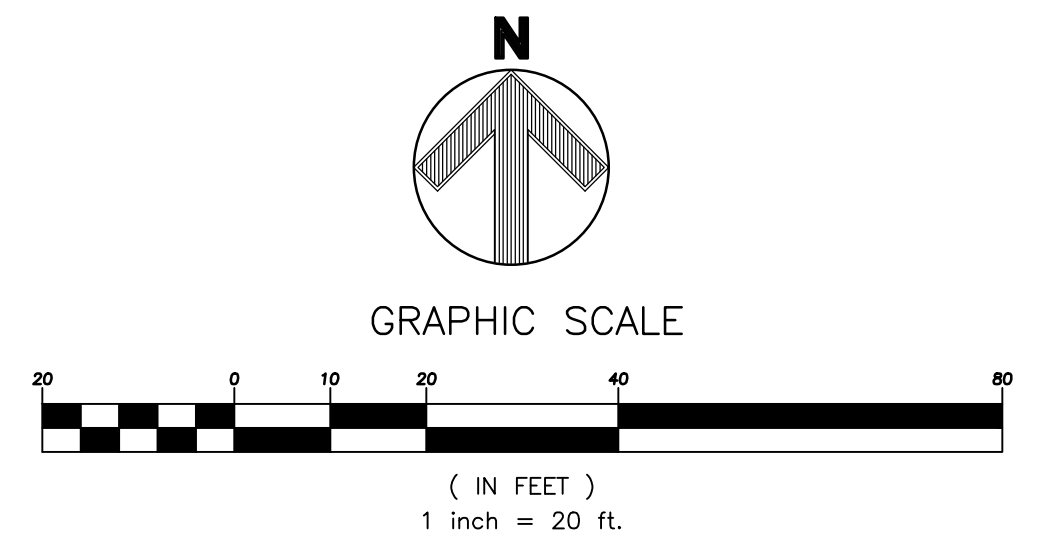
 PLANNING COMMISSION SECRETARY

ACREAGE
 TOTAL: 0.6962 Acres



LEGEND

ITALICS TEXT REPRESENTS EXISTING CONDITION
 NON-ITALICS TEXT REPRESENTS PROPOSED CONDITION



D:\Revised - WORK\Civil ID Projects\2024\2023-252 Shady Cove Lakewood Townhomes\Draw\2024\2023-252 Site\1.DWG 3/5/2024 10:48:09 PM



Reg. No.: 61709

CLIENT:

RDL ARCHITECTS

21111 CHAGRIN BLVD., #110
 BEACHWOOD, OHIO 44122
 216.752.4300

OWNER:

VL FREELAND LLC

P.O. BOX 30399
 MIDDLEBURG HEIGHTS, OH
 44130

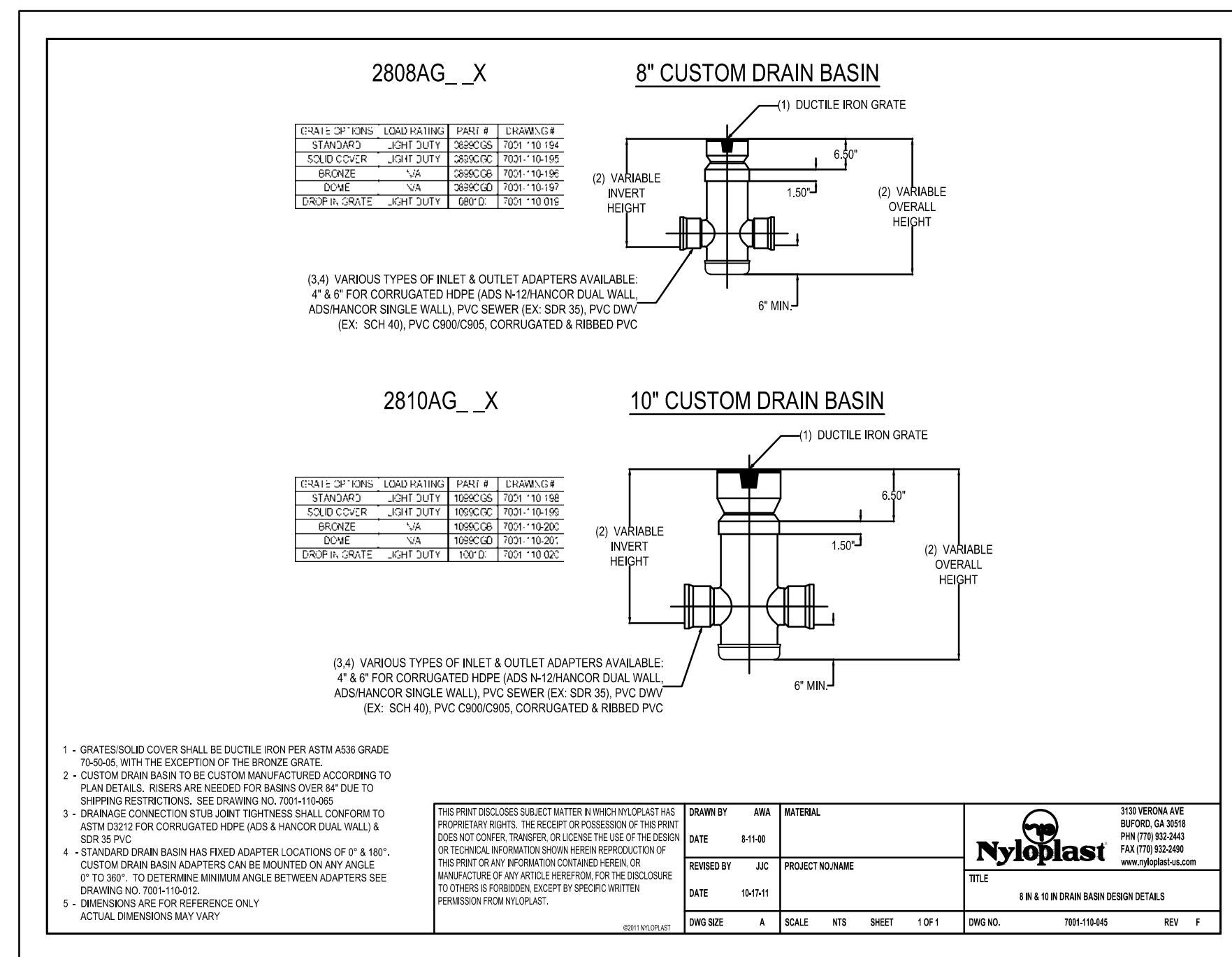
Issue Date

02-17-2024
 02-26-2024
 03-04-2024
 03-05-2024

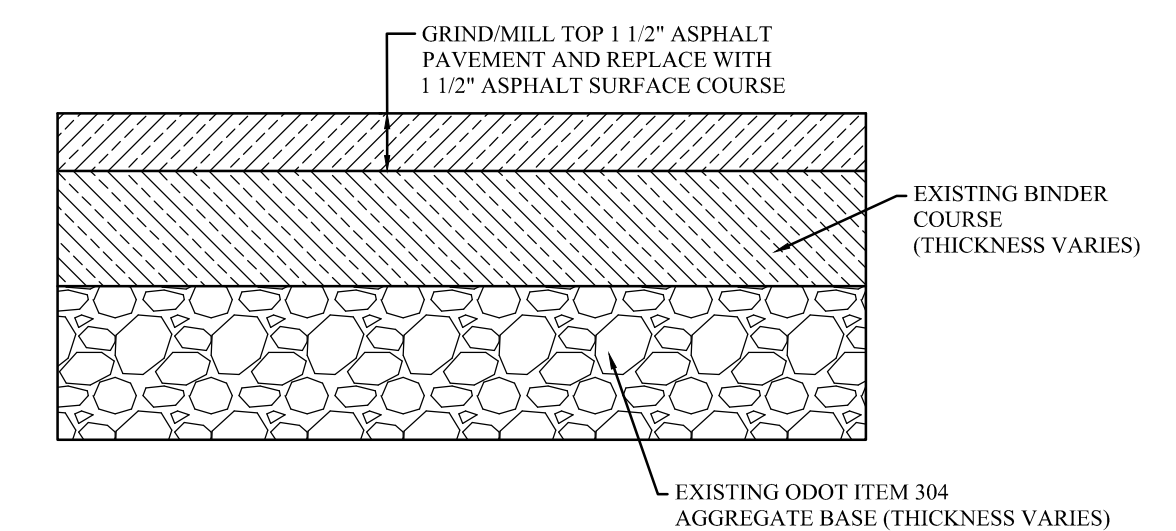
SHADY COVE TOWNHOMES
 NEW CONSTRUCTION
 12534 LAKE AVE, LAKEWOOD, OH

SITE
 DETAILS

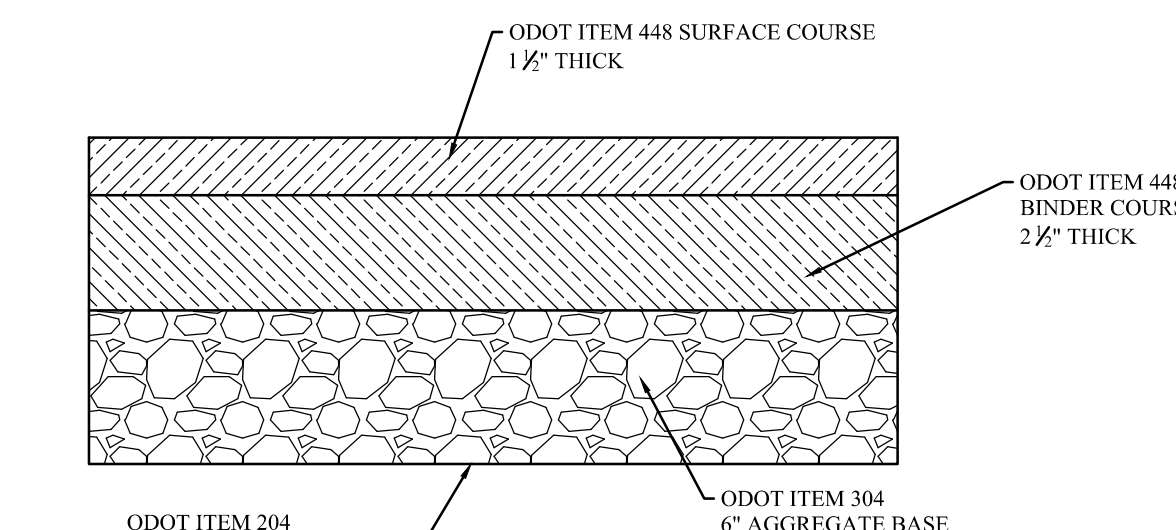
C105
 Project No. 2023-252



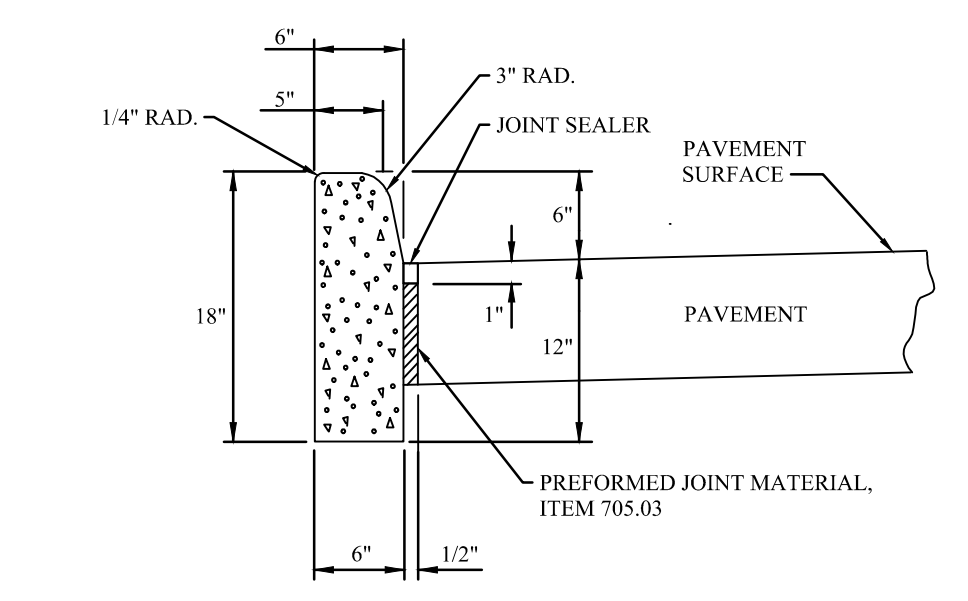
AREA DRAIN DETAIL



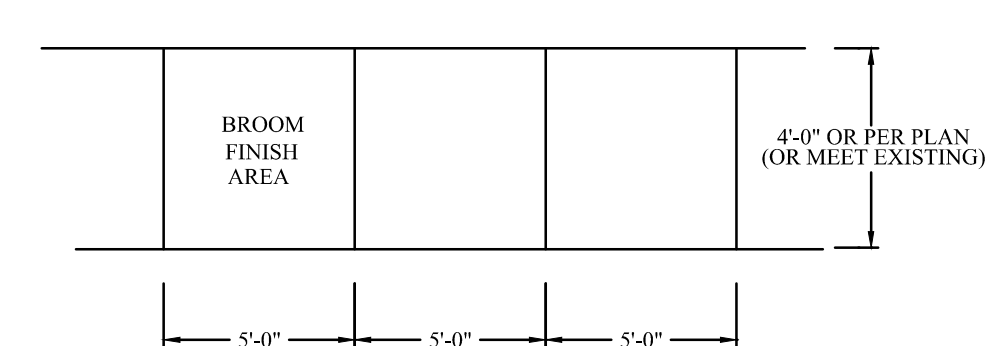
PROP. ASPHALT PAVEMENT RE-SURFACING
 REFERENCE ONLY NOT TO SCALE



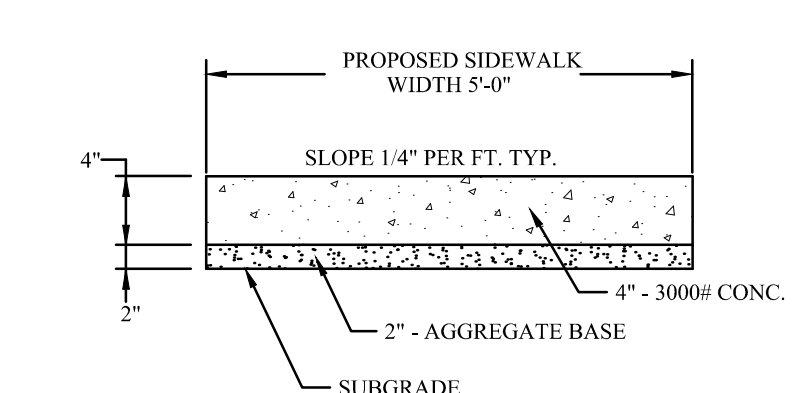
PROP. REGULAR DUTY ASPHALT PAVEMENT
 REFERENCE ONLY NOT TO SCALE
 (CONTRACTOR SHALL VERIFY WITH CURRENT GEOTECHNICAL REPORT)



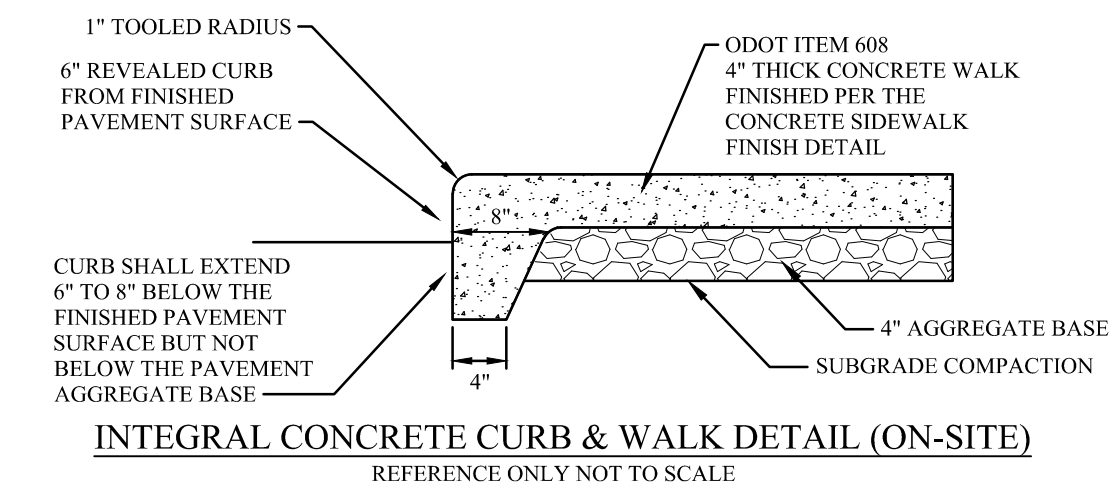
ODOT TYPE 6 CONCRETE CURB
 REFERENCE ONLY NOT TO SCALE



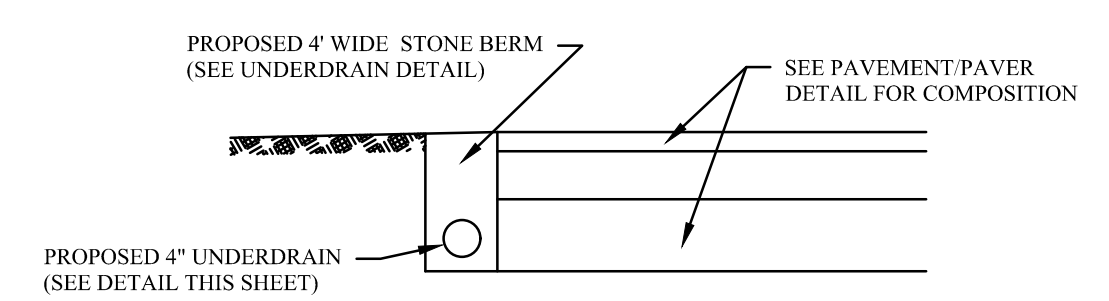
CONCRETE SIDEWALK FINISH AND JOINTS
 REFERENCE ONLY NOT TO SCALE



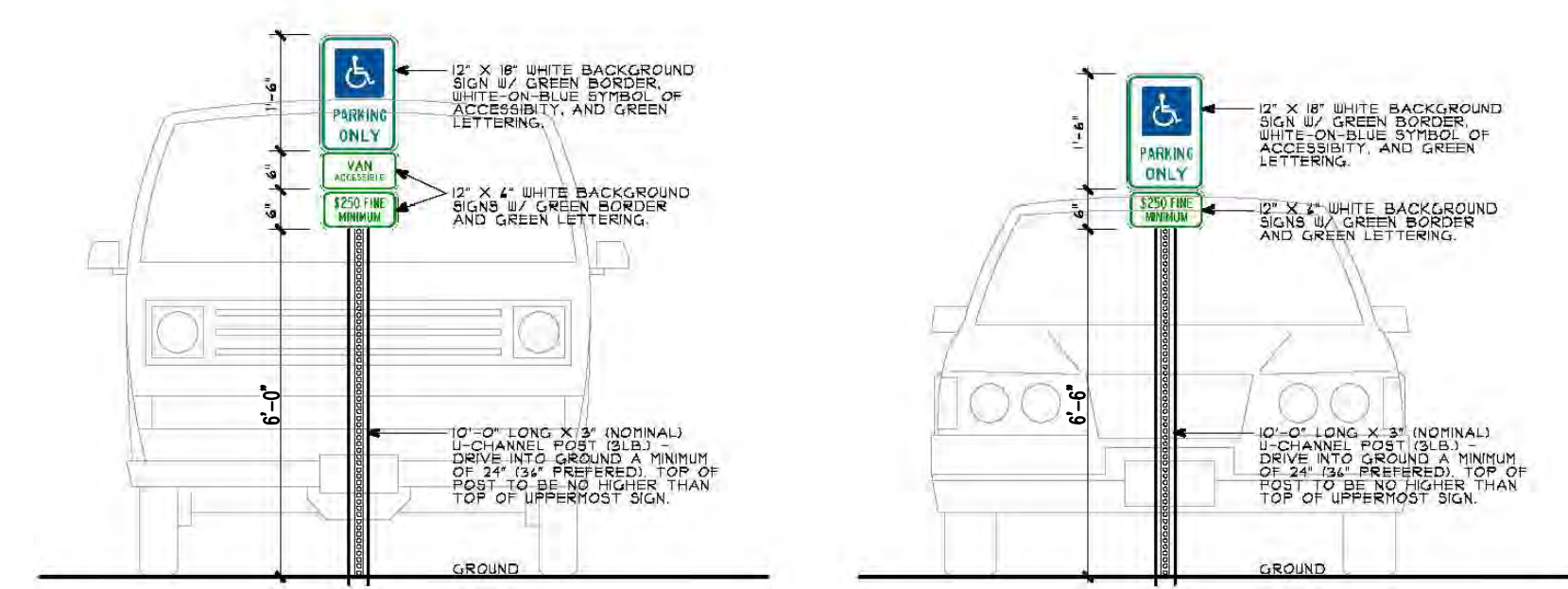
CONCRETE SIDEWALK
 REFERENCE ONLY NOT TO SCALE



INTEGRAL CONCRETE CURB & WALK DETAIL (ON-SITE)
 REFERENCE ONLY NOT TO SCALE



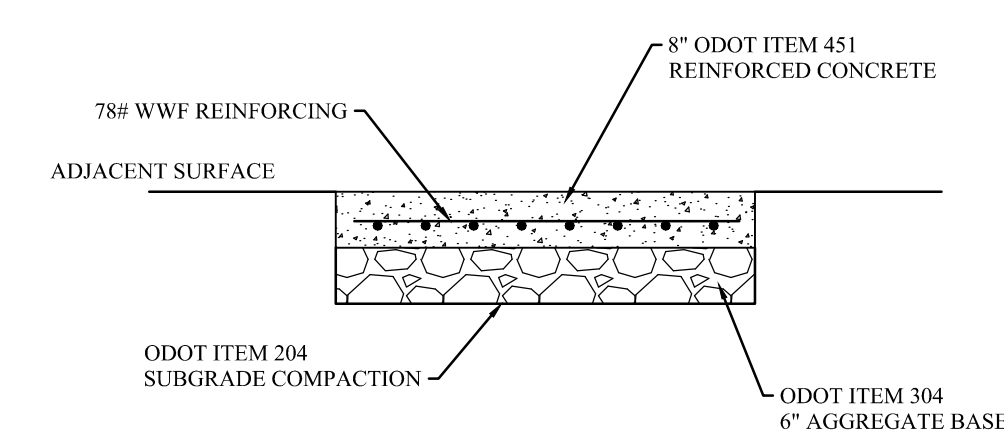
STONE BERM DETAIL
 REFERENCE ONLY NOT TO SCALE



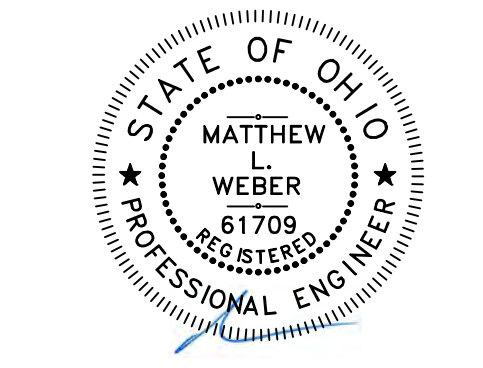
VAN ACCESSIBLE PARKING SPACE SIGN
 NOT TO SCALE

CAR ACCESSIBLE PARKING SPACE SIGN
 NOT TO SCALE

HANDICAPPED PARKING DETAIL
 REFERENCE ONLY NOT TO SCALE



CONCRETE DRIVE APRON DETAIL
 REFERENCE ONLY NOT TO SCALE



Reg. No.: 61709

CLIENT:
RDL ARCHITECTS
 21111 CHAGRIN BLVD., #110
 BEACHWOOD, OHIO 44122
 216.752.4300

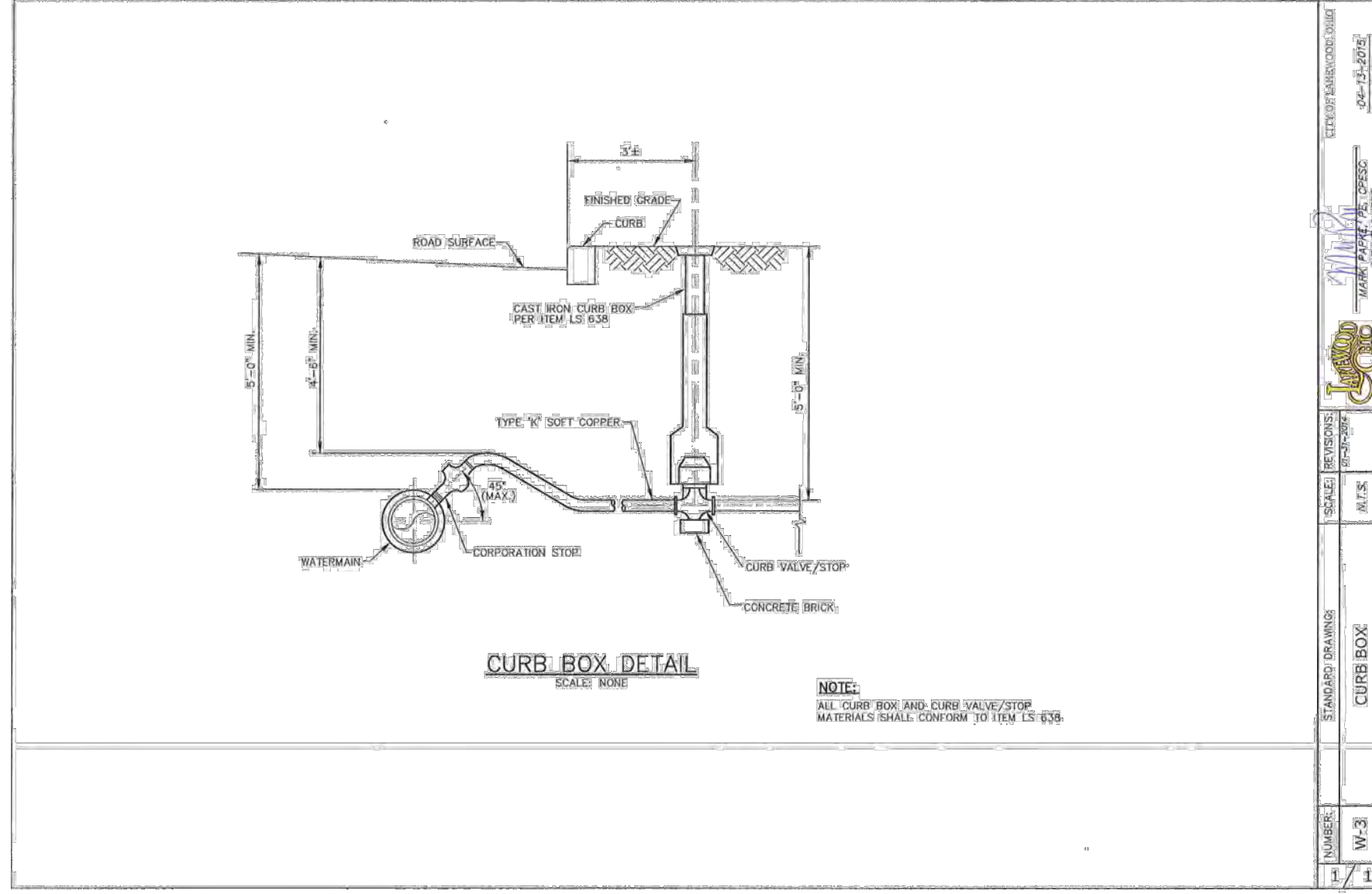
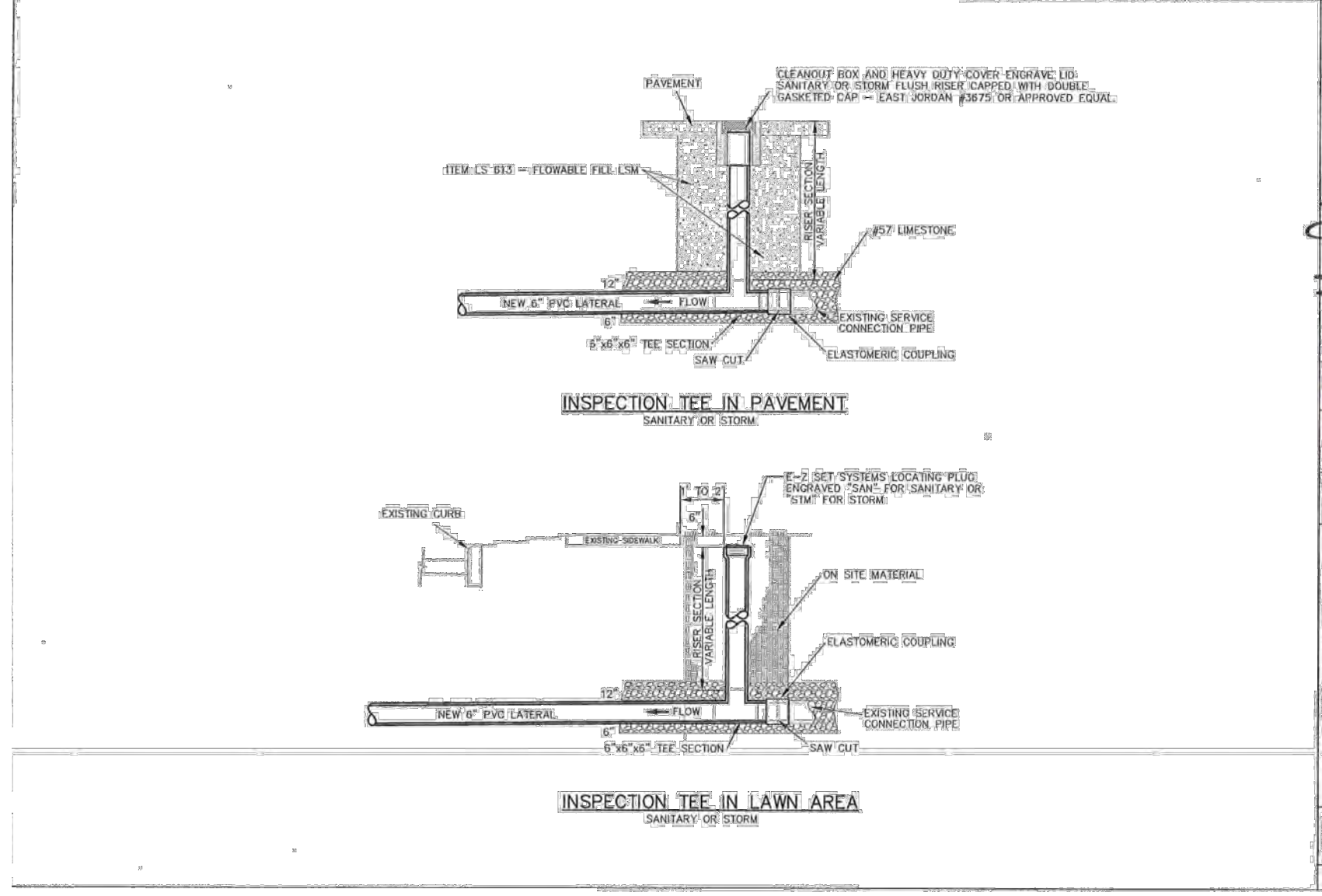
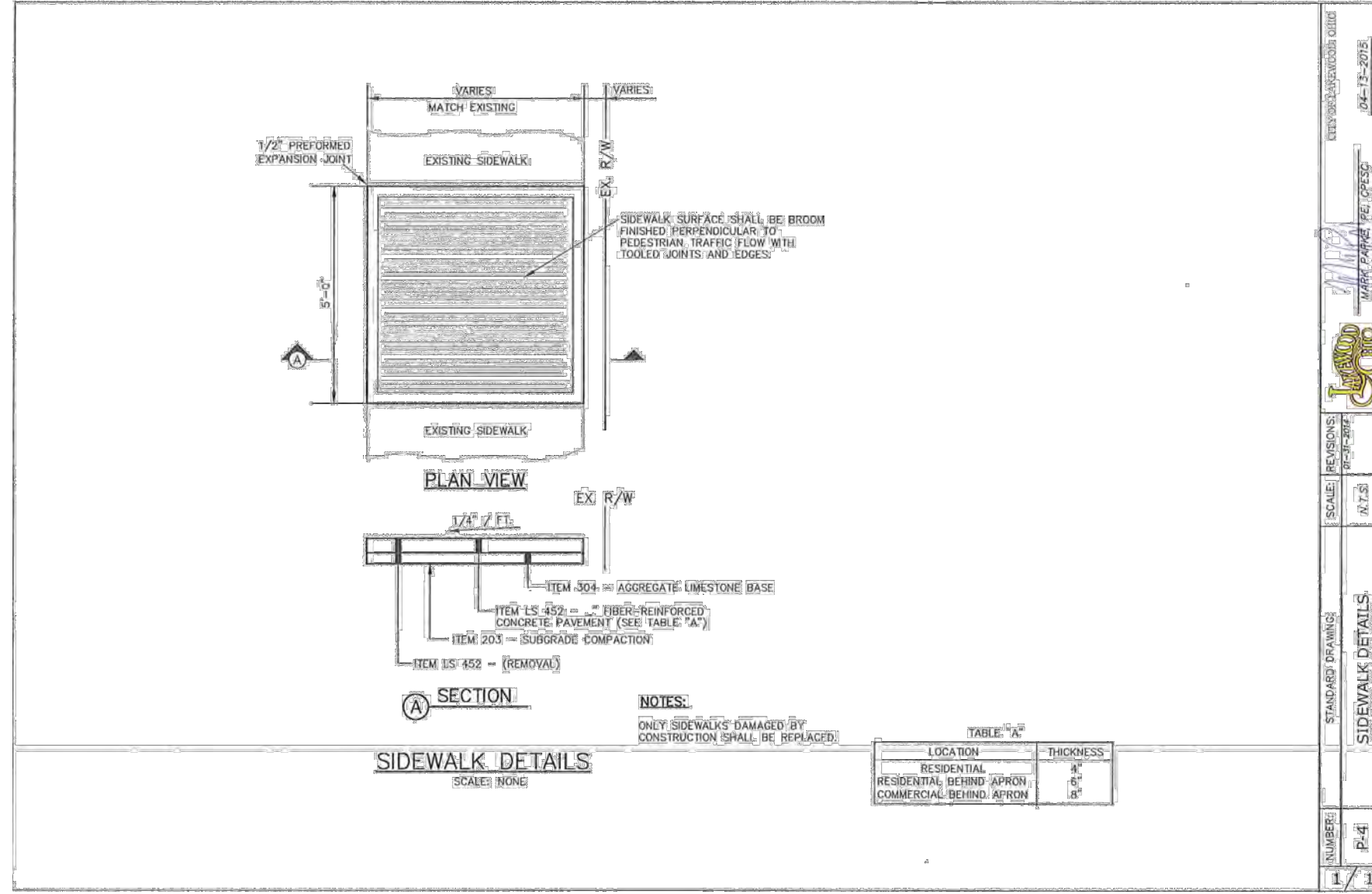
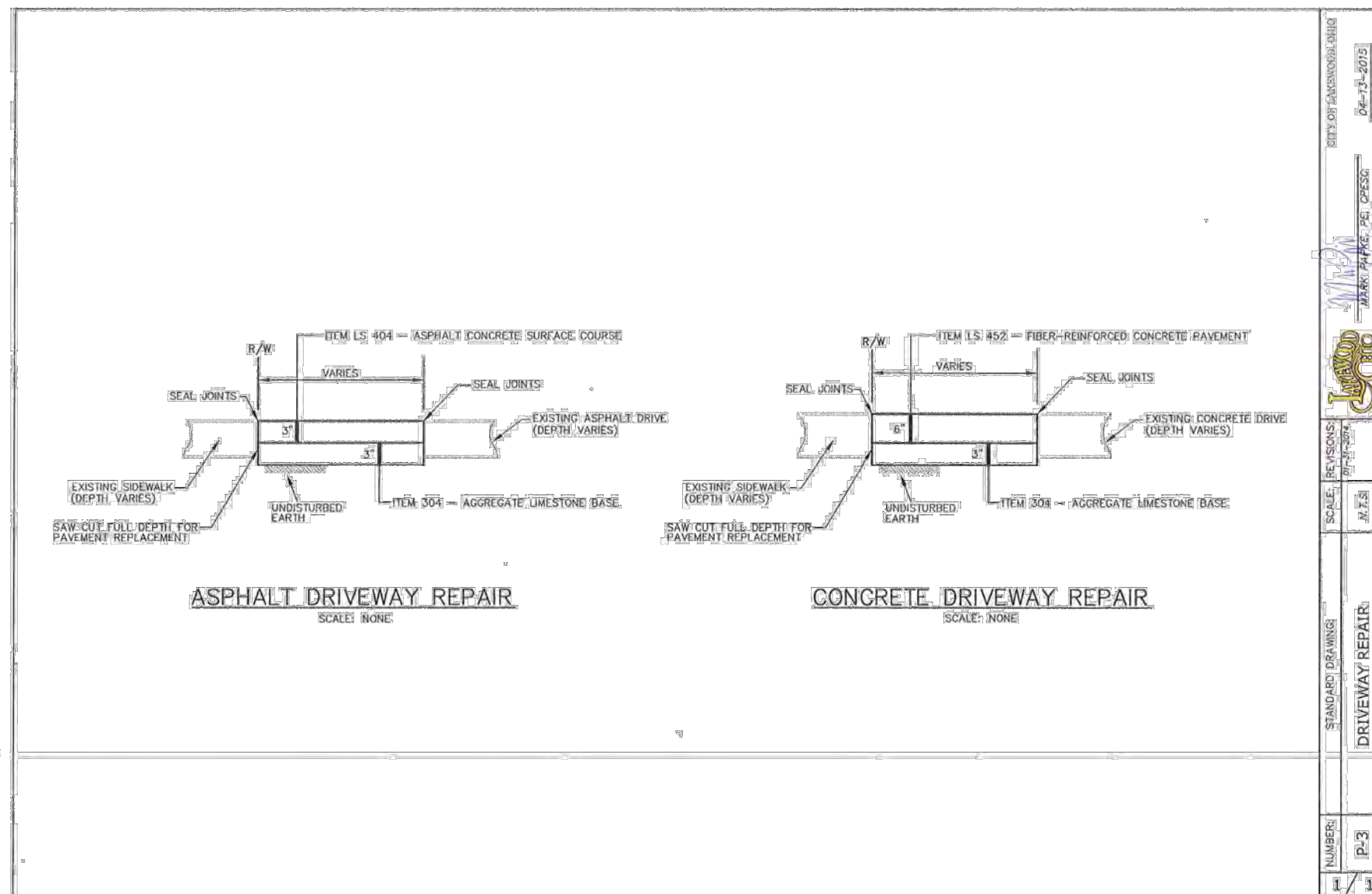
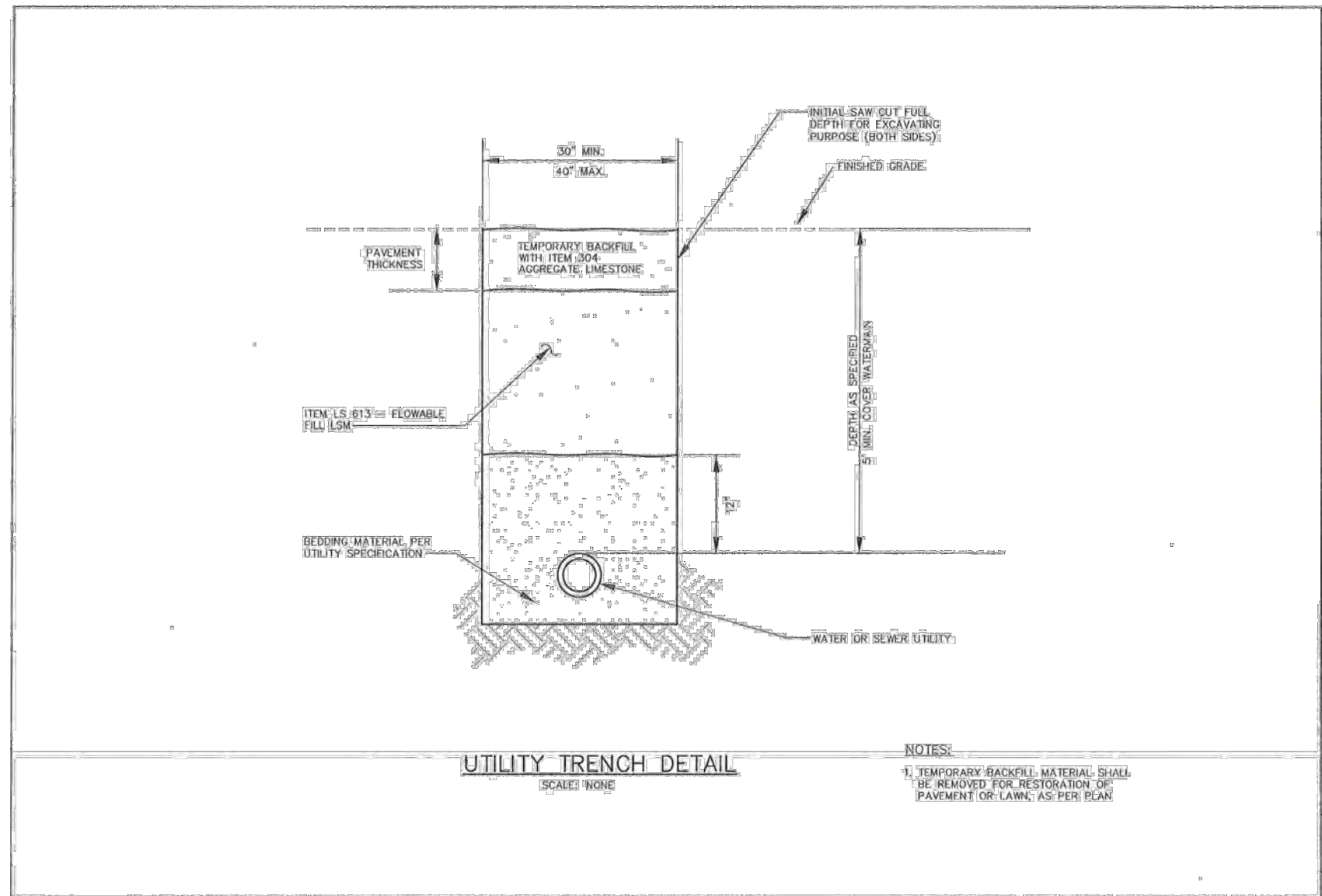
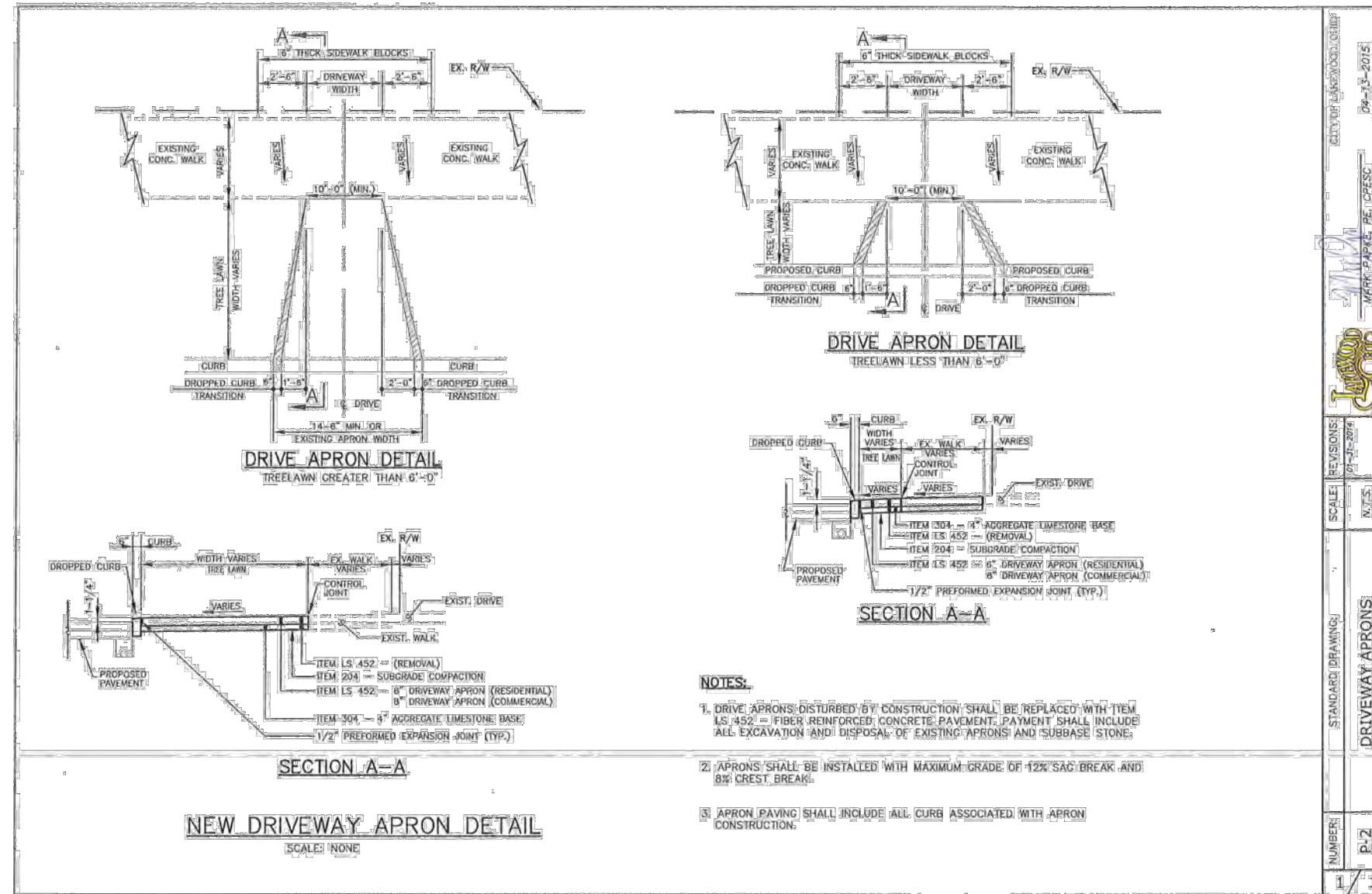
OWNER:
VL FREELAND LLC
 P.O. BOX 30339
 MIDDLEBURGH HEIGHTS, OH
 44130

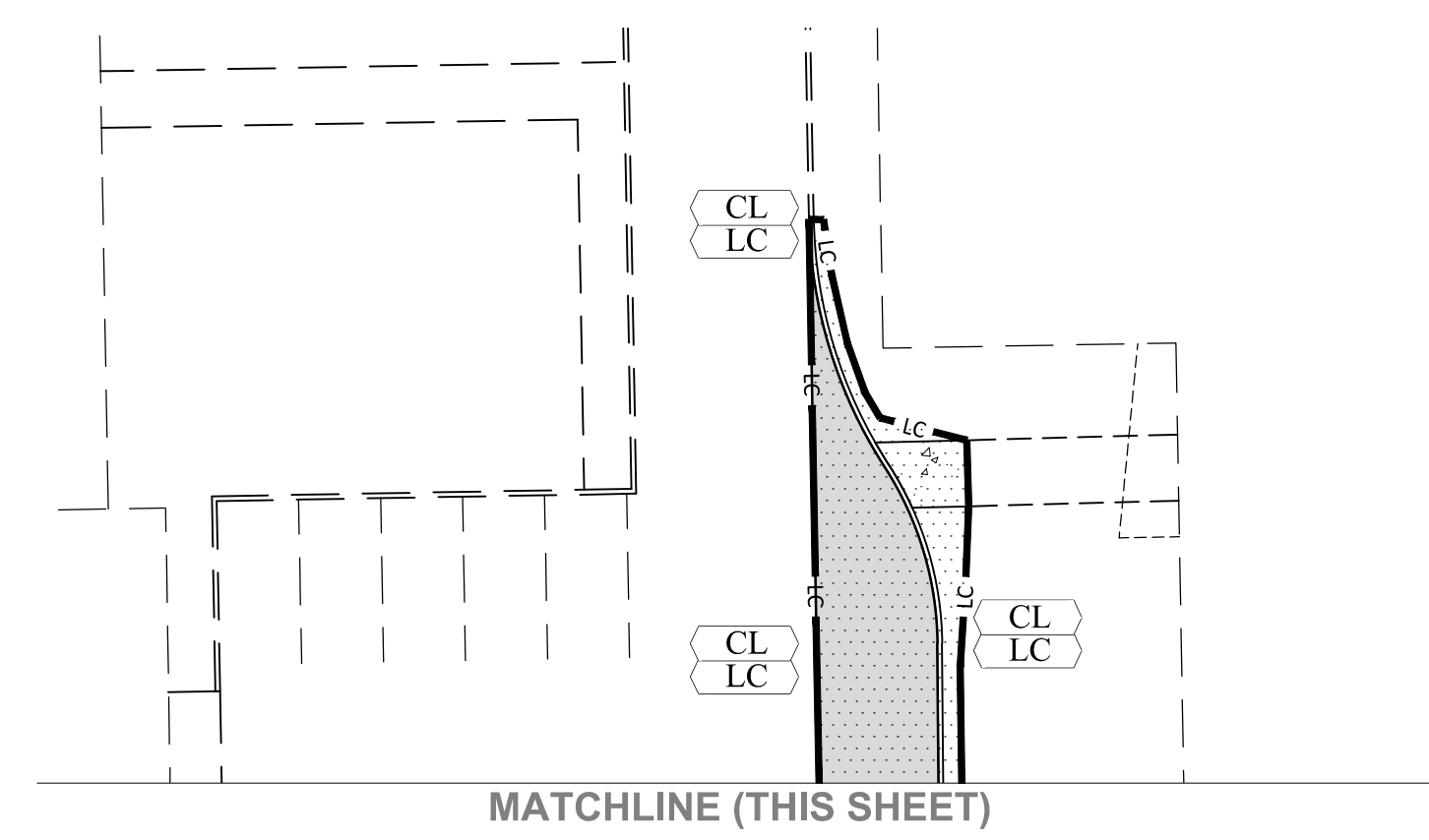
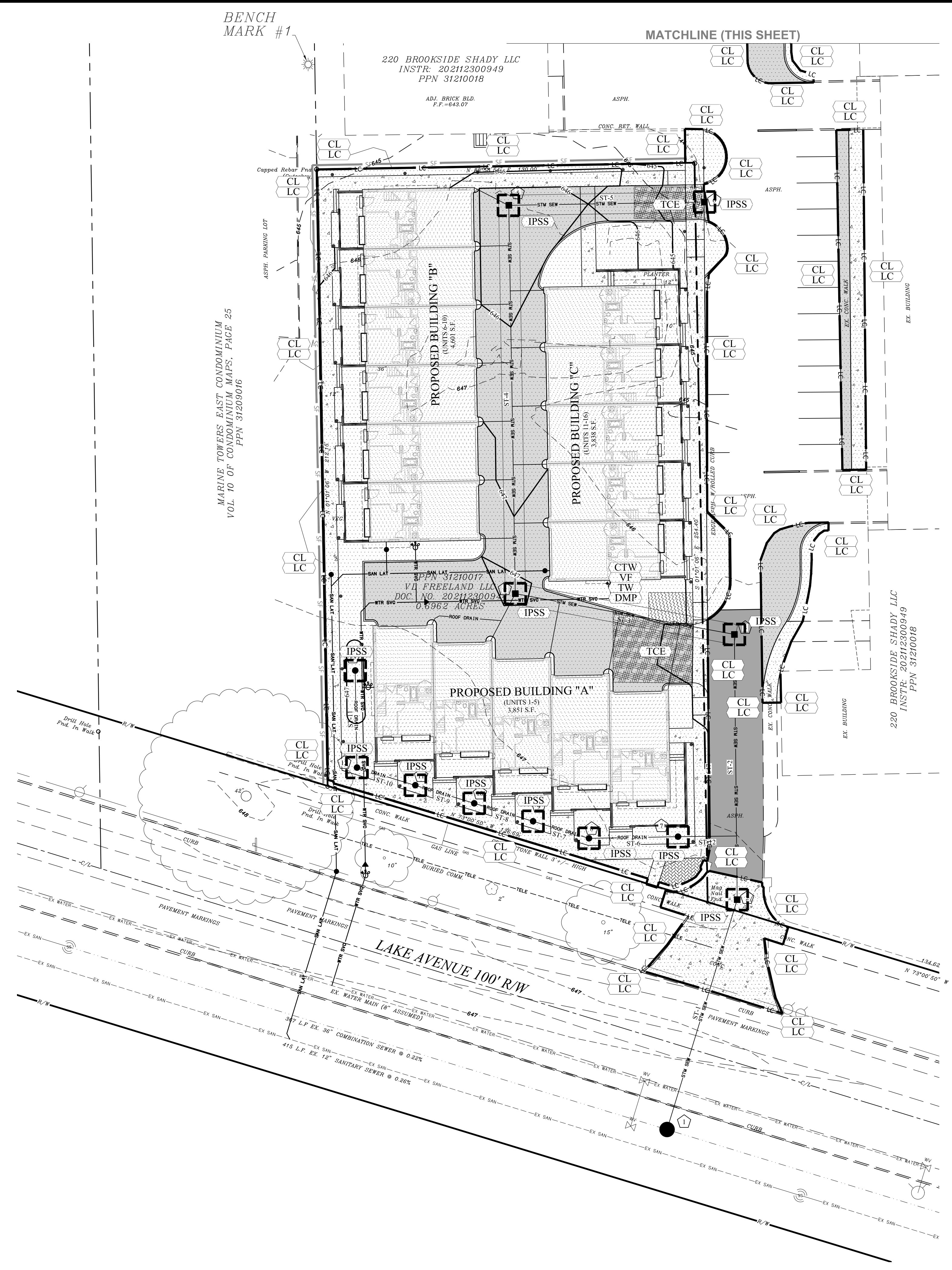
**SHADY COVE TOWNHOMES
 NEW CONSTRUCTION**
 12534 LAKE AVE, LAKEWOOD, OH

Issue Date
 02-17-2024
 02-26-2024
 03-04-2024
 03-05-2024

**SITE
 DETAILS**

C105A
 Project No. 2023-252





SITE BENCH MARK
 BENCH MARK #1
 DESCRIPTION
 MAG NAIL SET 1' UP ON SOUTH SIDE OF LIGHT POLE
 LOCATED NORTH OF THE NW. PROPERTY CORNER.
 ELEVATION = 644.53

FLOOD ZONE

FLOOD ZONE "X" PER FLOOD INSURANCE
 RATE MAP NUMBER 39035C 0157 F
 COMMUNITY PANEL NUMBER 39035 0157 F
 EFFECTIVE DATE SEPTEMBER 15, 2019

ABBREVIATED SWP3 AMENDMENT ACTIVITIES

GRADING	DATE
SITE STABILIZATION	DATE
ABBREVIATED SWP3 AMENDMENT	DATE

ABBREVIATED SWP3 RESPONSIBLE PARTY

AUGERE CONSTRUCTION
 JIM STEWART
 115 EXECUTIVE PARKWAY, SUITE 200,
 HUDSON, OHIO 44236
 office@augereconstruction.com
 TEL: 330.342.4287

ESTIMATED CONSTRUCTION DATES

START DATE	06-01-2024
END DATE	06-01-2025

ABBREVIATED SWP3 PREPARED

02-17-2024

ALL OFF-SITE BORROW OR SPOIL AREAS SHALL
 BE REQUIRED TO BE PERMITTED BY A SEPARATE NOI AND
 RELATED SWP3.

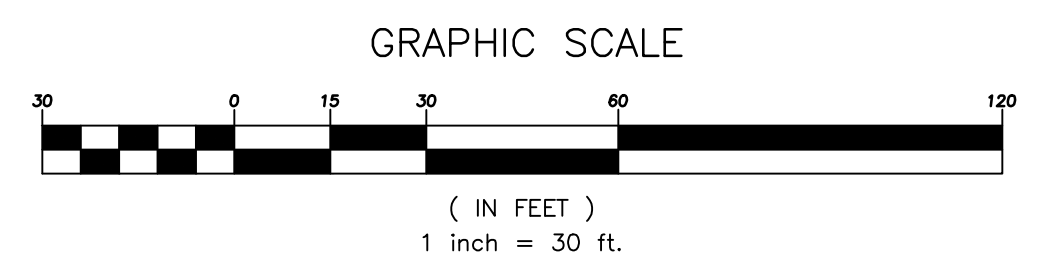
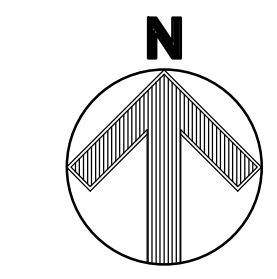
TAG	HATCH/SYMBOL	SWP3 BMP
CL LC		CLEARING LIMITS, LIMITS OF CONSTRUCTION
TCE		TEMPORARY CONSTRUCTION ENTRANCE
CTW VF TW DMP		CEMENT TRUCK WASHOUT, VEHICLE FUELING, TOXIC WASTE AND DUMPSTER LOCATION
IP		INLET PROTECTION (SEE DETAIL ON SHT. C110)
IPSS		INLET SILT SACK PROTECTION (SEE DETAIL ON SHT. C110)

TAG	LINE	SWP3 BMP
SF		SILT FENCE
CFS		12" COMPOST FILTER SOCK MAY BE SUBSTITUTED FOR SILT FENCE AT CONTRACTORS DISCRETION

INSPECTION CHECKLIST

INSPECTIONS SHALL BE MADE ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN ONE-HALF INCH OF RAIN PER 24 HOUR PERIOD

DATE	INSPECTOR	WEATHER CONDITIONS	RAINFALL AMOUNT	SEDIMENT DISCHARGE	DISCHARGE LOCATION	BMPs FAILED	ADDITIONAL BMPs NEEDED	CORRECTION MADE



WEBER ENGINEERING SERVICES
 Where Strong Relationships & Superior Service Guide Your Project

2555 Hartville Rd., Suite B
 Rootstown, OH 44273
 www.WeberEngineeringServices.com
 330-329-2037
 matt@webercivil.com

STATE OF OHIO
 REGISTERED PROFESSIONAL ENGINEER
 MATTHEW WEBER
 61709

Reg. No.: 61709

CLIENT:
RDL ARCHITECTS
 21111 CHAGRIN BLVD., #110
 BEACHWOOD, OHIO 44122
 216.752.4300

OWNER:
VL FREELAND LLC
 P.O. BOX 30339
 MIDDLEBURGH HEIGHTS, OH
 44130

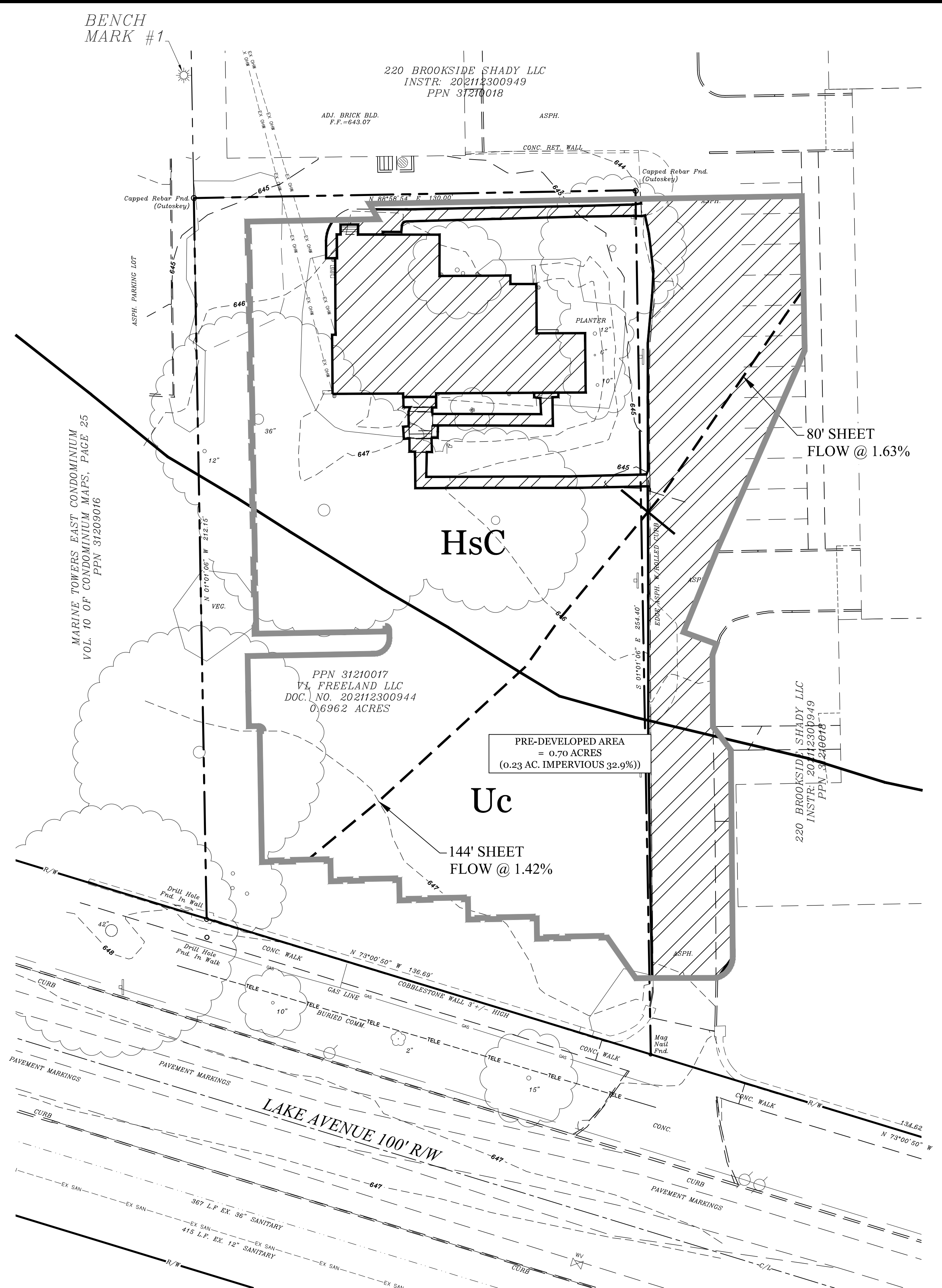
Issue Date
 02-17-2024
 02-26-2024
 03-04-2024
 03-05-2024

**SHADY COVE TOWNHOMES
 NEW CONSTRUCTION**
 12534 LAKE AVE, LAKEWOOD, OH

ABBREVIATED SWP3

C106
 Project No. 2023-252

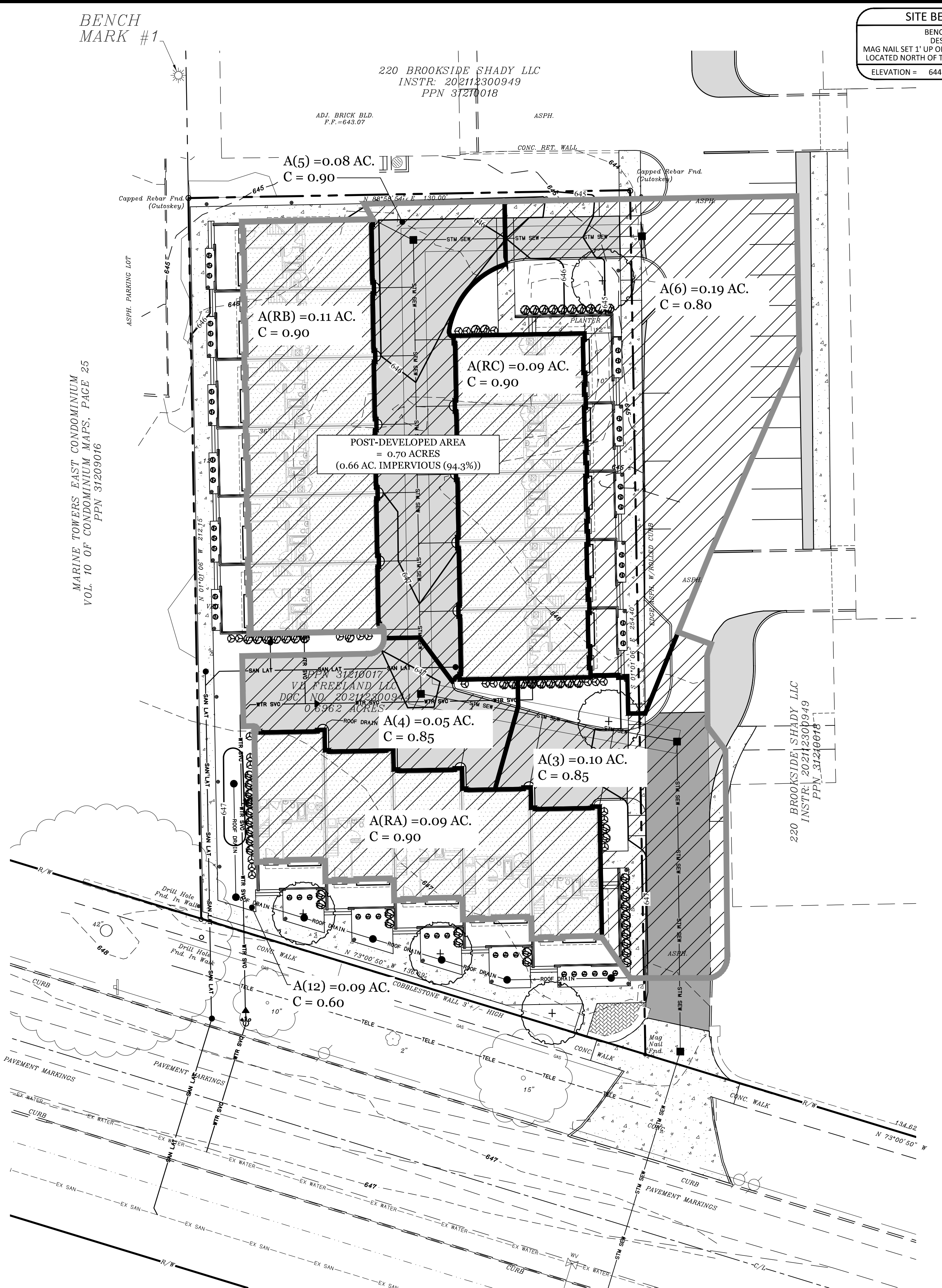
D:\Revised - WORK\Civil ID Projects\2024\2023-252 Shady Cove Townhomes\Draw\2024\2023-252_Sht01.DWG 3/5/2024 10:48:23 PM



PRE-DEVELOPED DRAINAGE MAP & SOILS MAP

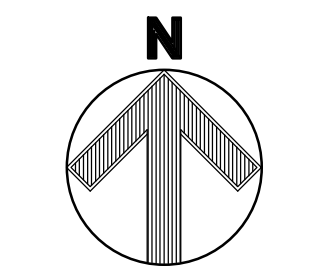
PRE-DEVELOPED: AREA = 0.70 AC., CN = 86, TC = 18.7 MIN.

- HsC - Hornell-Urban land complex, rolling
- Uc - Urban land- Allis complex

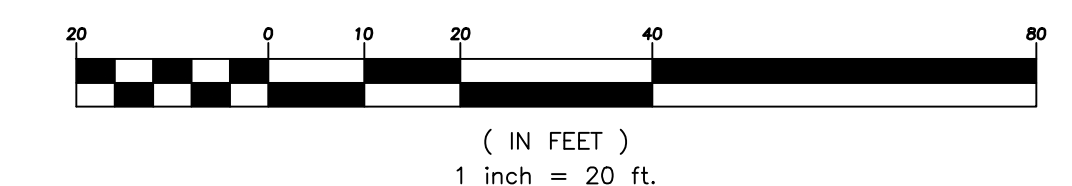


STORM DRAINAGE MAP & POST DEVELOPED DRAINAGE

POST-DEVELOPED: AREA = 0.70 AC., CN = 97, TC = 12.0 MIN.



GRAPHIC SCALE



SITE BENCH MARK
BENCH MARK #1
DESCRIPTION
MAG NAIL SET 1' UP ON SOUTH SIDE OF LIGHT POLE
LOCATED NORTH OF THE NW. PROPERTY CORNER.
ELEVATION = 644.53

WEBER ENGINEERING SERVICES
Where Strong Relationships & Superior Service Guide Your Project

2555 Hartville Rd., Suite B
Roostown, OH 44272
www.WeberEngineeringServices.com
330-329-2037
matt@webercivil.com

STATE OF OHIO
MATTHEW WEBER
61709 REGISTERED PROFESSIONAL ENGINEER

Reg. No.: 61709

CLIENT:
RDL ARCHITECTS
21111 CHAGRIN BLVD., #110
BEACHWOOD, OHIO 44122
216.752.4300

OWNER:
VL FREELAND LLC
P.O. BOX 30339
MIDDLEBURG HEIGHTS, OH
44130

SHADY COVE TOWNHOMES
NEW CONSTRUCTION
12534 LAKE AVE, LAKEWOOD, OH

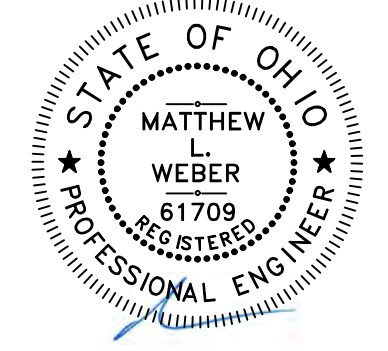
Issue Date
02-17-2024
02-26-2024
03-04-2024
03-05-2024

ABBREVIATED
SWP3
DETAILS

C107
Project No. 2023-252



2555 Hartville Rd., Suite B
 Rootstown, OH 44272
 www.WeberEngineeringServices.com
 330-329-2037
 matt@webercivil.com



Reg. No.: 61709

CLIENT:

RDL
 ARCHITECTS

21111 CHAGRIN BLVD., #110
 BEACHWOOD, OHIO 44122
 216.752.4300

OWNER:

VL FREELAND LLC

P.O. BOX 30339
 MIDDLEBURG HEIGHTS, OH
 44130

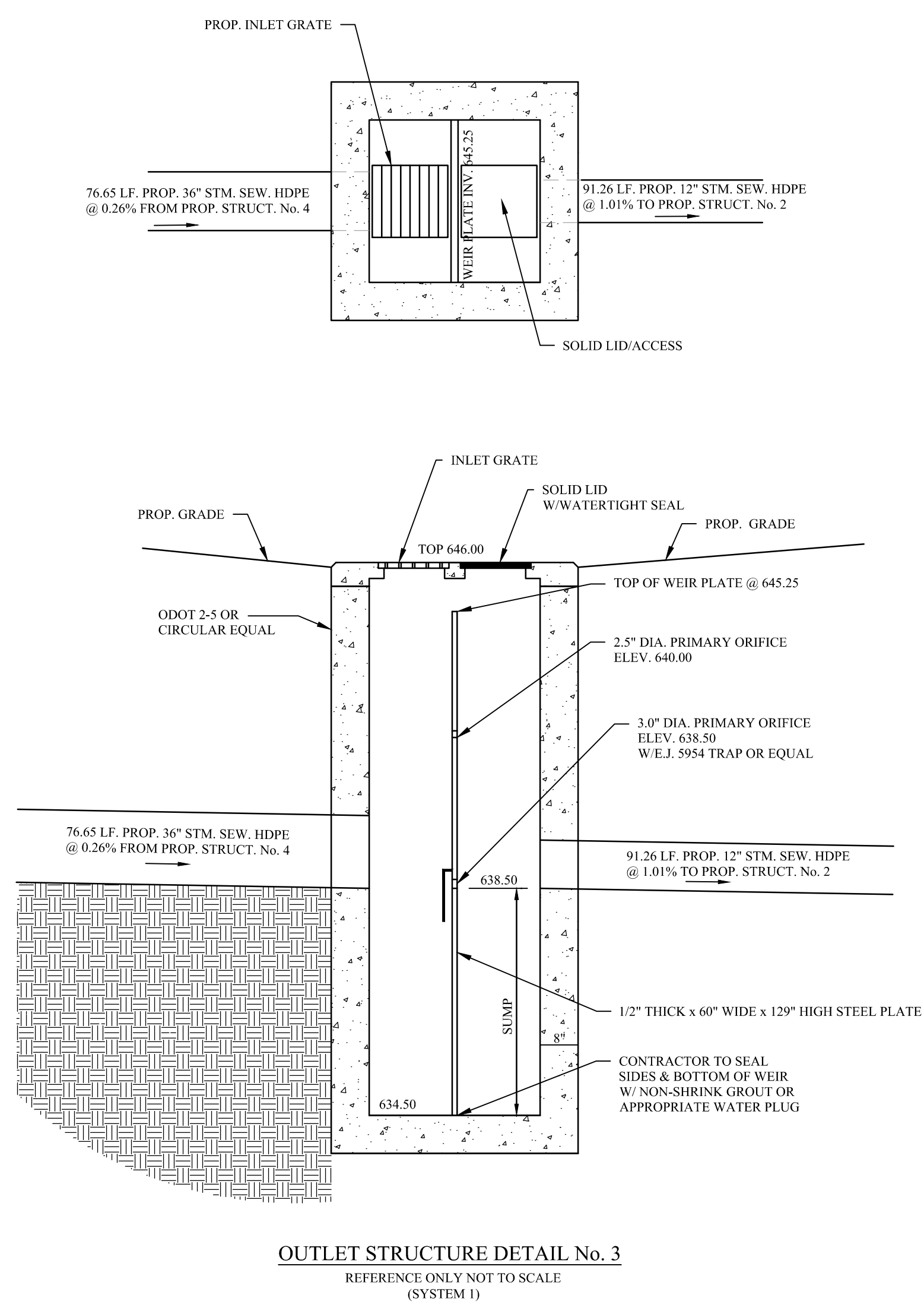
Issue Date

- 02-17-2024
- 02-26-2024
- 03-04-2024
- 03-05-2024

SHADY COVE TOWNHOMES
 NEW CONSTRUCTION
 12534 LAKE AVE, LAKEWOOD, OH

ABBREVIATED
 SWP3
 DETAILS

C108
 Project No. 2023-252



- Construction personnel, including subcontractors who may use or handle hazardous or toxic materials, shall be made aware of the following general guidelines regarding disposal and handling of hazardous and construction wastes:
 - Prevent spills
 - Use products up
 - Follow label directions for disposal
 - Remove lids from empty bottles and cans when disposing in trash
 - Recycle wastes whenever possible
 - Don't pour into waterways, storm drains or onto the ground
 - Don't pour down the sink, floor drain or septic tanks
 - Don't bury chemicals or containers
 - Don't burn chemicals or containers
 - Don't mix chemicals together
- Containers shall be provided for the proper collection of all waste material including construction debris, trash, petroleum products and any hazardous materials used on-site. Containers shall be covered and not leaking. All waste material shall be disposed of at facilities approved for that material. Construction Demolition and Debris (CDD&D) waste must be disposed of at an Ohio EPA approved CD&D landfill.
- No construction related waste materials are to be buried on-site. By exception, clean fill (bricks, hardened concrete, soil) may be utilized in a way which does not encroach upon natural wetlands, streams or floodplains or result in the contamination of waters of the state.
- Handling Construction Chemicals. Mixing, pumping, transferring or other handling of construction chemicals such as fertilizer, lime, asphalt, concrete drying compounds, and all other potentially hazardous materials shall be performed in an area away from any watercourse, ditch or storm drain.
- Equipment Fueling and Maintenance, oil changing, etc. shall be performed away from watercourses, ditches or storm drains, in an area designated for that purpose. The designated area shall be equipped for recycling oil and catching spills. Secondary containment shall be provided for all fuel oil storage tanks. These areas must be inspected every seven days and within 24 hrs. of a 0.5 inch or greater rain event to ensure there are no exposed materials which would contaminate storm water. Site operators must be aware that Spill Prevention Control and Countermeasures (SPCC) requirements may apply. An SPCC plan is required for sites with one single above ground tank of 660 gallons or more, accumulative above ground storage of 1330 gallons or more, or 42,000 gallons of underground storage. Contaminated soils must be disposed of in accordance with Item 8.
- Concrete Wash Water shall not be allowed to flow to streams, ditches, storm drains, or any other water conveyance. A sump or pit with no potential for discharge shall be constructed if needed to contain concrete wash water. Field tile or other subsurface drainage structures within 10 ft. of the sump shall be cut and plugged.
- Spill Reporting Requirements: Spills on pavement shall be absorbed with sawdust or kity litter and disposed of with the trash at a licensed sanitary landfill. Hazardous or industrial wastes such as most solvents, gasoline, oil-based paints, and cement curing compounds require special handling. Spills shall be reported to Ohio EPA (1-800-282-9378). Spills of 25 gallons or more of petroleum products shall be reported to Ohio EPA, the local fire department, and the Local Emergency Planning Committee within 30 min. of the discovery of the release. All spills which contact waters of the state must be reported to Ohio EPA.
- Contaminated Soils. If substances such as oil, diesel fuel, hydraulic fluid, antifreeze, etc. are spilled, leaked, or released onto the soil, the soil should be dug up and disposed of at licensed sanitary landfill or other approved petroleum contaminated soil remediation facility. (not a construction/demolition debris landfill). Note that storm water runoff associated with contaminated soils are not authorized under Ohio EPA's General Storm Water Permit associated with Construction Activities.
- Open Burning. No materials containing rubber, grease, asphalt, or petroleum products, such as tires, autparts, plastics or plastic coated wire may be burned (OAC 3745-19). Open burning is not allowed in restricted areas, which are defined as: 1) within corporation limits; 2) within 1000 feet outside a municipal corporation having a population of 1000 to 10,000; and 3) a one mile zone outside of a corporation of 10, 000 or more. Outside of restricted areas, no open burning is allowed within a 1000 feet of an inhabited building on another property. Open burning is permissible in a restricted area for: heating tar, welding, smudge pots and similar occupational needs, and heating for warmth or outdoor barbecues. Outside of restricted areas, open burning is permissible for landscape or land-clearing wastes (plant material, with prior written permission from Ohio EPA), and agricultural wastes, excluding buildings.
- Dust Control or dust suppressants shall be used to prevent nuisance conditions, in accordance with the manufacturer's specifications and in a manner, which prevent a discharge to waters of the state. Sufficient distance must be provided between applications and nearby bridges, catch basins, and other waterways. Application (excluding water) may not occur when rain is imminent as noted in the short term forecast. Used oil may not be applied for dust control.
- Other Air Permitting Requirements: Certain activities associated with construction will require air permits including but not limited to: mobile concrete batch plants, mobile asphalt plants, concrete crushers, large generators, etc. These activities will require specific Ohio EPA Air Permits for installation and operation. Operators must seek authorization from the corresponding district of Ohio EPA. For demolition of all commercial sites, a Notification for Restoration and Demolition must be submitted to Ohio EPA to determine if asbestos corrective actions are required.
- Process Waste Water/Leachate Management. Ohio EPA's Construction General Permit only allows the discharge of storm water and does not include other waste streams/discharges such as vehicle and/or equipment washing, on-site septic leachate concrete wash outs, which are considered process wastewaters. All process wastewaters must be collected and properly disposed at an approved disposal facility. In the event, leachate or septage is discharged; it must be isolated for collection and proper disposal and corrective actions taken to eliminate the source of waste water.
- A Permit to Install (PTI) is required prior to the construction of all centralized sanitary systems, including sewer extensions, and sewerage systems (except those serving one, two, and three family dwellings) and potable water lines. Plans must be submitted and approved by Ohio EPA. Issuance of an Ohio EPA Construction General Storm Water Permit does not authorize the installation of any sewerage system where Ohio EPA has not approved a PTI.

CONSTRUCTION SEQUENCE

(ALL ITEMS ARE TO BE THE RESPONSIBILITY OF THE GENERAL SITE CONTRACTOR)

SITE PREPARATION

NOTE:

PROVIDE SAFE AND SECURE PEDESTRIAN AND VEHICULAR TRAFFIC CIRCULATION THROUGHOUT THE ENTIRETY OF THE CONSTRUCTION SEQUENCE WITH WELL DEFINED CONSTRUCTION BOUNDARIES TO BE ACCESSED BY CONSTRUCTION PERSONNEL ONLY. ALL EROSION CONTROLS ARE TO BE THOROUGHLY INSPECTED BY THE CONTRACTOR UPON THE COMPLETION OF EACH WORK DAY AND MAINTAINED THROUGHOUT THE REQUIRED LIFE OF THE CONTROL, AS SPECIFIED BY THE APPROVED EROSION AND SEDIMENTATION CONTROL PLANS AND NARRATIVE. THE CONTRACTOR MUST REVIEW THE APPROVED EROSION AND SEDIMENTATION CONTROL PLANS AND NARRATIVE. THE CONTRACTOR MUST REVIEW THE APPROVED NPDES PERMIT AND SIGN THE PERMIT TO ACCEPT RESPONSIBILITIES AS THE CO-PERMITTEE.

INITIAL PHASE (WITHIN 7 DAYS OF START OF GRUBBING)

- INSTALL A TEMPORARY CONSTRUCTION ENTRANCE FOR ACCESS TO CONSTRUCTION AREAS OF SITE.
- SETUP CONSTRUCTION TRAILER ON SITE AND ESTABLISH TEMPORARY POWER AND TELEPHONE SERVICE AS NECESSARY.
- ALL TEMPORARY UTILITY SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- STAKEOUT LIMITS OF DISTURBANCE.
- INSTALL TEMPORARY INLET PROTECTION ON ALL EXISTING CATCH BASINS WITHIN LIMITS OF CONSTRUCTION. REMOVE SILT PROTECTION FROM DESIGNATED INLETS ONLY WHEN INLET STRUCTURE IS TO BE REMOVED AS REQUIRED BY PROGRESSION OF CONSTRUCTION. REFER TO PLANS FOR IDENTIFICATION OF INLET STRUCTURES TO BE REMOVED.
- INSTALL ALL FILTER FABRIC FENCE WHERE SHOWN ON PLANS.
- BEGIN SITE CLEARING.
- REMOVE TOPSOIL FROM AREAS OF BUILDING AND PAVEMENT.
- BEGIN EARTHWORK OPERATIONS.
- CONSTRUCT STORM WATER BASIN.
- IN THE EVENT OF RAIN, ALLOW STANDING WATER TO SETTLE PRIOR TO PUMPING. UTILIZE THE PUMPING SYSTEMS TO PUMP POLLUTED WATER PER E.P.A. REQUIREMENTS. ALLOW ONLY CLEAN WATER TO BE DISCHARGED TO THE EXISTING DRAINAGE SYSTEM. REMOVE SILT FROM BASINS AS NECESSARY PRIOR TO CONTINUING EARTHWORK. MATERIAL SHOULD BE MECHANICALLY SPREAD AND DRIED PRIOR TO INCORPORATION INTO THE EARTHWORK PROCEDURES. ADEQUACY OF THE DRIED MATERIAL IS TO BE DETERMINED BY A GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE AND ENSURE THAT PROPER MECHANISMS ARE IN PLACE TO CONTROL WASTE MATERIALS. CONSTRUCTION WASTES INCLUDES, BUT ARE NOT LIMITED TO, EXCESS SOIL MATERIALS, BUILDING MATERIALS, CONCRETE WASH WATER, SANITARY WASTES, ETC., THAT COULD ADVERSELY IMPACT WATER QUALITY. MEASURES SHALL BE PLANNED AND IMPLEMENTED FOR HOUSEKEEPING, MATERIALS MANAGEMENT, AND LITTER CONTROL. WHEREVER POSSIBLE, RECYCLING OF EXCESS MATERIALS IS PREFERRED, RATHER THAN DISPOSAL.

INTERIM PHASE GENERAL CONSTRUCTION

- MAINTAIN TEMPORARY CONTROLS UNTIL REMOVAL IS WARRANTED DUE TO PROGRESSION OF WORK.
- BEGIN EARTHMOVING OPERATIONS. CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE COUNTY CONSERVATION DISTRICT OF LOCATION AND EROSION AND SEDIMENTATION CONTROL MEASURES IMPLEMENTED AT BORROW OR SOIL SITE OF IMPORT/EXPORT MATERIAL. THE CONTRACTOR IS TO COORDINATE WITH OWNER THE PLACEMENT OF SUCH MEASURES.
- STORM SEWER, SANITARY SEWER, WATER LINE AND UTILITY LINE CONSTRUCTION MAY BEGIN IMMEDIATELY FOLLOWING ESTABLISHMENT OF GRADE AND WITH THE PERMISSION OF THE OWNER.
- STABILIZE ALL UTILITY TRENCHES AT THE END OF EACH WORKDAY BY MEANS OF GRAVEL BACKFILL TO SURFACE, REPAVING OR MULCHING.
- REPLACE TOPSOIL, FINE GRADE AND SEED AS REQUIRED.
- STABILIZE ALL DISTURBED AREAS WITH PERMANENT SEED AND MULCHING OR CROWNVEITCH SEEDING IMMEDIATELY UPON REACHING FINAL GRADE.
- INSTALL PAVEMENT SUBBASE.
- BEGIN BITUMINOUS PAVING, REMOVING TEMPORARY CONSTRUCTION ENTRANCE ONLY WHEN NECESSARY.
- RESEED AND REDRESS ANY AREAS THAT MAY REQUIRE ATTENTION IMMEDIATELY. NOTE THAT LAWN AREAS WILL NOT BE DEEMED STABLE UNTIL A UNIFORM 80% COVERAGE IS ACHIEVED.
- ALL EROSION MEASURES SHALL REMAIN IN PLACE UNTIL THE SITE IS STABILIZED. ALL AREAS OF VEGETATIVE SURFACE STABILIZATION, WHETHER TEMPORARY OR PERMANENT, SHALL BE CONSIDERED TO BE IN PLACE AND FUNCTIONAL WHEN THE REQUIRED UNIFORM RATE OF COVERAGE (80%) IS OBTAINED.

FINAL PHASE POST-PAVING BASIN CONVERSION

- IF, FOR ANY REASON, THE PROJECT IS SUSPENDED, THE CONTRACTOR SHALL INSURE THAT ALL INSTALLED EROSION MEASURES ARE FUNCTIONING AND PROPERLY MAINTAINED DURING THIS PERIOD, AND THAT ALL BARED SOILS ARE SEEDED AND MULCHED WITH TEMPORARY SEED MIXTURE.
 - REMOVE SEDIMENT CONTROL DEVICES AND ESTABLISH WATER QUALITY CONTROL ORIFICE.
 - REMOVE TEMPORARY CONSTRUCTION ENTRANCE PRIOR TO COMPLETION OF PAVING.
 - SITE CLEAN UP.
 - RESEED ANY AREAS THAT REQUIRE ADDITIONAL SEED
 - FILTER FENCES ARE TO BE CLEANED, REMOVED, BACKFILLED AND SEEDED WITH PERMANENT SEEDING.
 - VERIFY POSITIVE CONVEYANCE FLOW IN ALL DRAINAGE STRUCTURES.

SPECIFICATIONS FOR TEMPORARY SEEDING

TEMPORARY SEEDING SPECIES SELECTION			
SEEDING DATES	SPECIES	LB/100 FT ²	LB/ACRE
MARCH 1 TO AUGUST 15	OATS	3	128 (4 BUSHEL)
	TALL FESCUE	1	40
	ANNUAL RYEGRASS	1	40
	PERENNIAL RYEGRASS	1	40
	TALL FESCUE	1	40
AUGUST 16TH TO NOVEMBER	RYE	3	112 (3 BUSHEL)
	TALL FESCUE	1	40
	ANNUAL RYEGRASS	1	40
	WHEAT	3	120 (BUSHEL)
	TALL FESCUE	1	40
NOVEMBER 1 TO FEB. 29	USE MULCH ONLY FOR DORMANT SEEDING		

NOTE: OTHER APPROVED SPECIES MAY BE SUBSTITUTED

- STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS AND SEDIMENT TRAPS SHALL BE INSTALLED AND STABILIZED WITH TEMPORARY SEEDING PRIOR TO GRADING THE REST OF THE CONSTRUCTION-SITE.
- TEMPORARY SEED SHALL BE APPLIED BETWEEN CONSTRUCTION OPERATIONS ON SOIL THAT WILL NOT BE GRADED OR REWORKED FOR 14 DAYS OR MORE. THESE IDLE AREAS SHOULD BE SEEDED AS SOON AS POSSIBLE AFTER GRADING OR SHALL BE SEEDED WITHIN 7 DAYS SEVERAL APPLICATIONS OF TEMPORARY SEEDING ARE NECESSARY ON TYPICAL CONSTRUCTION PROJECTS.
- THE SEEDED SHALL BE MULCHERIZED AND LOOSE TO ENSURE THE SUCCESS OF ESTABLISHING VEGETATION. HOWEVER, TEMPORARY SEEDING SHALL NOT BE POSTPONED IF IDEAL SEEDING PREPARATION IS NOT POSSIBLE.
- SOIL AMENDMENTS--APPLICATIONS OF TEMPORARY VEGETATION SHALL ESTABLISHED ADEQUATE STANDS OF VEGETATION WHICH MAY REQUIRE THE USE OF SOIL AMENDMENTS. SOIL TESTS SHOULD BE TAKEN ON THE SITE TO PREDETERMINE THE NEED FOR LIME AND FERTILIZER.
- SEEDING METHOD--SEED SHALL BE APPLIED UNIFORMLY WITH A CYCLONE SEEDER, DRILL, CULTIPACKER SEEDER, OR HYDROSEEDER. WHEN FEASIBLE, SEED THAT HAS BEEN BROADCAST SHALL BE COVERED BY RAKING OR DRAGGING AND THEN LIGHTLY TAMPED TO PLACE USING A ROLLER OR CULTIPACKER. IF HYDROSEEDING IS USED, THE SEED AND FERTILIZER WILL BE MIXED ON-SITE AND THE SEEDING SHALL BE DONE IMMEDIATELY AND WITHOUT INTERRUPTION.

MULCHING TEMPORARY SEEDING

- APPLICATIONS OF TEMPORARY SEEDING SHALL INCLUDE MULCH WHICH SHALL BE APPLIED DURING OR IMMEDIATELY AFTER SEEDING. SEEDINGS MADE DURING OPTIMUM SEEDING DATES AND WITH FAVORABLE SOIL CONDITIONS AND ON VERY FLAT SOIL CONDITIONS MAY NOT NEED MULCH TO ACHIEVE ADEQUATE STABILIZATION.
- MATERIALS: STRAW--IF STRAW IS USED, IT SHALL BE UNROTTED SMALL-GRAIN APPLIED AT 2 TONS/AC. OR 90 LB./1,000 SQ. FT. (TWO TO THREE BALES). THE MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THE SOIL SURFACE IS COVERED FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH. DIVIDE AREA INTO APPROXIMATELY 1,000-SQ. FT. SECTIONS AND SPREAD TWO 45 LB. BALES OF STRAW IN EACH SECTION. HYDROSEEDERS--IF WOOD CELLULOSE FIBER IS USED, IT SHALL BE USED AT 2,000 LB./AC. OR 45 LB./1,000 SQ. FT. OTHER--OTHER ACCEPTABLE MULCHES INCLUDE MULCH MATTINGS APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS OR WOOD CHIPS APPLIED AT 4 TONS / AC.
- STRAW MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR WATER. ANCHORING METHODS: MECHANICAL--A DISK, CRIMPER OR SIMILAR TYPE TOOL SHALL BE SET STRAIGHT TO PUNCH OR ANCHOR THE MULCH MATERIAL INTO THE SOIL. STRAW MECHANICALLY ANCHORED SHALL NOT BE FINELY CHOPPED BUT, GENERALLY BE LEFT LONGER THAN 6 IN. MULCH NETTINGS--NETTINGS SHALL BE USED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. NETTING MAY BE NECESSARY TO HOLD MULCH IN PLACE IN AREAS OF CONCENTRATED RUNOFF AND ON CRITICAL SLOPES. SYNTHETIC BINDERS--SYNTHETIC BINDERS SUCH AS ACRYLIC POLYMER (AGRI-TACK), POLYURETHANE (TERRA-TACK OR TERRA-TACK OR EQUAL MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER. WOOD-CELLULOSE FIBRE--WOOD-CELLULOSE FIBRE BINDER SHALL BE APPLIED AT A NET DRY WEIGHT OF 750 LB./AC. THE WOOD-CELLULOSE FIBER SHALL BE MIXED WITH WATER AND THE MIXTURE SHALL CONTAIN A MAXIMUM OF 50 LB. / 100 GAL.

BMP INSPECTION CHECKLIST

BMP	FREQUENCY	NOTES
GENERAL INSPECTION	EVERY 6 MO.	
STORM WATER BASIN	MONTHLY	
VEGETATION	MONTHLY	FIRST 2 GROWING SEASONS THEN TWICE A YEAR
SILT FENCE	MONTHLY	FIRST GROWING SEASON

REGULAR INSPECTION AND MAINTENANCE WILL BE PROVIDED FOR ALL EROSION AND SEDIMENT CONTROL PRACTICES. PERMANENT RECORDS OF MAINTENANCE AND INSPECTIONS MUST BE KEPT THROUGHOUT THE CONSTRUCTION PERIOD. INSPECTIONS MUST BE MADE A MINIMUM OF ONCE EVERY 7 DAYS AND IMMEDIATELY AFTER STORM EVENTS GREATER THAN 0.5 INCHES OF RAIN IN A 24 HOUR PERIOD. PROVIDED WILL BE NAME OF INSPECTOR, MAJOR OBSERVATIONS, DATED OF INSPECTION AND CORRECTIVE MEASURES TAKEN. RECORDS SHALL L BE SUBMITTED TO THE CITY OF LAKEWOOD ENGINEERING DEPARTMENT FOR REVIEW BY MAY 1st OF EACH YEAR.

ALL CONTROL PRACTICES THAT REQUIRE REPAIR SHALL BE REPAIRED WITHIN THREE (3) DAYS OF THE INSPECTION.

ADDITIONAL SWP3 CONSIDERATIONS

NO OPEN BURNING

DUST CONTROL SHALL BE ACHIEVED BY USE OF WATERING TRUCKS. USE OF OIL IS STRICTLY PROHIBITED. INLET PROTECTION MUST BE IMPLEMENTED PRIOR TO DUST CONTROL MEASURES.

IN THE EVENT OF A PETROLEUM SPILL (-25 GALLONS) OR THE PRESENCE OF OIL SHEEN, THE CONTRACTOR SHALL CONTACT THE OHIO E.P.A. AT 800-282-9378, THE LOCAL FIRE DEPARTMENT.

SMALL SPILLS (-25 GALLONS) SHALL BE CLEANED UP USING AN ABSORBING AGENT, THE ABSORBING AGENT REMOVED AND DISPOSED OF ACCORDING TO FEDERAL REGULATIONS.

ALL TRENCH DEWATERING MEASURES SHALL BE DISCHARGED INTO SETTLING BASINS PRIOR TO DISCHARGE FROM SITE. BMPs THAT REQUIRE REPAIR SHALL BE REPAIRED WITHIN 3 DAYS OF INSPECTION. SETTLING PONDS MUST BE REPAIRED WITHIN 10 DAYS OF INSPECTION.

STREETS ADJACENT TO SITE SHALL BE CLEANED AT THE END OF EACH WORK DAY.

POST-CONSTRUCTION BMP RATIONALE

STORM WATER MANAGEMENT AND POST CONSTRUCTION WATER QUALITY BMPs ARE NOT REQUIRED AS THE SCOPE OF THE PROJECT IS LESS THAN ONE ACRE.

MAINTENANCE FOR PERMANENT SEEDINGS FERTILIZATION AND MOWING					
MIXTURE	FORMULA	LBS./ACRE	LBS./1,000 SQ. FT.	TIME	MOWING
CREeping RE FESCUE RYEGRASS KENTUCKY BLUEGRASS	10-10-10	500	12	FALL, YEARLY AS NEEDED	NOT CLOSER THAN 3"
TALL FESCUE	10-10-10	500	12		NOT CLOSER THAN 4"
TURF-TYPE FESCUE	10-10-10	500	12		
CROWN VETCH FESCUE	0-20-20	400	10	SPRING, YEARLY FOLLOWING ESTABLISHMENT AND EVERY 4-7 YEARS THEREAFTER	DO NOT MOW
FLAT PEA FESCUE	0-20-20	400	10		DO NOT MOW

NOTE: FOLLOWING SOIL TEST RECOMMENDATIONS IS PREFERRED TO FERTILIZER RATES SHOWN ABOVE.

SPECIFICATIONS FOR PERMANENT SEEDING

SITE PREPARATION

- A SUBSOILER, PLOW OR OTHER IMPLEMENT SHALL BE USED TO REDUCE SOIL COMPACTION AND ALLOW MAXIMUM INFILTRATION. MAXIMIZING INFILTRATION WILL HELP CONTROL BOTH RUNOFF RATE AND WATER QUALITY. SUBSOILING SHOULD BE DONE WHEN THE SOIL MOISTURE IS LOW ENOUGH TO ALLOW THE SOIL TO CRACK OR FRACTURE. SUBSOILING SHALL NOT BE DONE ON SLIP-PRONE AREAS WHERE SOIL PREPARATION SHOULD BE LIMITED TO WHAT IS NECESSARY FOR ESTABLISHING VEGETATION.
- THE SITE SHALL BE GRADED AS NEEDED TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDING PREPARATION AND SEEDING.
- TOPSOIL SHALL BE APPLIED WHERE NEEDED TO ESTABLISH VEGETATION. SEEDING PREPARATION
 - LIME--AGRICULTURAL GROUND LIME/STONE SHALL BE APPLIED TO ACID SOILS AS RECOMMENDED BY A SOIL TEST IN LIEU OF A SOIL TEST. LIME SHALL BE APPLIED AT A RATE OF 100 LB./1,000 SQ. FT. OR 2 TONS/ACRE.
 - FERTILIZER--FERTILIZER SHALL BE APPLIED AS A SOIL TEST. FERTILIZER SHALL BE APPLIED AT A RATE OF 25 LB./1,000 SQ. FT. OR 1000 LB./ACRE OF 10-10-10 OR 12-12-12 ANALYSIS.
 - THE LIME AND FERTILIZER SHALL BE WORKED INTO THE SOIL WITH A DISK HARROW, SPRING-TOOTH HARROW OR OTHER SUITABLE FIELD IMPLEMENT TO A DEPTH OF 3 INCHES. ON SLOPING LAND, THE SOIL SHALL BE WORKED TO THE CONTOUR.

EROSION PREVENTION PRACTICES

SEEDING DATES AND SOIL CONDITIONS

DORMANT SEEDING

- SEEDINGS SHOULD NOT BE MADE FROM OCTOBER 1 THROUGH NOVEMBER 20, PREPARE THE SEEDED, ADD THE REQUIRED AMOUNTS OF LIME AND FERTILIZER, THEN MULCH AND ANCHOR. AFTER NOVEMBER 20, MULCHING AND ANCHORING MIXTURE BE A 50% INCREASE IN THE SEEDING RATE.
- FROM NOVEMBER THROUGH MARCH 15, WHEN SOIL CONDITIONS PERMIT, PREPARE THE SEEDED, LIME AND FERTILIZER APPLY SELECTED SEED MIXTURE, MULCH AND ANCHOR. INCREASE THE SEEDING RATES BY 50% FOR THIS TYPE OF SEEDING.
- APPLY SEED UNIFORMLY WITH A CYCLONE SEEDER, DRILL, CULTIPACKER SEEDER OR HYDROSEEDER (SLURRY MAY INCLUDE SEED AND FERTILIZER) ON A FIRM, MOST STABLE SURFACE.
- WHERE FEASIBLE, EXCEPT WHEN A CULTIPACKER TYPE SEEDER IS USED, THE SEEDED SHOULD BE FIRMED FOLLOWING SEEDING OPERATIONS WITH A CULTIPACKER, ROLLER OR LIGHT DRAG ON SLOPING LAND. SEEDING OPERATIONS SHOULD FOLLOW THE CONTOUR WHERE FEASIBLE.

EROSION PREVENTION PRACTICES

WOOD CELLULOSE FIBER--WOOD CELLULOSE FIBER BINDER SHALL BE APPLIED AT A NET DRY WEIGHT OF 750 LBS./ACRE. THE WOOD CELLULOSE FIBER SHALL BE MIXED WITH WATER WITH THE MIXTURE CONTAINING A MAXIMUM OF 50 LBS. CELLULOSE/100 GALLONS OF WATER.

IRIGATION

PERMANENT SEEDING SHALL INCLUDE IRRIGATION TO ESTABLISH VEGETATION DURING DRY WETTER OR ON ADVERSE SITE CONDITIONS, WHICH REQUIRE ADEQUATE MOISTURE FOR SEED GERMINATION AND PLANT GROWTH.

IRRIGATION RATES SHALL BE MONITORED TO PREVENT EROSION AND DAMAGE TO SEEDED AREAS FROM EXCESSIVE RUNOFF.

PERMANENT SEEDING			
SEED MIX	SEEDING RATE		NOTES
	LBS./ACRE	LBS./1,000 SQ. FEET	
GENERAL USE			
CREeping RE FESCUE DOMESTIC RYEGRASS KENTUCKY BLUEGRASS	20-40 10-20 20-40	1/2-1 1/4-1/2 1/2-1	FOR CLOSE MOWING & FOR WATERWAYS WITH ~2.0 FT/SEC VELOCITY
TALL FESCUE	40-50	1-1 1/2	
TURF- TYPE (DWARF) FESCUE	90	2 1/2	
STEep BANKS OR CUT SLOPES			
TALL FESCUE	40-50	1-1/4	
CROWN VETCH TALL FESCUE	10-20 20-30	1/4-1/2 1/2-3/4	DO NOT SEED LATER THAN AUGUST
FLAT PEA TALL FESCUE	20-25 20-30	1/2-3/4 1/2-3/4	DO NOT SEED LATER THAN AUGUST
ROAD DITCHES AND SWALES			
TALL FESCUE	40-50	1-1 1/4	
TURF-TYPE (DWARF) FESCUE KENTUCKY BLUEGRASS	90 5	2 1/4 0.1	
LAWNS			
KENTUCKY BLUEGRASS PERENNIAL RYEGRASS	100-120	2 2	
KENTUCKY BLUEGRASS CREEPING RID FESCUE	100-120	2 1-1/2	FOR SHADED AREAS

NOTE: OTHER APPROVAL SEED SPECIES MAY BE SUBSTITUTED.

TABLE 1: PERMANENT STABILIZATION

AREA REQUIRING PERMANENT STABILIZATION	TIME FRAME TO APPLY EROSION CONTROLS
ANY AREAS THAT WILL BE DORMANT FOR ONE YEAR OR MORE	WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE
ANY AREAS WITHIN 50 FEET OF A SURFACE WATER OR THE STATE AND AT FINAL GRADE	WITHIN TWO DAYS OF REACHING FINAL GRADE
ANY OTHER AREAS AT FINAL GRADE	WITHIN SEVEN DAYS OF REACHING FINAL GRADE WITHIN THAT AREAS

TABLE 2: TEMPORARY STABILIZATION

AREA REQUIRING TEMPORARY STABILIZATION	TIME FRAME TO APPLY EROSION CONTROLS
ANY DISTURBED AREAS WITHIN 50 FEET OF A SURFACE WATER OF THE STATE AND NOT AT FINAL GRADE	WITHIN TWO DAYS OF THE MOST RECENT DISTURBANCE IF THE AREA WILL REMAIN IDLE FOR MORE THAN 14 DAYS
FOR ALL CONSTRUCTION ACTIVITIES, AND DISTURBED AREAS THAT WILL BE DORMANT FOR MORE THAN 14 DAYS BUT LESS THAN ONE YEAR, AND NOT WITHIN 50 FEET OF A SURFACE WATER OF THE STATE	WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE WITHIN THE AREA
DISTURBED AREAS THAT WILL BE IDLE OVER WINTER	FOR RESIDENTIAL SUBDIVISIONS, DISTURBED AREAS MUST BE STABILIZED AT LEAST SEVEN DAYS PRIOR TO TRANSFER OF PERMIT COVERAGE FOR THE INDIVIDUAL LOTS. PRIOR TO THE ONSET OF WINTER WEATHER

WHERE VEGETATIVE STABILIZATION TECHNIQUES MAY CAUSE STRUCTURAL INSTABILITY OR ARE OTHERWISE UNOBTAINABLE, ALTERNATIVE STABILIZATION TECHNIQUES MUST BE EMPLOYED. PERMANENT AND TEMPORARY STABILIZATION ARE DEFINED IN PART VII.

2555 Hartsville Rd., Suite B
Rockstown, OH 44272
www.WeberEngineeringServices.com
330-329-0377
mat@webercivil.com

Reg. No.: 61709

CLIENT:

21111 CHAGRIN BLVD., #110
BEACHWOOD, OHIO 44122
216.752.4300

OWNER:

VL FREELAND LLC
P.O. BOX 30399
MIDDLEBURGH HEIGHTS, OH
44130

Issue Date

02-17-2024
02-26-2024
03-04-2024
03-05-2024

SHADY COVE TOWNHOMES
NEW CONSTRUCTION
12584 LAKE AVE, LAKEWOOD, OH

ABBREVIATED
SWP3
DETAILS

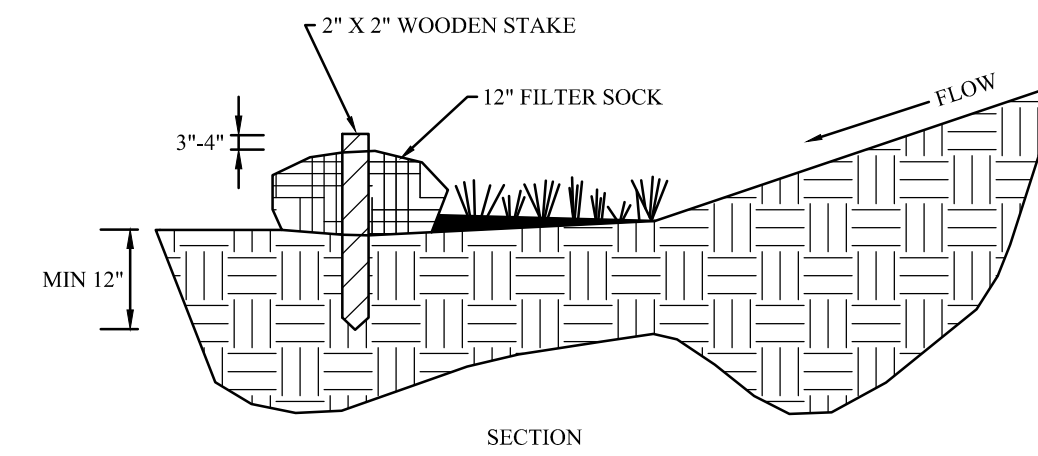
C109
Project No. 2023-252

SPECIFICATIONS FOR MULCHING

- MULCH AND OTHER APPROPRIATE VEGETATIVE PRACTICES SHALL BE APPLIED TO DISTURBED AREAS WITHIN 7 DAYS OF GRADING IF THE AREA IS TO REMAIN DORMANT (UNDISTURBED) FOR MORE THAN 21 DAYS OR ON AREAS AND PORTIONS OF THE SITE WHICH CAN BE BROUGHT TO FINAL GRADE.
- MULCH SHALL CONSIST OF ONE OF THE FOLLOWING:
 - STRAW - SHALL BE UNROTTED SMALL GRAIN STRAW APPLIED AT THE RATE OF 2 TONS/AC. OR 90 LB./1,000 SQ. FT. (TWO TO THREE BALES). THE STRAW MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THE SOIL SURFACE IS COVERED FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH. DIVIDE AREA INTO APPROXIMATELY 1,000-SQ.-FT. SECTIONS AND PLACE TWO 45-LB. BALES OF STRAW IN EACH SECTION.
 - HYDROSEEDERS - WOOD CELLULOSE FIBER SHOULD BE USED AT 2,000 LB./AC. OR 46 LB./1,000 SQ. FT.
 - OTHER - ACCEPTABLE MULCHES INCLUDE MULCH MATTINGS AND ROLLED EROSION CONTROL PRODUCTS APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS OR WOOD MULCH CHIPS APPLIED AT 10-20 TONS/AC.
- MULCH ANCHORING - MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR RUNOFF. THE FOLLOWING ARE ACCEPTABLE METHODS FOR ANCHORING MULCH:
 - MECHANICAL - USE A DISK, CRIMPER, OR SIMILAR TYPE TOOL SET STRAIGHT TO PUNCH OR ANCHOR THE MULCH MATERIAL INTO THE SOIL. STRAW MECHANICALLY ANCHORED SHALL NOT BE FINELY CHOPPED BUT BE LEFT GENERALLY LONGER THAN 6 INCHES.
 - MULCH NETTINGS - USE ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS, FOLLOWING ALL PLACEMENT AND ANCHORING REQUIREMENTS. USE IN AREAS OF WATER CONCENTRATION AND STEEP SLOPES TO HOLD MULCH IN PLACE.
 - SYNTHETIC BINDERS - FOR STRAW MULCH, SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGR-TAC), DCA-70, PETROSET, TERRA TACK, OR EQUAL MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER. ALL APPLICATIONS OF SYNTHETIC BINDERS MUST BE CONDUCTED IN SUCH A MANNER WHERE THERE IS NO CONTACT WITH WATER OF THE STATE.
 - WOOD CELLULOSE FIBER - WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. THE FIBER BINDER SHALL BE APPLIED AT A NET DRY WEIGHT OF 750 LBS./AC. THE WOOD CELLULOSE FIBER SHALL BE MIXED WITH WATER AND THE MIXTURE SHALL CONTAIN A MAXIMUM OF 50 LB./100 GAL. OF WOOD CELLULOSE FIBER.

SPECIFICATIONS FOR SODDING

- MATERIALS**
- SOD SHALL BE HARVESTED, DELIVERED AND INSTALLED WITHIN A PERIOD OF 48 HOURS. SOD NOT TRANSPLANTED WITHIN THIS PERIOD SHALL BE INSPECTED AND APPROVED PRIOR TO INSTALLATION.
 - THE SOD SHALL BE KEPT MOIST AND COVERED DURING HAULING AND PREPARATION FOR PLACEMENT.
 - SOD SHALL BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF 0.75 INCHES, PLUS OR MINUS 0.25 INCHES, AT THE TIME OF CUTTING. MEASUREMENTS FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH.
- SITE PREPARATION**
- A SUBSOILER, PLOW OR OTHER IMPLEMENT SHALL BE USED TO REDUCE SOIL COMPACTION AND ALLOW MAXIMUM INFILTRATION. MAXIMIZING INFILTRATION WILL HELP CONTROL BOTH RUNOFF RATE AND WATER QUALITY. SUBSOILING SHALL NOT BE CONDUCTED ON SLIP-PRONE AREAS WHERE SOIL PREPARATION SHOULD BE LIMITED ONLY TO WHAT IS NECESSARY FOR ESTABLISHING VEGETATION.
 - THE AREA SHALL BE GRADED AND TOPSOIL SPREAD WHERE NEEDED.
 - SOIL AMENDMENTS
 - LIME - AGRICULTURAL GROUND LIMESTONE SHALL BE APPLIED TO ACIDIC SOILS AS RECOMMENDED BY A SOIL TEST. IN LIEU OF A SOIL TEST, LIME SHALL BE APPLIED AT THE RATE OF 100 LB./1,000 SQ. FT. OR 2 TONS/AC.
 - FERTILIZER - FERTILIZER SHALL BE APPLIED AS RECOMMENDED BY A SOIL TEST. IN LIEU OF A SOIL TEST FERTILIZER SHALL BE APPLIED AT A RATE OF 12 LB./1,000 SQ. FT. OR 500 LB./AC. OF 10-10-10 OR 12-12-12 ANALYSIS
 - THE LIME AND FERTILIZER SHALL BE WORKED INTO THE SOIL WITH A DISK HARROW, SPRING-TOOTH HARROW, OR OTHER SUITABLE FIELD IMPLEMENT TO A DEPTH OF 3 INCHES.
 - BEFORE LAYING SOD, THE SURFACE SHALL BE UNIFORMLY GRADED AND CLEARED OF ALL DEBRIS, STONES AND CLOUDS LARGER THAN 3-IN. DIAMETER.
- SOD INSTALLATION**
- DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURES, THE SOIL SHALL BE LIGHTLY IRRIGATED IMMEDIATELY BEFORE LAYING THE SOD.
 - SOD SHALL NOT BE PLACED ON FROZEN SOIL.
 - THE FIRST ROW OF SOD SHALL BE LAID IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO AND TIGHTLY WEDGED AGAINST EACH OTHER. LATERAL JOINTS SHALL BE STAGGERED IN A BRICK-LIKE PATTERN. ENSURE THAT SOD IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS THAT WOULD DRY THE ROOTS.
 - ON SLOPING AREAS WHERE EROSION MAY BE A PROBLEM, SOD SHALL BE LAID WITH THE LONG EDGE PARALLEL TO THE CONTOUR AND STAGGERED JOINTS. THE SOD SHALL BE SECURED WITH PEGS OR STAPLES.
 - AS SODDING IS COMPLETED IN ANY ONE SECTION, THE ENTIRE AREA SHALL BE ROLLED OR TAMPED TO ENSURE SOLID CONTACT OF ROOTS WITH THE SOIL SURFACE. SOD SHALL BE WATERED IMMEDIATELY AFTER ROLLING OR TAMPING UNTIL THE SOD AND SOIL SURFACE BELOW THE SOD ARE THOROUGHLY WET. THE OPERATIONS OF LAYING TAMPING AND IRRIGATING FOR ANY PIECE OF SOD SHALL BE COMPLETED WITHIN 8 HOURS.
- MAINTENANCE**
- IN THE ABSENCE OF ADEQUATE RAINFALL, WATERING SHALL BE PERFORMED DAILY OR AS OFTEN AS NECESSARY DURING THE FIRST WEEK WITH SUFFICIENT QUANTITIES TO MAINTAIN MOIST SOIL TO A DEPTH OF 4-6 INCHES.
 - AFTER THE FIRST WEEK, SOD SHALL BE WATERED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE AND ENSURE ESTABLISHMENT.
 - THE FIRST MOWING SHALL NOT BE ATTEMPTED UNTIL SOD IS FIRMLY ROOTED.



- MATERIALS-COMPOST USED FOR FILTER SOCKS SHALL BE WEED, PATHOGEN AND INSECT FREE AND FREE OF ANY REFUSE, CONTAMINANTS OR OTHER MATERIALS TOXIC TO PLANT GROWTH. THEY SHALL BE DERIVED FROM A WELL-DECOMPOSED SOURCE OF ORGANIC MATTER AND CONSIST OF PARTICLES RANGING FROM 1/4" TO 2".
 - FILTER SOCKS SHALL BE 3 OR 5 MIL CONTINUOUS, TUBULAR, HDPE 3/4" KNITTED MESH NETTING MATERIAL, FILLED WITH COMPOST PASSING THE ABOVE SPECIFICATIONS FOR COMPOST PRODUCTS.
 - FILTER SOCKS WILL BE PLACED ON A LEVEL LINE ACROSS SLOPES, GENERALLY PARALLEL TO THE BASE OF THE SLOPE OR OTHER AFFECTED AREA, ON SLOPES APPROACHING 2:1. ADDITIONAL SOCKS SHALL BE PROVIDED AT THE TOP AND AS NEEDED MID-SLOPE.
 - FILTER SOCKS INTENDED TO BE LEFT AS A PERMANENT FILTER OR PART OF THE NATURAL LANDSCAPE SHALL BE SEEDED AT THE TIME OF INSTALLATION FOR ESTABLISHMENT OF PERMANENT VEGETATION.
 - FILTER SOCKS ARE NOT TO BE USED IN CONCENTRATE FLOW SITUATIONS OR IN RUNOFF CHANNELS.
- MAINTENANCE:**
- ROUTINELY INSPECT FILTER SOCKS AFTER EACH SIGNIFICANT RAIN, MAINTAINING FILTER SOCKS IN A FUNCTIONAL CONDITION AT ALL TIMES.
 - REMOVE SEDIMENTS COLLECTED AT THE BASE OF THE FILTER SOCKS IN A FUNCTIONAL CONDITION AT ALL TIMES.
 - WHERE THE FILTER SOCK DETERIORATES OR FAILS, IT WILL BE REPAIRED OR REPLACED WITH A MORE EFFECTIVE ALTERNATIVE.
 - REMOVAL-FILTER SOCKS WILL BE DISPERSED ON SITE WHEN NO LONGER REQUIRED IN SUCH A WAY AS TO FACILITATE AN NO OBSTRUCT SEEDINGS.

WEBER ENGINEERING SERVICES
 Where Strong Relationships & Superior Service Guide Your Project
 2555 Hartville Rd., Suite B
 Beavertown, OH 44272
 www.WeberEngineeringServices.com
 330-329-2037
 matt@webercivil.com

STATE OF OHIO
 REGISTERED PROFESSIONAL ENGINEER
 MATTHEW WEBER
 61709
 Reg. No.: 61709

CLIENT:
RDL ARCHITECTS
 21111 CHAGRIN BLVD., #110
 BEACHWOOD, OHIO 44122
 216.752.4300

OWNER:
VL FREELAND LLC
 P.O. BOX 30339
 MIDDLEBURGH HEIGHTS, OH
 44130

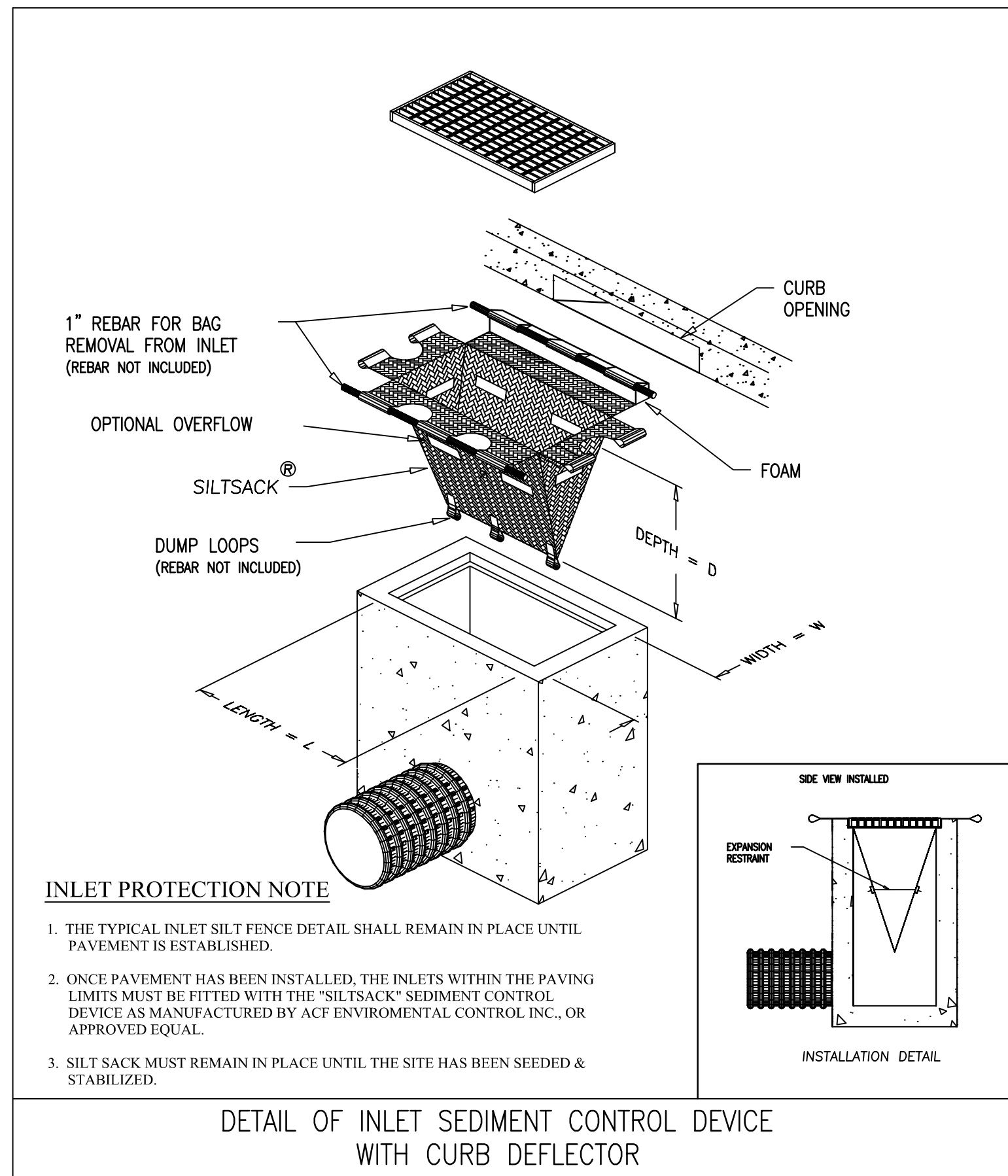
SPECIFICATIONS FOR DUST CONTROL

ADHESIVES FOR DUST CONTROL

ADHESIVE	WATER DILUTION (ADHESIVE WATER)	NOZZLE TYPE	APPLICATION RATE GAL./AC.
LATEX EMULSION	12.5:1	FINE	235
TESIN IN WATER ACRYLIC EMULSION (NO-TRAFFIC)	4:1	FINE	300
ACRYLIC EMULSION (NO-TRAFFIC)	7:1	COARSE	450
ACRYLIC EMULSION (TRAFFIC)	3.5:1	COARSE	350

- VEGETATIVE COVER AND MULCH- APPLY TEMPORARY OR PERMANENT SEEDING AND MULCH TO AREAS THAT WILL REMAIN IDLE FOR OVER 21 DAYS. SAVING EXISTING TREES AND LARGE SHRUBS WILL ALSO REDUCE SOIL AND AIR MOVEMENT ACROSS DISTURBED AREAS. SEE TEMPORARY SEEDING; PERMANENT SEEDING; MULCHING PRACTICES; AND TREE AND NATURAL AREA PROTECTION PRACTICES.
- WATERING- SPRAY SITE WITH WATER UNTIL THE SURFACE IS WET BEFORE AND DURING GRADING AND REPEAT AS NEEDED, ESPECIALLY ON HAUL ROADS AND OTHER HEAVY TRAFFIC ROUTES. WATERING SHALL BE DONE AT A RATE THAT PREVENTS DUST BUT DOES NOT CAUSE SOIL EROSION. WETTING AGENTS SHALL BE UTILIZED ACCORDING TO MANUFACTURERS INSTRUCTIONS.
- SPRAY-ON ADHESIVES-APPLY ADHESIVE ACCORDING TO THE FOLLOWING TABLE OR MANUFACTURERS' INSTRUCTIONS
- STONE - GRADED ROADWAYS AND OTHER SUITABLE AREAS WILL BE STABILIZED USING CRUSHED STONE OR COARSE GRAVEL AS SOON AS PRACTICABLE AFTER REACHING AN INTERIM OR FINAL GRADE. CRUSHED STONE OR COARSE GRAVEL CAN BE USED AS A PERMANENT COVER TO PROVIDE CONTROL OF SOIL EMISSIONS.
- BARRIERS- EXISTING WINDBREAK VEGETATION SHALL BE MARKED AND PRESERVED. SNOW FENCING OR OTHER SUITABLE BARRIER MAY BE PLACED PERPENDICULAR TO PREVAILING AIR CURRENTS AT INTERVALS OF ABOUT 15 TIMES THE BARRIER HEIGHT TO CONTROL AIR CURRENTS AND BLOWING SOIL.
- CALCIUM CHLORIDE - THIS CHEMICAL MAY BE APPLIED BY MECHANICAL SPREADER AS LOOSE, DRY GRANULES OR FLAKES AT A RATE THAT KEEPS THE SURFACE MOIST BUT NOT SO HIGH AS TO CAUSE WATER POLLUTION OR PLANT DAMAGE. APPLICATION RATES SHOULD BE STRICTLY IN ACCORDANCE WITH SUPPLIERS' SPECIFIED RATES.
- OPERATION AND MAINTENANCE - WHEN TEMPORARY DUST CONTROL MEASURES ARE USED, REPETITIVE TREATMENT SHOULD BE APPLIED AS NEEDED TO ACCOMPLISH CONTROLS.

STREET CLEANING- PAVED AREAS THAT HAVE ACCUMULATED SEDIMENT FROM CONSTRUCTION SHOULD BE CLEANED DAILY, OR AS NEEDED, UTILIZING A STREET SWEEPER OR BUCKET-TYPE ENDLOADER OR SCRAPER.



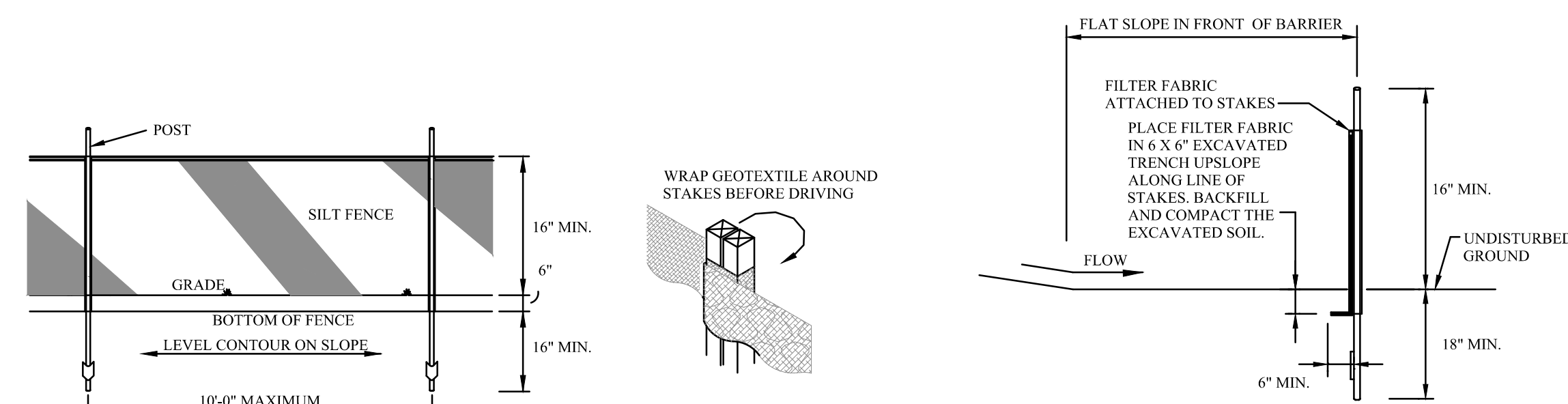
INLET PROTECTION NOTE

- THE TYPICAL INLET SILT FENCE DETAIL SHALL REMAIN IN PLACE UNTIL PAVEMENT IS ESTABLISHED.
- ONCE PAVEMENT HAS BEEN INSTALLED, THE INLETS WITHIN THE PAVING LIMITS MUST BE FITTED WITH THE "SILTSACK" SEDIMENT CONTROL DEVICE AS MANUFACTURED BY ACF ENVIRONMENTAL CONTROL INC., OR APPROVED EQUAL.
- SILT SACK MUST REMAIN IN PLACE UNTIL THE SITE HAS BEEN SEEDED & STABILIZED.

DETAIL OF INLET SEDIMENT CONTROL DEVICE WITH CURB DEFLECTOR

IPSS SILTSACK DETAIL

COMPOST FILTER SOCK DETAIL
 REFERENCE ONLY NOT TO SCALE



SILT FENCE DETAIL
 REFERENCE ONLY NOT TO SCALE

JOINING SECTIONS OF SILT FENCE DETAIL
 REFERENCE ONLY NOT TO SCALE

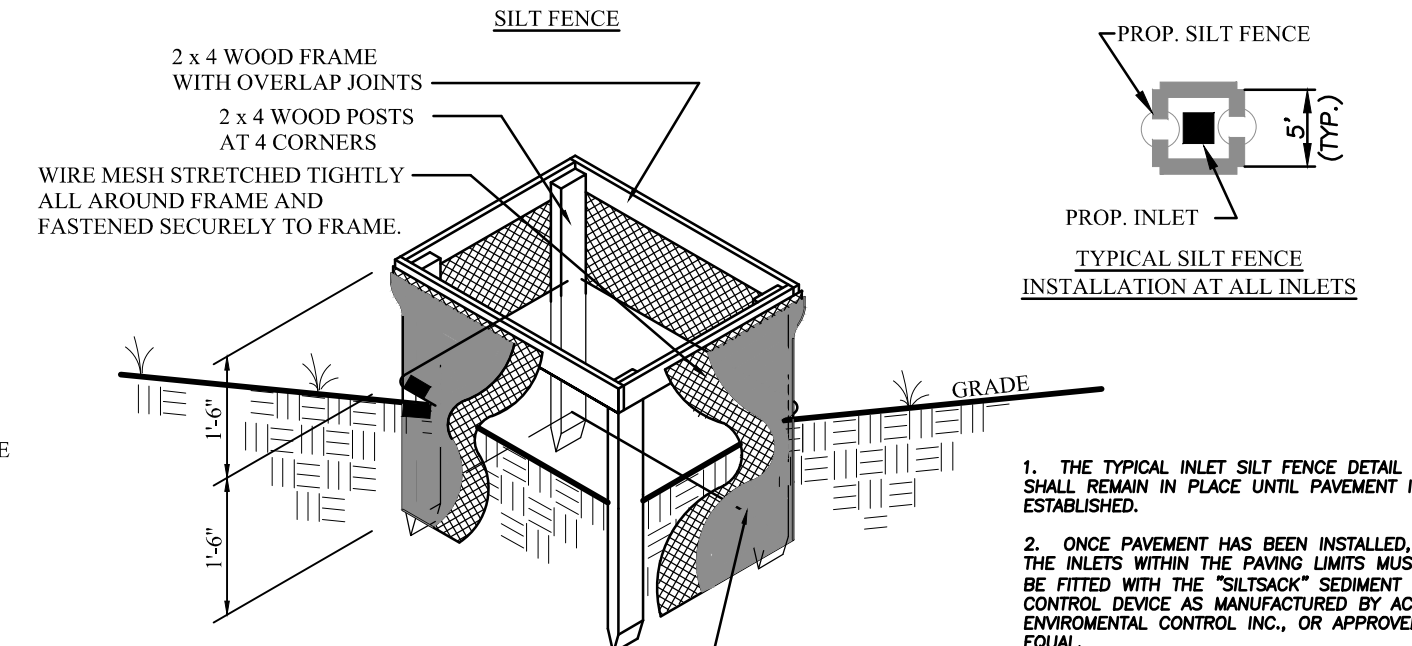
SILT FENCE SECTION
 REFERENCE ONLY NOT TO SCALE

- SILT FENCE SHALL BE CONSTRUCTED BEFORE UPSLOPE LAND DISTURBANCE BEGINS.
- ALL SILT FENCE SHALL BE PLACED AS CLOSE TO THE CONTOUR AS POSSIBLE SO THAT WATER WILL NOT CONCENTRATE AT LOW POINTS IN THE FENCE AND SO THAT SMALL SWALES OR DEPRESSIONS WHICH MAY CARRY SMALL CONCENTRATED FLOWS TO THE SILT FENCE ARE DISSIPATED ALONG ITS LENGTH.
- TO PREVENT WATER PONDED BY THE SILT FENCE FROM FLOWING AROUND THE ENDS, EACH END SHALL BE CONSTRUCTED UP SLOPE SO THAT THE ENDS ARE AT A HIGHER ELEVATION.
- WHERE POSSIBLE, SILT FENCE SHALL BE PLACED ON THE FLATTEST AREA AVAILABLE.
- WHERE POSSIBLE, VEGETATION SHALL BE PRESERVED FOR 5 FT. OR AS MUCH AS POSSIBLE UPSLOPE FROM THE SILT FENCE. IF VEGETATION IS REMOVED, IT SHALL BE REESTABLISHED WITHIN 7 DAYS FROM THE INSTALLATION OF THE SILT FENCE.
- THE HEIGHT OF THE SILT FENCE SHALL BE A MIN. OF 16 IN. ABOVE THE ORIGINAL GROUND SURFACE.
- THE SILT FENCE SHALL BE PLACED IN A TRENCH CUT A MIN. OF 6 IN. DEEP. THE TRENCH SHALL BE CUT WITH A TRENCHER, CABLE LAYING MACHINE, OR OTHER SUITABLE DEVICE WHICH WILL ENSURE AN ADEQUATELY UNIFORM TRENCH DEPTH.
- THE SILT FENCE SHALL BE PLACED WITH THE STAKES ON THE DOWN SLOPE SIDE OF THE GEOTEXTILE AND SO THAT 3 IN. OF CLOTH ARE BELOW THE GROUND SURFACE. EXCESS MATERIAL SHALL LAY ON THE BOTTOM OF THE 6 IN. DEEP TRENCH. THE TRENCH SHALL BE BACKFILLED AND COMPACTED ON BOTH SIDES OF THE FABRIC.
- SEAMS BETWEEN SECTIONS OF SILT FENCE SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST WITH A MINIMUM 6-IN. OVERLAP PRIOR TO DRIVING INTO THE GROUND.
- MAINTENANCE-SILT FENCE SHALL ALLOW RUNOFF TO PASS ONLY AS DIFFUSE FLOW THROUGH THE GEOTEXTILE. IF RUNOFF OVERTOPS THE SILT FENCE, FLOWS UNDER OR AROUND THE ENDS, OR IN ANY OTHER WAY BECOMES A CONCENTRATED FLOW, ONE OF THE FOLLOWING SHALL BE PERFORMED, AS APPROPRIATE: 1) THE LAYOUT OF THE SILT FENCE SHALL BE CHANGED, 2) ACCUMULATED SEDIMENT SHALL BE REMOVED, OR 3) OTHER PRACTICES SHALL BE INSTALLED.

MINIMUM CRITERIA FOR SILT FENCE FABRIC (ODOT, 2002)

FABRIC PROPERTIES	VALUES	TEST METHOD
MINIMUM TENSILE STRENGTH	120 LBS. (533 N)	ASTM D 4362
MAXIMUM ELONGATION AT 60 LBS	50%	ASTM D 4832
MINIMUM PUNCTURE STRENGTH	50 LBS (220 N)	ASTM D 4833
MINIMUM TEAR STRENGTH	40 LBS (180 N)	ASTM D 4833
APPARENT OPENING SIZE	<84 MM	ASTM D 4751
MINIMUM PERMITTIVITY	1x10 ⁻² SEC ⁻¹	ASTM D 4491
UV EXPOSURE STRENGTH RETENTION	70%	ASTM D 4355

IPSS SPECIFICATIONS FOR SILT FENCE



- THE TYPICAL INLET SILT FENCE DETAIL SHALL REMAIN IN PLACE UNTIL PAVEMENT IS ESTABLISHED.
- ONCE PAVEMENT HAS BEEN INSTALLED, THE INLETS WITHIN THE PAVING LIMITS MUST BE FITTED WITH THE "SILTSACK" SEDIMENT CONTROL DEVICE AS MANUFACTURED BY ACF ENVIRONMENTAL CONTROL INC., OR APPROVED EQUAL.
- SILT SACK MUST REMAIN IN PLACE UNTIL THE SITE HAS BEEN SEEDED & STABILIZED.

- INLET PROTECTION SHALL BE CONSTRUCTED EITHER BEFORE UPSLOPE LAND DISTURBANCE BEGINS OR BEFORE THE STORM INLET BECOMES FUNCTIONAL.
- THE EARTH AROUND THE INLET SHALL BE EXCAVATED COMPLETELY TO A DEPTH AT LEAST 18 INCHES.
- THE WOODEN FRAME SHALL BE CONSTRUCTED OF 2-BY-4-IN. CONSTRUCTION-GRADE LUMBER. THE 2-BY-4-IN. POSTS SHALL BE DRIVEN INTO THE GROUND AT FOUR CORNERS OF THE INLET AND THE TOP PORTION OF 2-BY-4-IN. FRAME ASSEMBLED USING THE OVERLAP JOINT SHOWN. THE TOP OF THE FRAME SHALL BE AT LEAST 6 INCHES BELOW ADJACENT ROADS IF PONDED WATER WOULD POSE A SAFETY HAZARD TO TRAFFIC.
- WIRE MESH SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT FABRIC WITH WATER FULLY IMPOUNDED AGAINST IT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY TO THE FRAME.
- GEOTEXTILE MATERIAL SHALL HAVE AN EQUIVALENT OPENING SIZE OF 20-40-SIEVE AND BE RESISTANT TO SUNLIGHT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY. IT SHALL EXTEND FROM TOP OF THE FRAME TO 18 INCHES BELOW THE INLET NOTCH ELEVATION. THE GEOTEXTILE SHALL OVERLAP ACROSS ONE SIDE OF THE INLET SO THE ENDS OF THE CLOTH ARE NOT FASTENED TO THE SAME POST.
- BACKFILL SHALL BE PLACED AROUND THE INLET IN COMPACTED 6-IN. LAYERS UNTIL THE EARTH IS EVEN WITH NOTCH ELEVATION ON ENDS AND TOP ELEVATION ON SIDES.
- A COMPACTED EARTH DIKE OR A CHECK DAM SHALL BE CONSTRUCTED IN THE DITCH LINE BELOW THE INLET IF THE INLET IS NOT IN A DEPRESSION AND IF RUNOFF BYPASSING THE INLET WILL NOT FLOW TO A SETTLING POND. THE TOP OF EARTH DIKES SHALL BE AT LEAST 6 INCHES HIGHER THAN THE TOP OF THE FRAME.

MAINTENANCE

EFFECTIVE STORM DRAIN INLET PROTECTION COLLECTS SEDIMENT AND THEREFORE MUST BE CLEANED REGULARLY TO PREVENT CLOGGING AND SUBSEQUENT FLOODING CONDITIONS, PIPING, OR OVERTOPPING OF THE CONTROL STRUCTURES. SEDIMENT BARRIERS THAT SAG, FALL OVER, OR ARE NOT PROPERLY SECURED, MUST BE PROMPTLY REPAIRED OR REPLACED.

INLET PROTECTION SHALL BE INSPECTED WEEKLY AND AFTER EACH RAINFALL EVENT. AREAS WHERE THERE IS ACTIVE TRAFFIC SHALL BE INSPECTED DAILY. REPAIRS SHALL BE MADE AS NEEDED TO ASSURE THE PRACTICE IS PERFORMING AS INTENDED. SEDIMENT SHALL BE REMOVED WHEN ACCUMULATION IS ONE-HALF THE HEIGHT OF THE TRAP. SEDIMENT SHALL NOT BE WASHED INTO THE INLET. SEDIMENT SHALL BE REMOVED AND PLACED IN A LOCATION WHERE IT IS STABLE AND NOT SUBJECT TO EROSION.

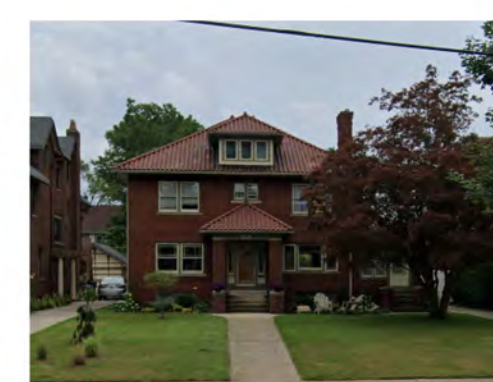
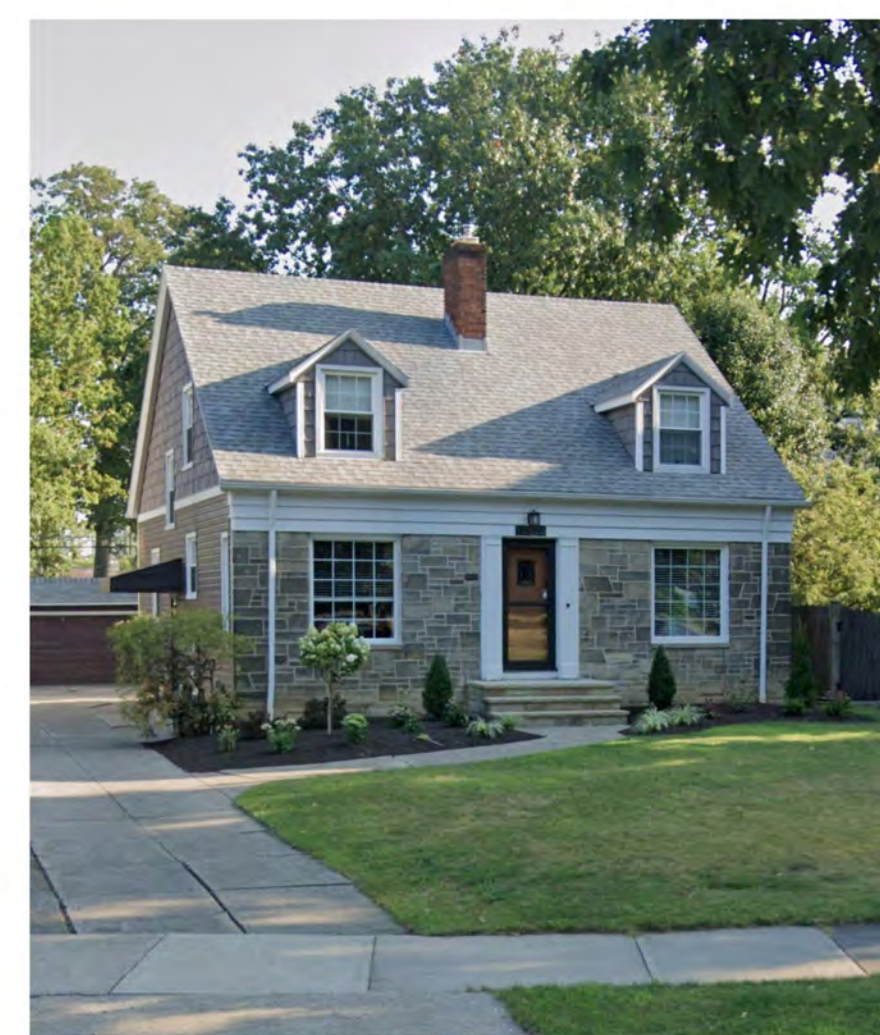
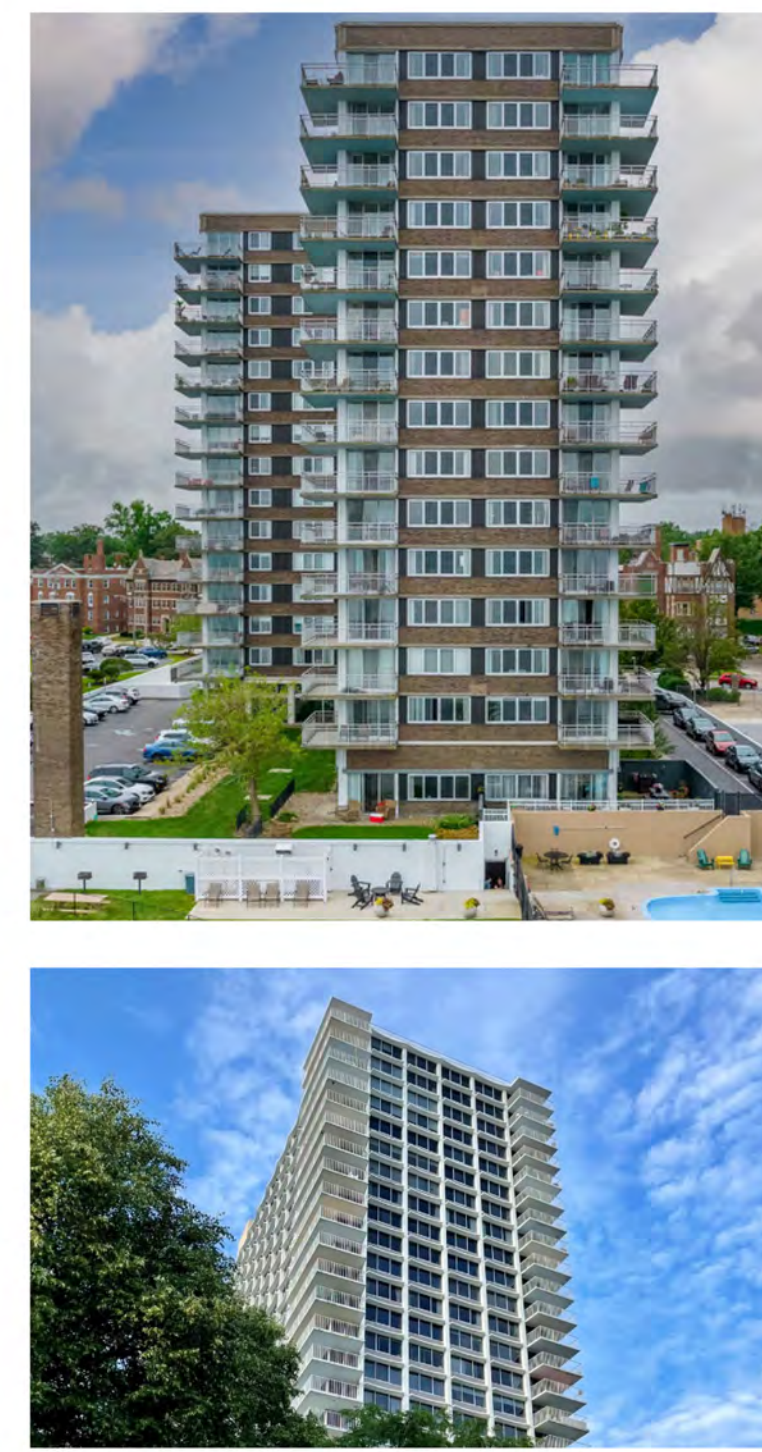
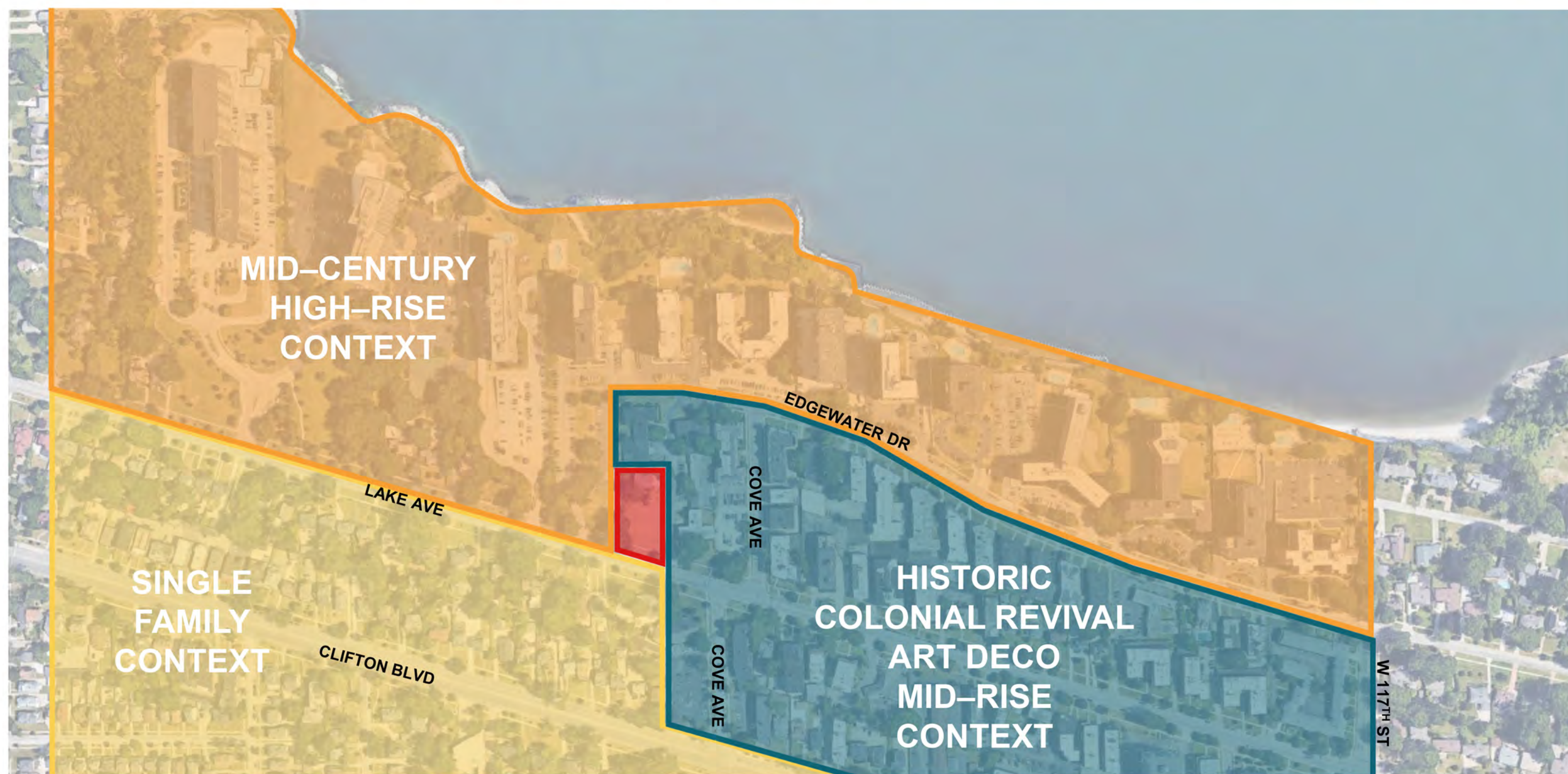
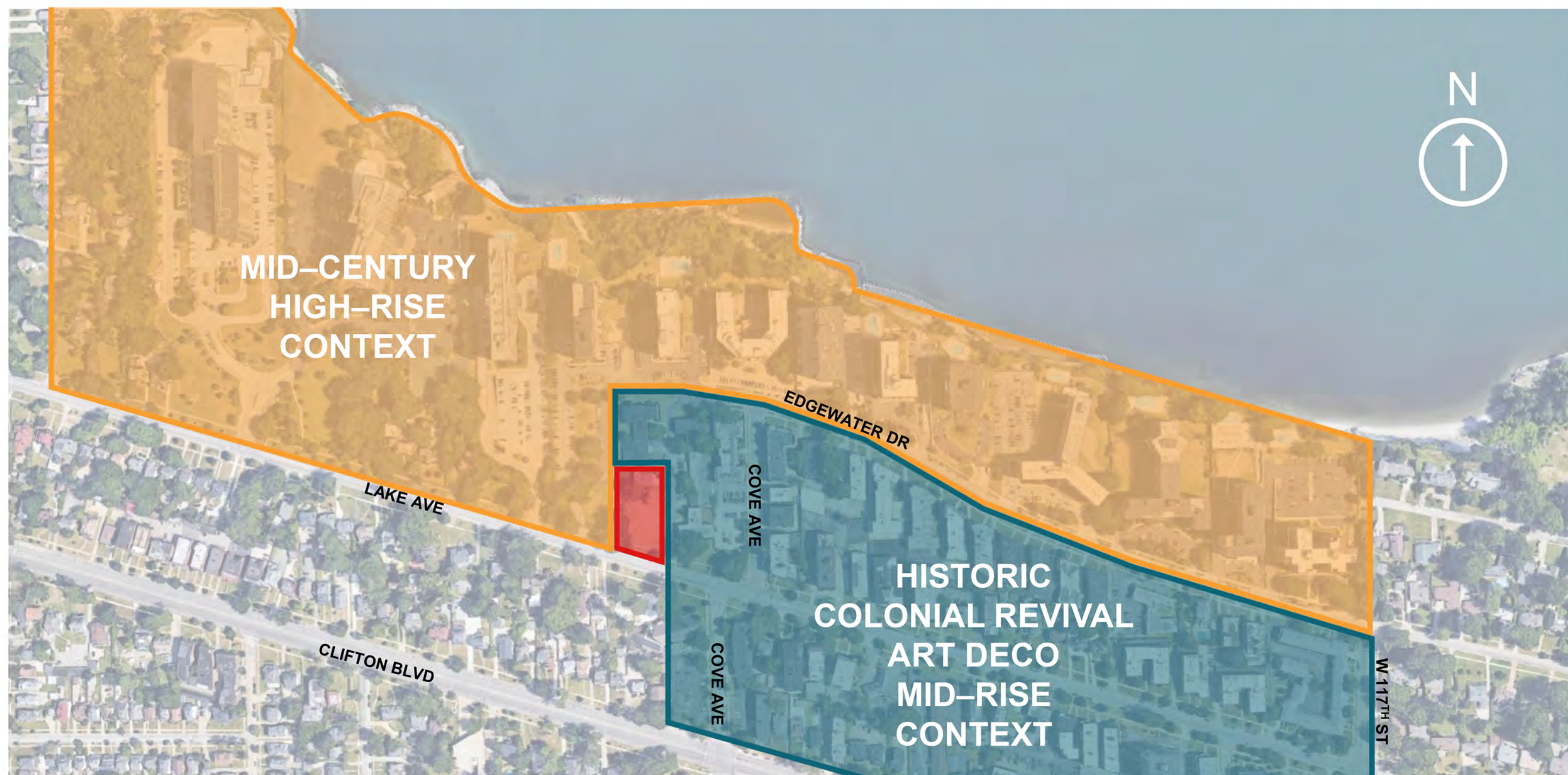
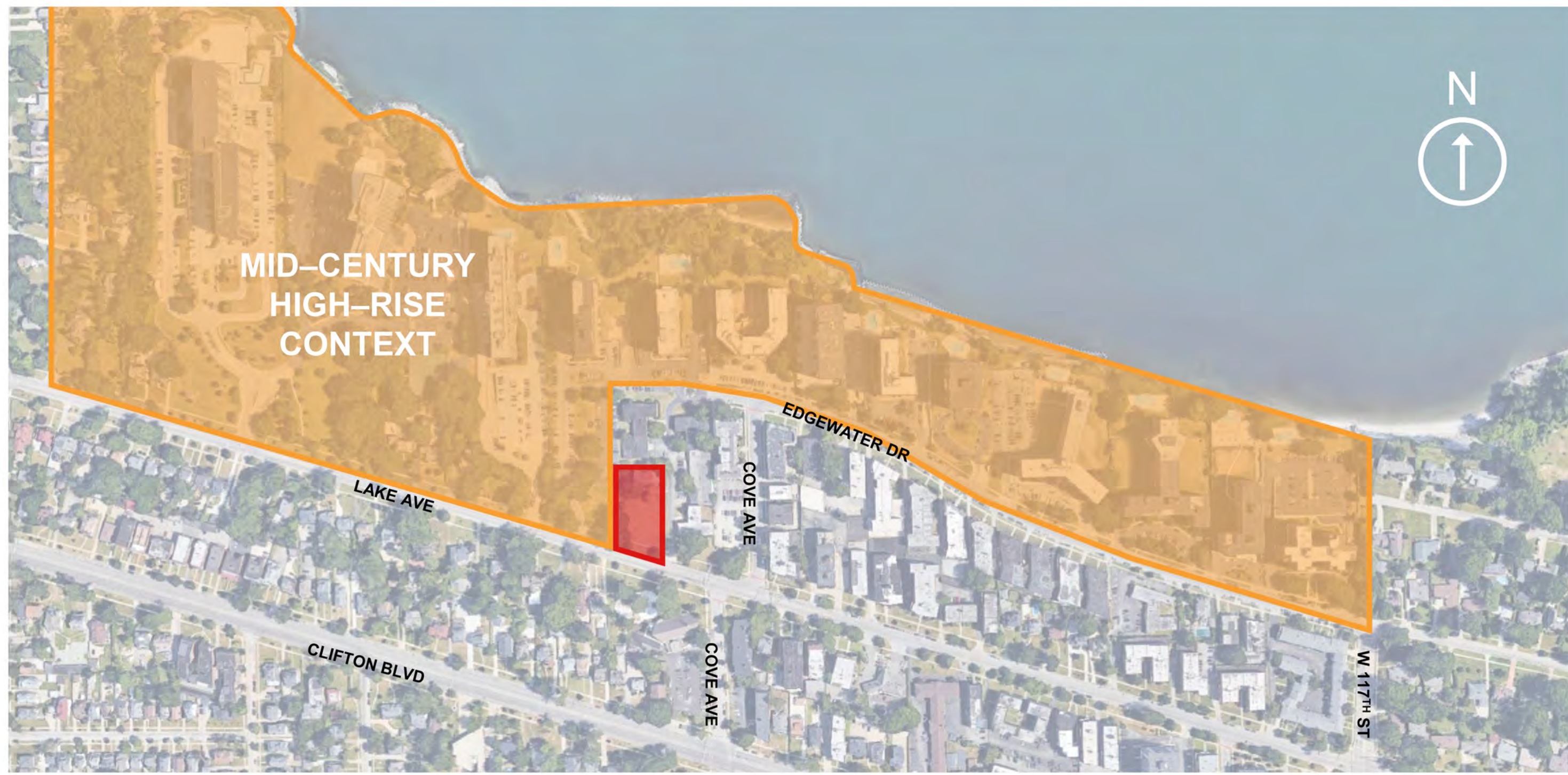
ONCE THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED, ALL FILTER MATERIAL AND COLLECTED SEDIMENT SHALL BE REMOVED AND PROPERLY DISPOSED.

IPSS SPECIFICATIONS FOR GEOTEXTILE INLET PROTECTION
 REFERENCE ONLY NOT TO SCALE

SHADY COVE TOWNHOMES
 NEW CONSTRUCTION
 12584 LAKE AVE, LAKEWOOD, OH
 Issue Date
 02-17-2024
 02-26-2024
 03-04-2024
 03-05-2024

ABBREVIATED SWP3 DETAILS

C110
 Project No. 2023-252



THE DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREIN ARE AND SHALL REMAIN THE SOLE PROPERTY OF FREELAND VENTURES. NO PART OF THIS PROJECT OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF FREELAND VENTURES SHALL BE REPRODUCED, COPIED, DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. WRITTEN PERMISSION OF FREELAND VENTURES SHALL BE REQUIRED FOR ANY SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE. FREELAND VENTURES SHALL NOT BE HELD RESPONSIBLE FROM THE DIMENSIONS AND CONDITIONS SHOWN IN THESE DRAWINGS.

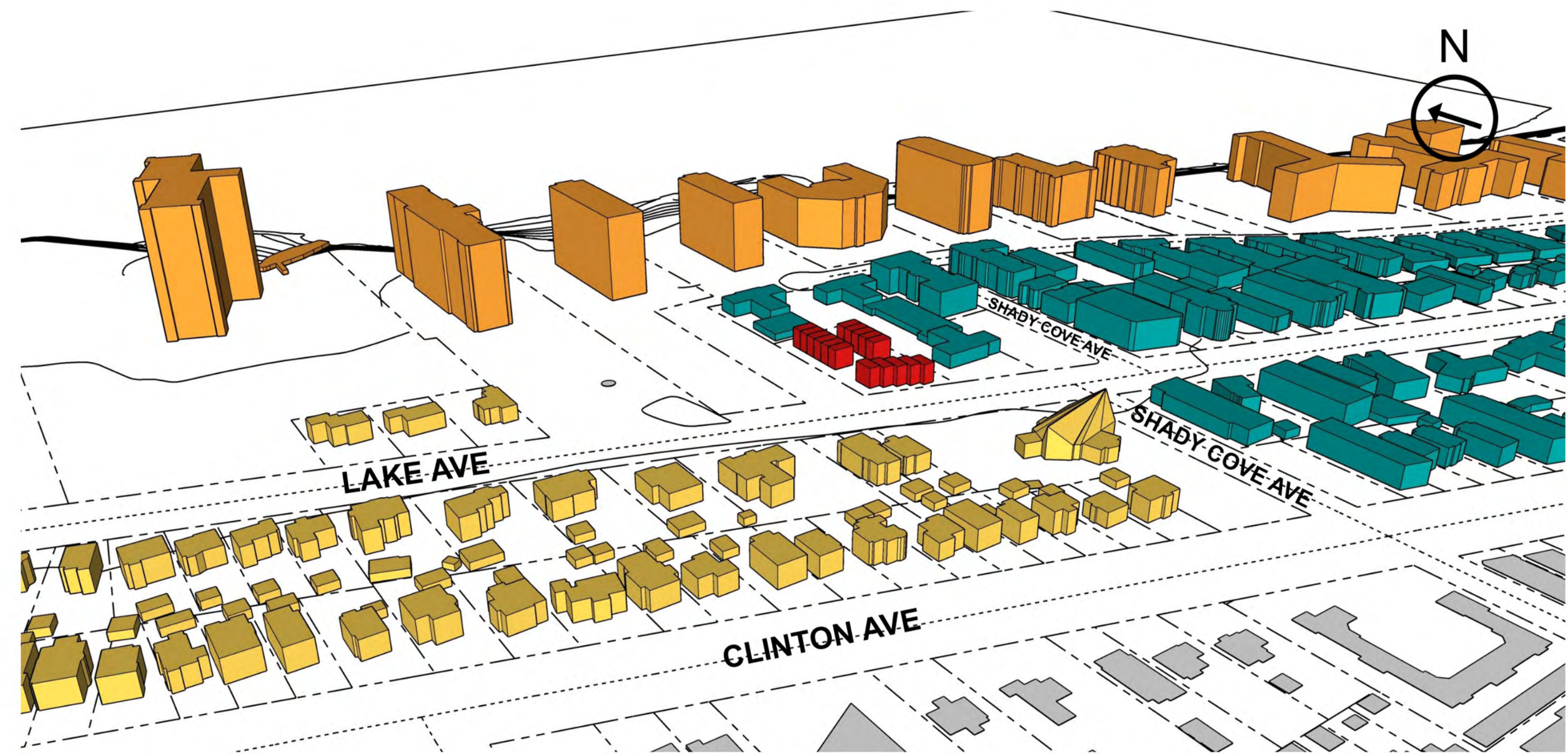
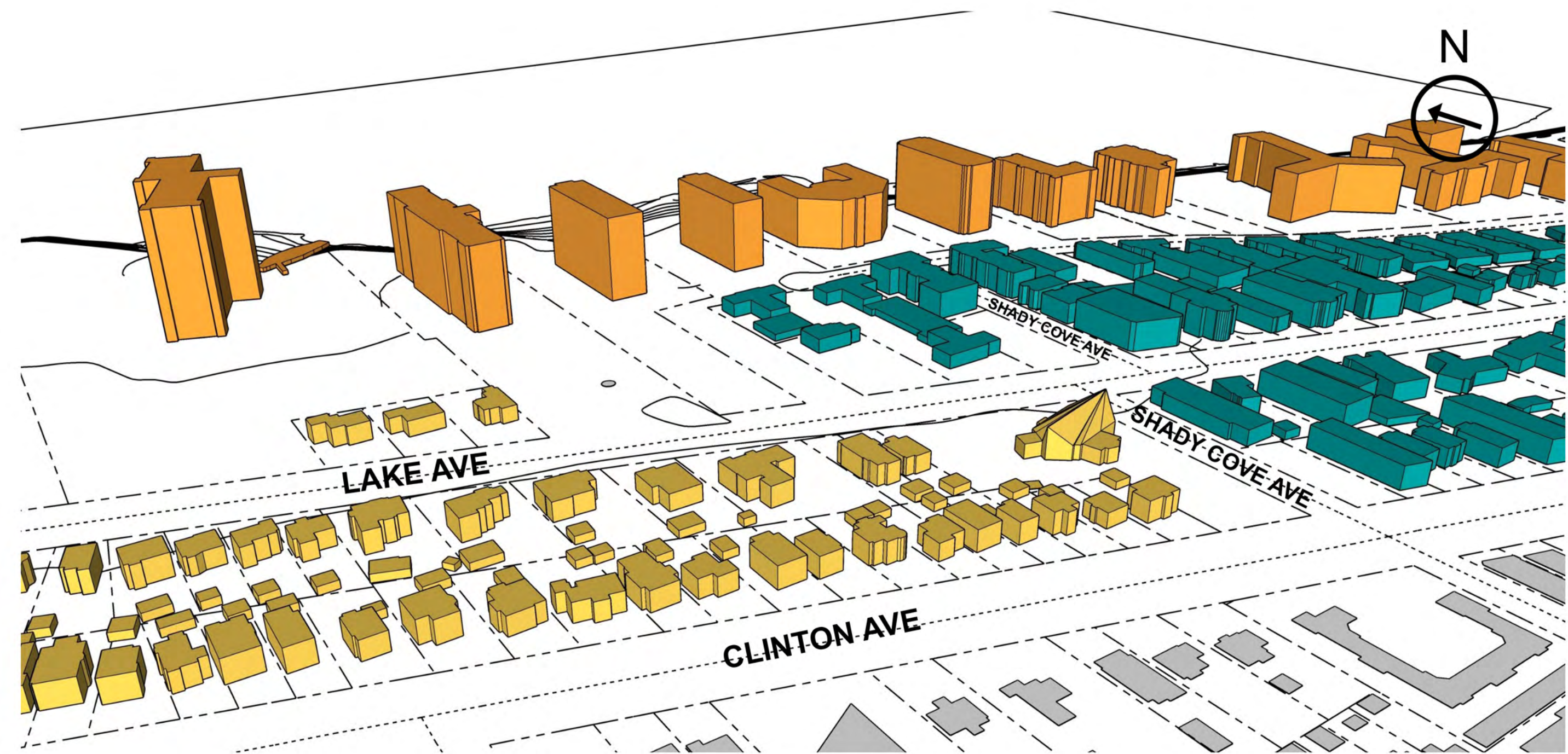
ISSUE

- △ _____
- △ _____
- △ _____
- △ _____
- △ _____
- △ _____
- △ _____
- △ _____
- △ _____
- △ _____
- △ _____

NEIGHBORHOOD CONTEXT

PROJECT # 23138S
DRAWN BY _____
CHECKED BY RDL
FILE NAME _____
PLOT DATE 03/19/2024

COPYRIGHT © 2015 ALL RIGHTS RESERVED



THE DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREIN ARE AND SHALL REMAIN THE PROPERTY OF RDL ARCHITECTS AND SHALL BE KEPT IN CONFIDENCE BY THE CONTRACTOR AND ALL OTHERS PARTICIPATING IN THE PROJECT. NO PART OF THIS PROJECT OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF RDL ARCHITECTS SHALL BE REPRODUCED, COPIED, DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. WRITTEN PERMISSION FROM RDL ARCHITECTS IS REQUIRED FOR ANY REUSE OF THESE DRAWINGS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL BE RESPONSIBLE FOR ANY DISCREPANCIES FROM THE DIMENSIONS AND CONDITIONS SHOWN IN THESE DRAWINGS.

ISSUE

- △ _____
- △ _____
- △ _____
- △ _____
- △ _____
- △ _____
- △ _____
- △ _____
- △ _____

**NEIGHBORHOOD
CONTEXT**

PROJECT # 23138S
DRAWN BY _____
CHECKED BY RDL
FILE NAME _____
PLOT DATE 03/19/2024

COPYRIGHT © 2015 ALL RIGHTS RESERVED

ISSUE

- △ _____
- △ _____
- △ _____
- △ _____
- △ _____
- △ _____
- △ _____
- △ _____
- △ _____
- △ _____

CONTEXT VIEWS

PROJECT # 23138S
DRAWN BY _____
CHECKED BY RDL
FILE NAME _____
PLOT DATE 03/19/2024

COPYRIGHT © 2015 ALL RIGHTS RESERVED



Eye Level - Looking west on Lake Ave.



Low Aerial - Looking east on Lake Ave.



Eye Level - Looking across Lake Ave.



Low Aerial - Looking west on Lake Ave.



Eye Level - Looking east on Lake Ave.



Aerial - Looking south from Marinae Towers



BOARD OF ZONING APPEALS

12650 Detroit Avenue • 44107 • (216) 529-6630 • FAX (216) 529-5907
www.lakewoodoh.gov

Application Cover Page

Docket No.: 04-07-24

Reference No.: BZA24-000013, BZA24-000015

Applicant Name: Charles McGettrick, Architects C.A. McGettrick LLC

Project Address: 1246 Manor Park Ave.

Project Name: n/a

Proposal: The demolition of the existing single car detached garage and a two-story addition to the primary structure and an attached two car garage. The proposal does not meet the minimum side yard requirement of 5 ft nor the combined side yard requirement of 15 feet. The property is located in the R1H, Single Family High-Density Zoning District.



14551 Madison Ave.
Lakewood, OH 44107

(216) 227-0700 - Fx#: (216) 227-0712
Email: archicam@ameritech.net

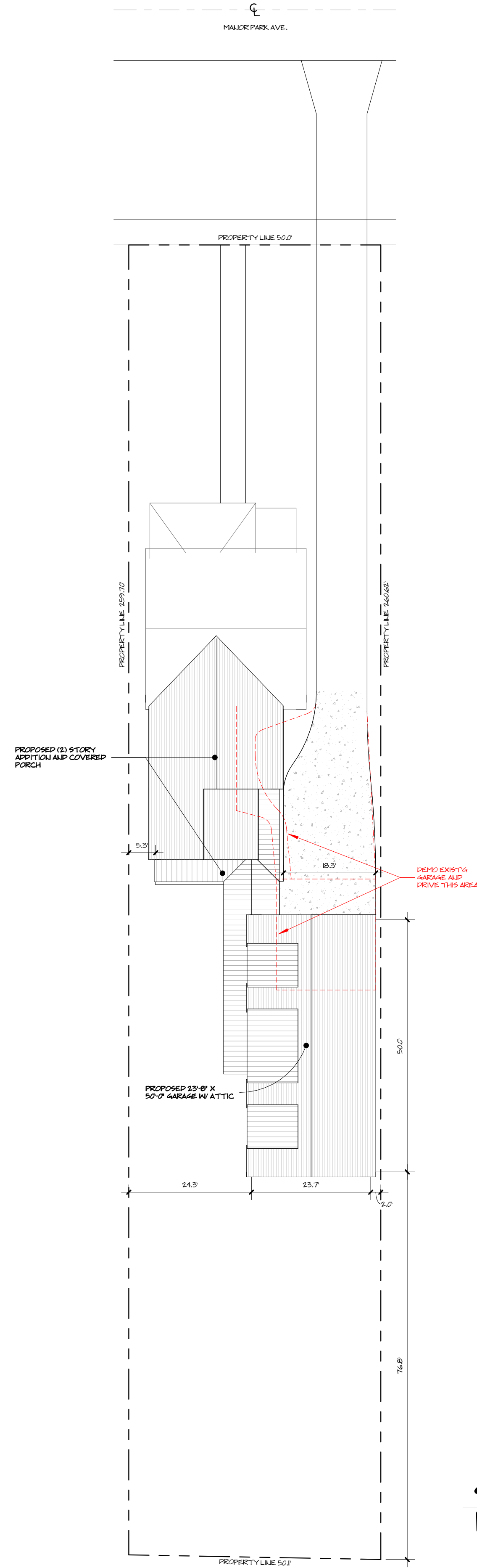
March 29, 2024

Re: 1246 Manor Park, Lakewood, Ohio 44107

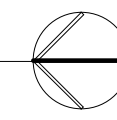
Letter of Consent for Architects, C. A. McGettrick LLC as Agents for:

Charles H. Essi

CAM/dew



SITE PLAN
1/16" = 1'-0"



DATE: 3/20/24
REVISION:

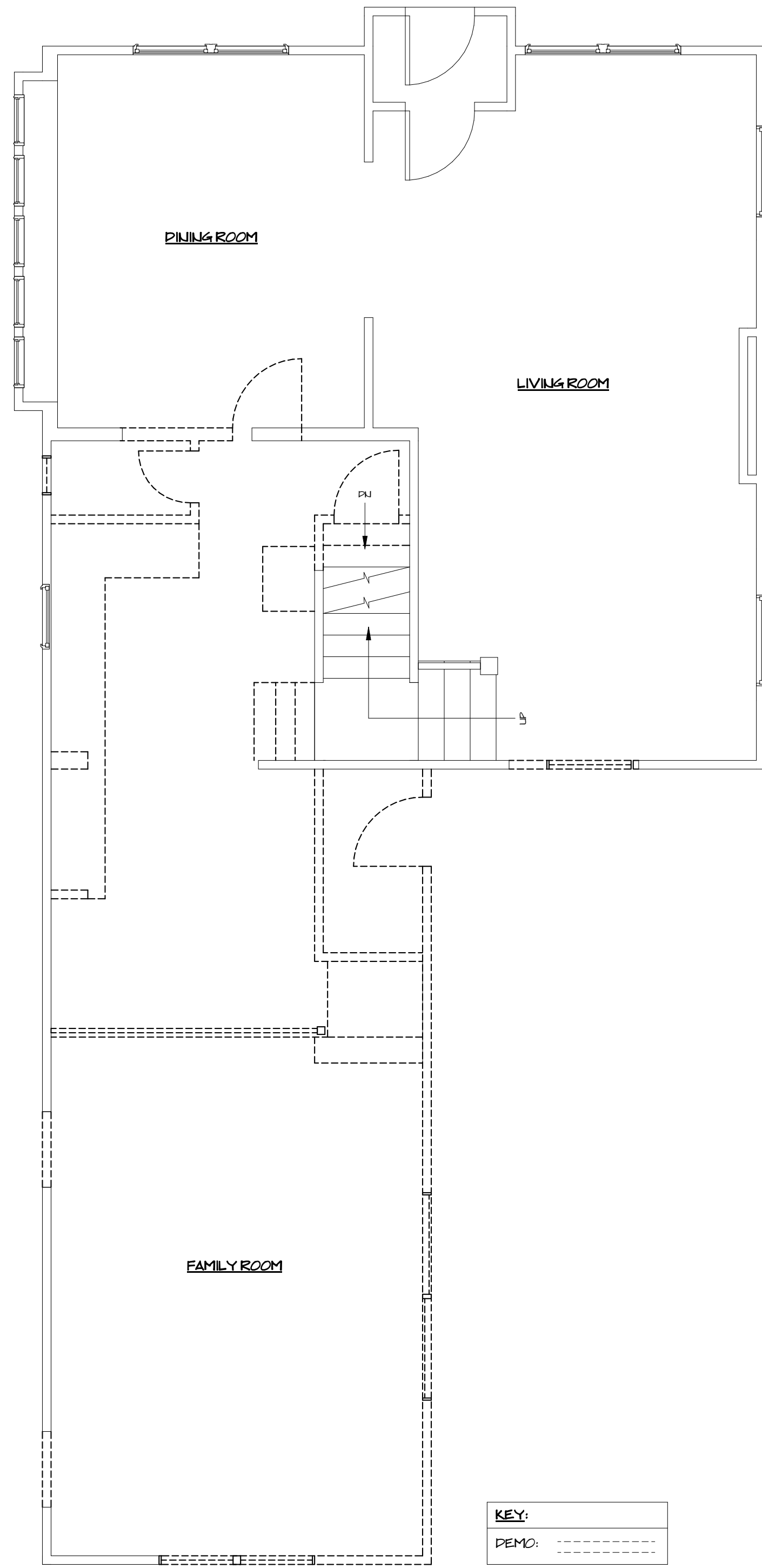
FOR BID

ESSI RESIDENCE
1246 Manor Park Ave. Lakewood, Ohio 44107

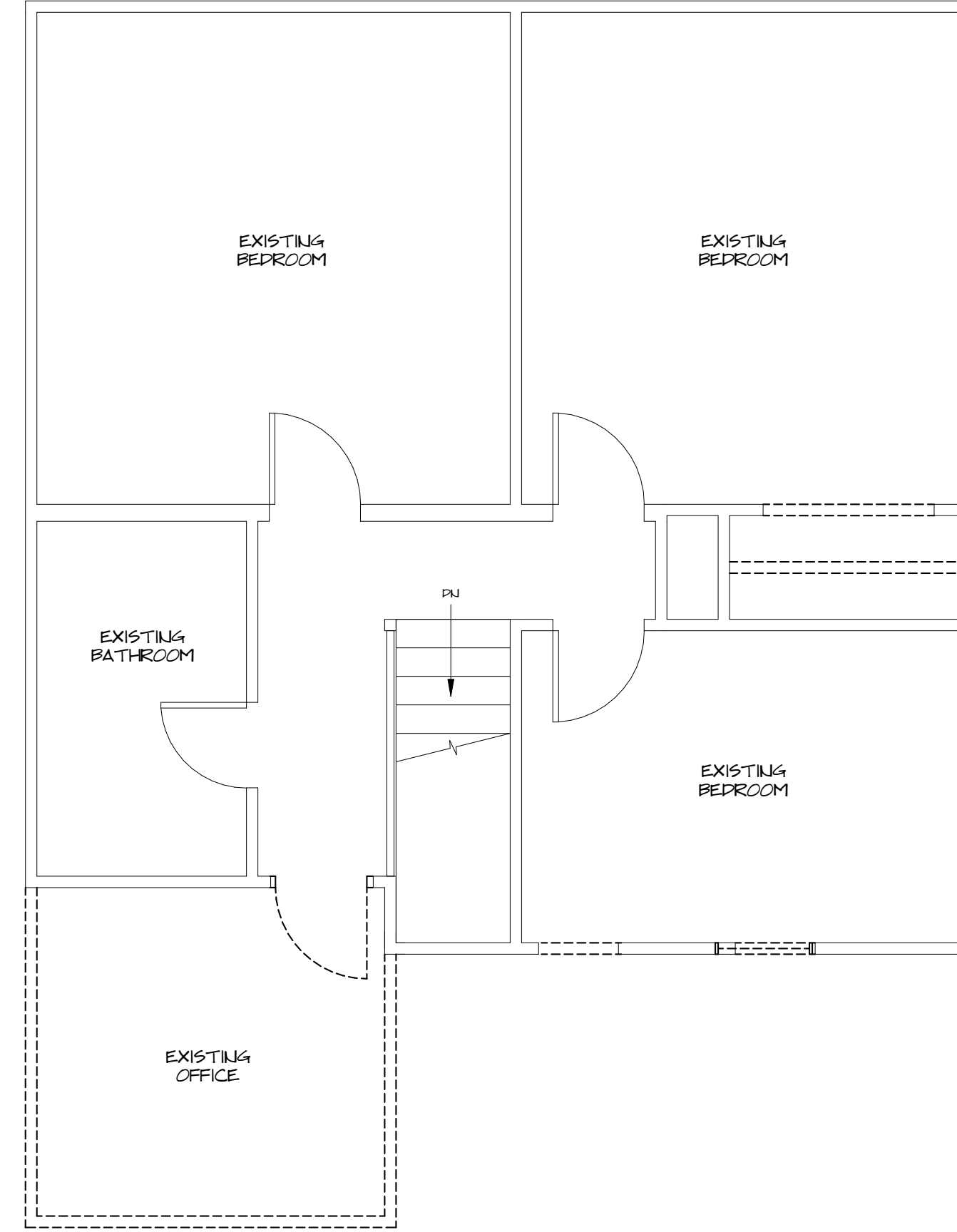
ARCHITECTS, C.A. McGETTRICK, LLC
14551 Madison Ave. Lakewood, Ohio 44107 216-227-0700 FAX: 216-227-0712

COMMISSION NO.
22027
CHARLES McGETTRICK JR. #775915
EXPIRATION DATE: 12/31/2024

SP



FIRST FLOOR DEMO PLAN
1/4" = 1'-0"



SECOND FLOOR DEMO PLAN
1/4" = 1'-0"

DATE: 3/20/24
REVISION:

FOR BID

ESSI RESIDENCE
1246 Manor Park Ave. Lakewood, Ohio 44107

ARCHITECTS, C.A. McGETTRICK, LLC
14551 Madison Ave. Lakewood, Ohio 44107 216-227-0700 FAX: 216-227-0712

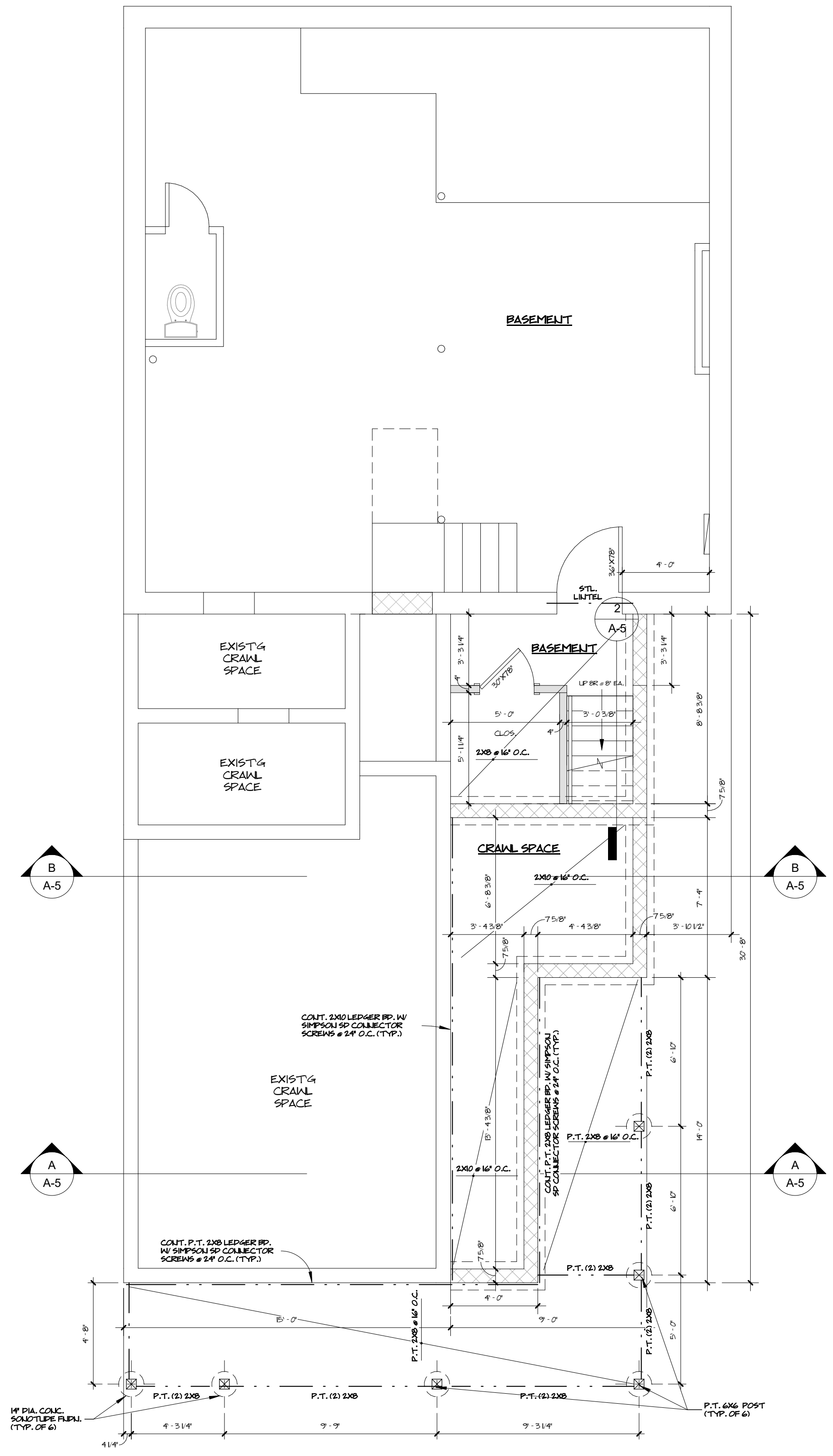
COMMISSION NO.
22027
CHARLES McGETTRICK JR. #75915
EXPIRATION DATE: 12/31/2024

DATE: 3/20/24
 C

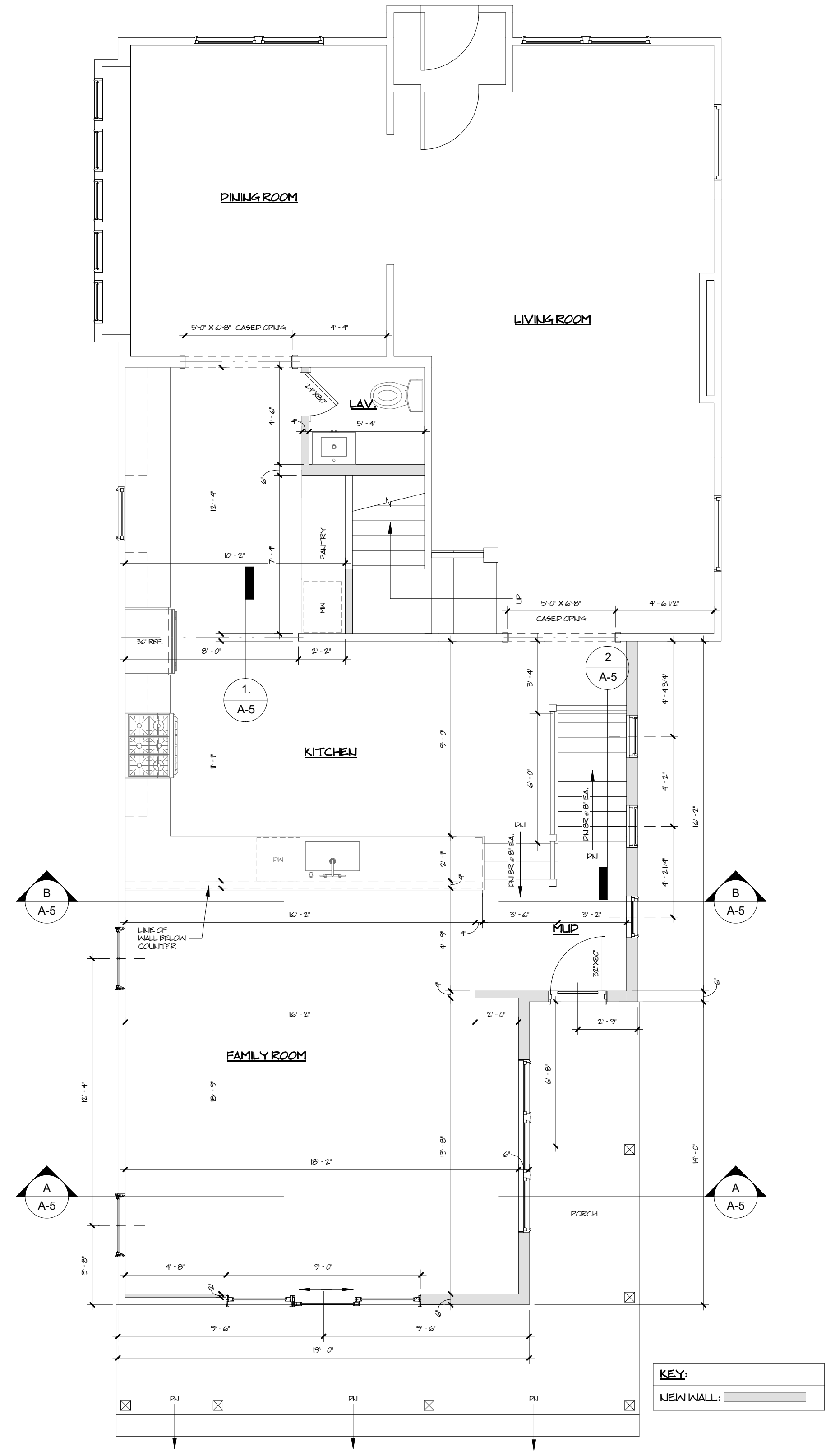
FOR BID

ESSI RESIDENCE
 1246 Manor Park Ave. Lakewood, Ohio 44107
ARCHITECTS, C.A. McGETTRICK, LLC
 14551 Madison Ave. Lakewood, Ohio 44107 216-227-0700 FAX: 216-227-0712

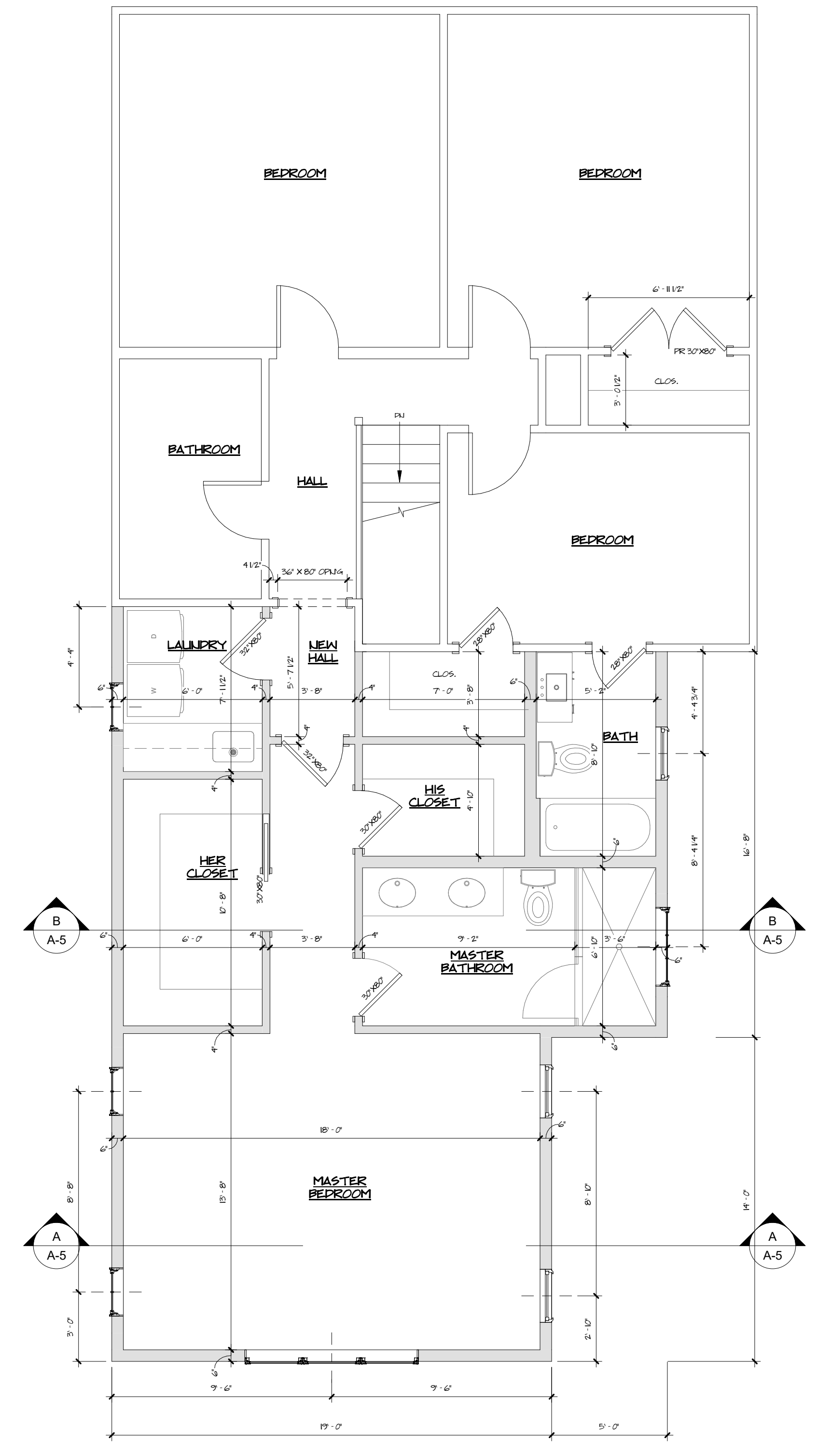
COMMISSION NO.
 22027
 CHARLES McGETTRICK JR. #77595
 EXPIRATION DATE: 12/31/2024



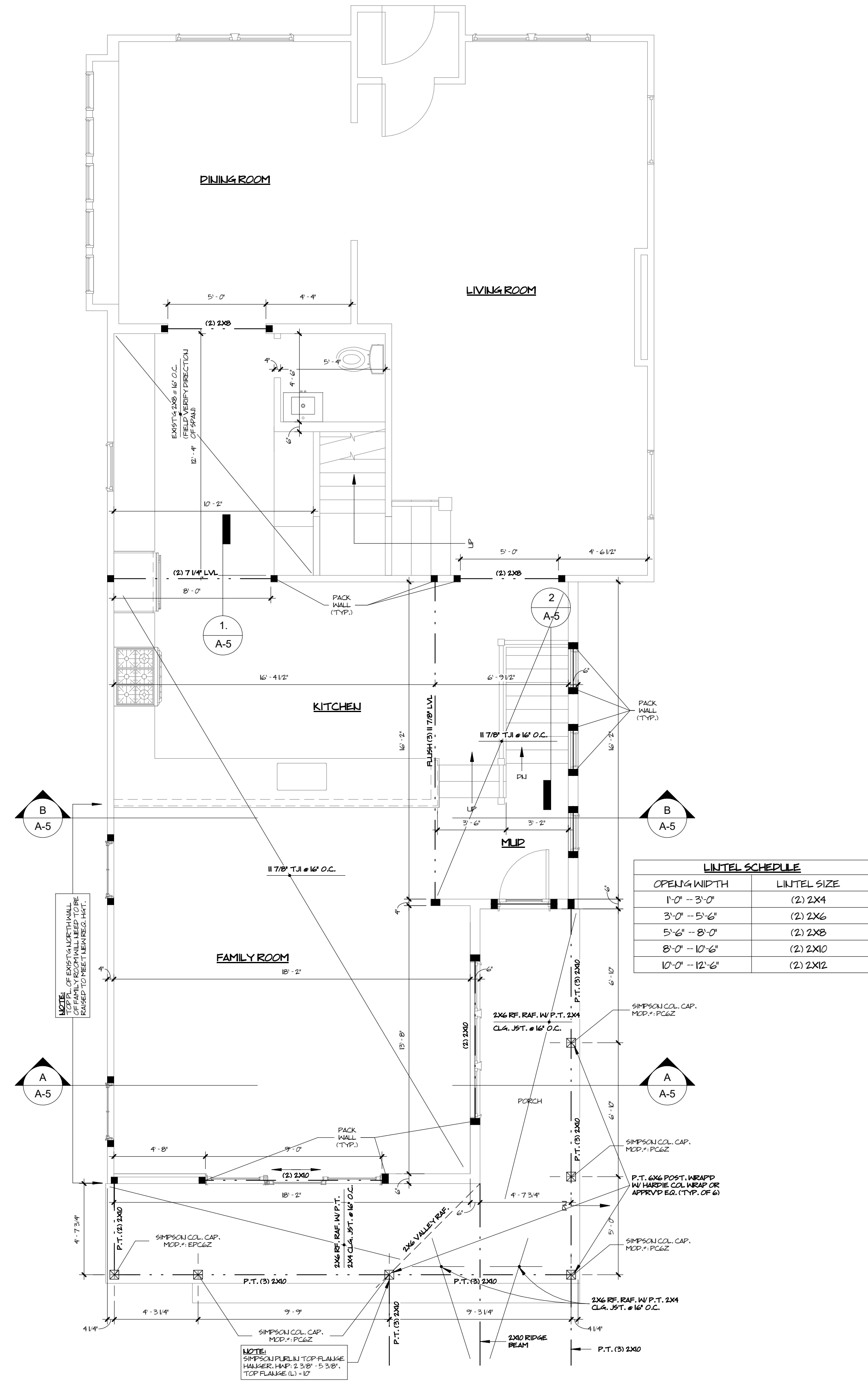
FOUNDATION PLAN
 1/4" = 1'-0"



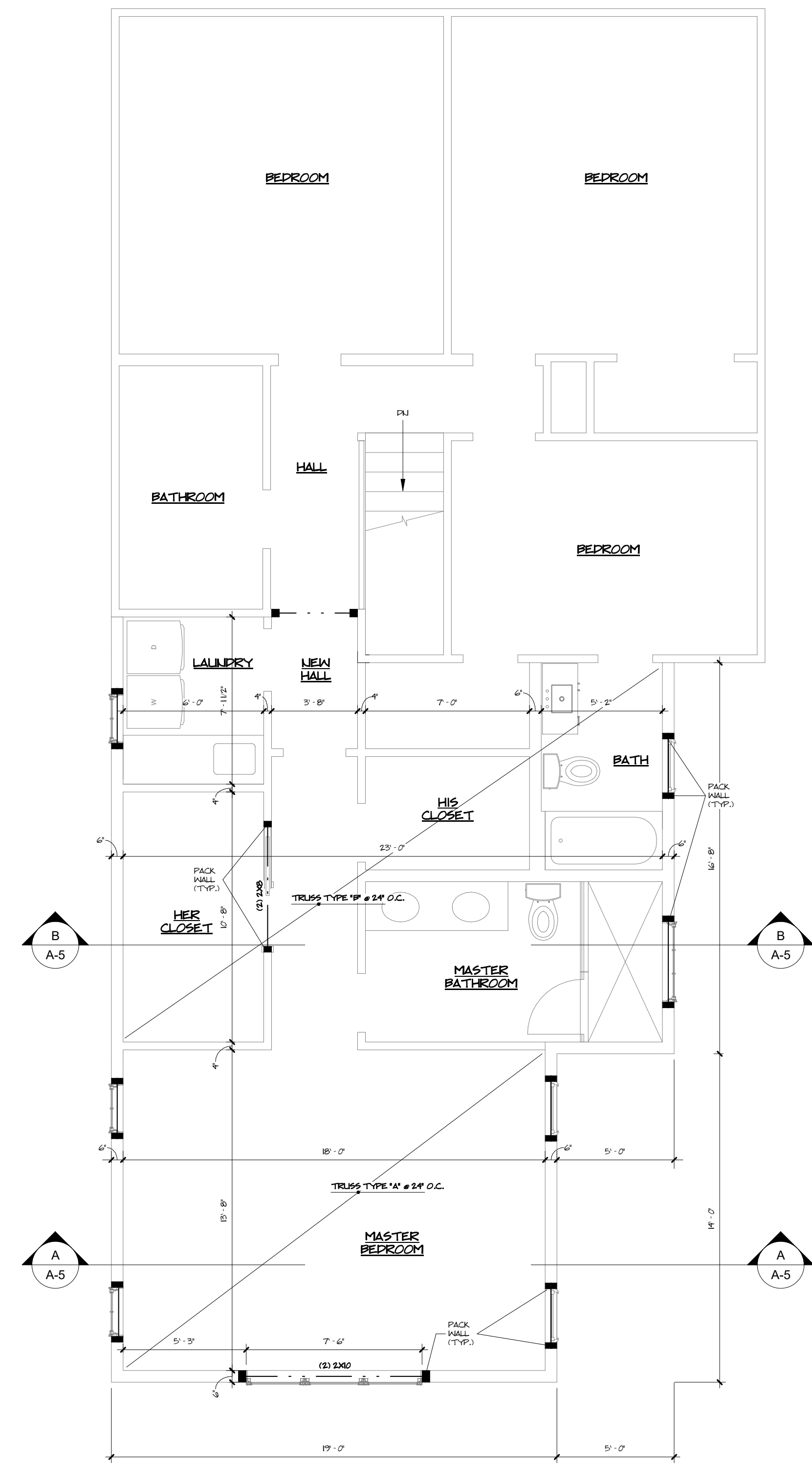
FIRST FLOOR PLAN
 1/4" = 1'-0"



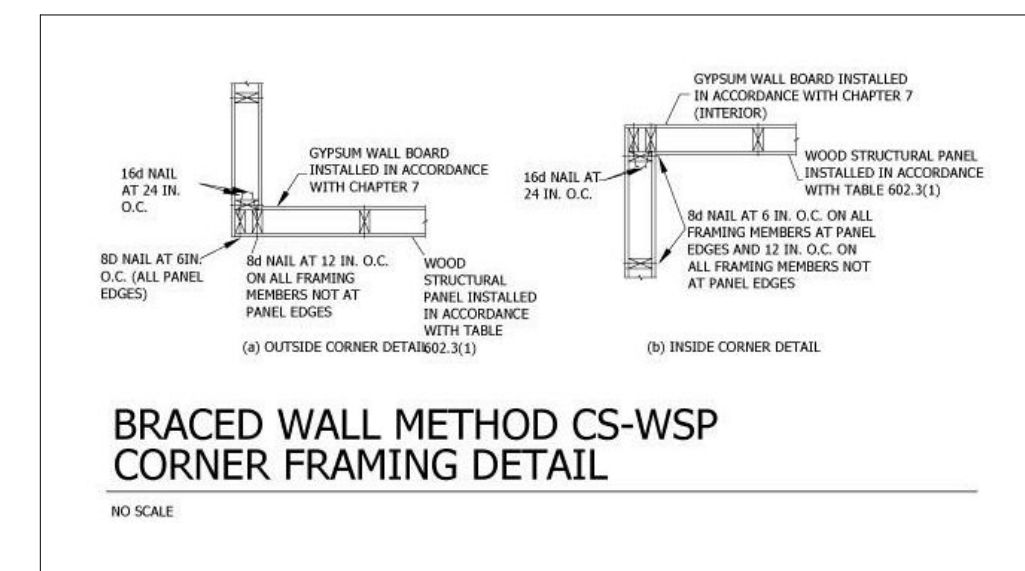
SECOND FLOOR PLAN
 1/4" = 1'-0"



FIRST FLOOR FRAMING PLAN
1/4" = 1'-0"



SECOND FLOOR FRAMING PLAN
1/4" = 1'-0"



DATE: 3/20/24
REVISION:
FOR BID

ESSI RESIDENCE
1246 Manor Park Ave. Lakewood, Ohio 44107

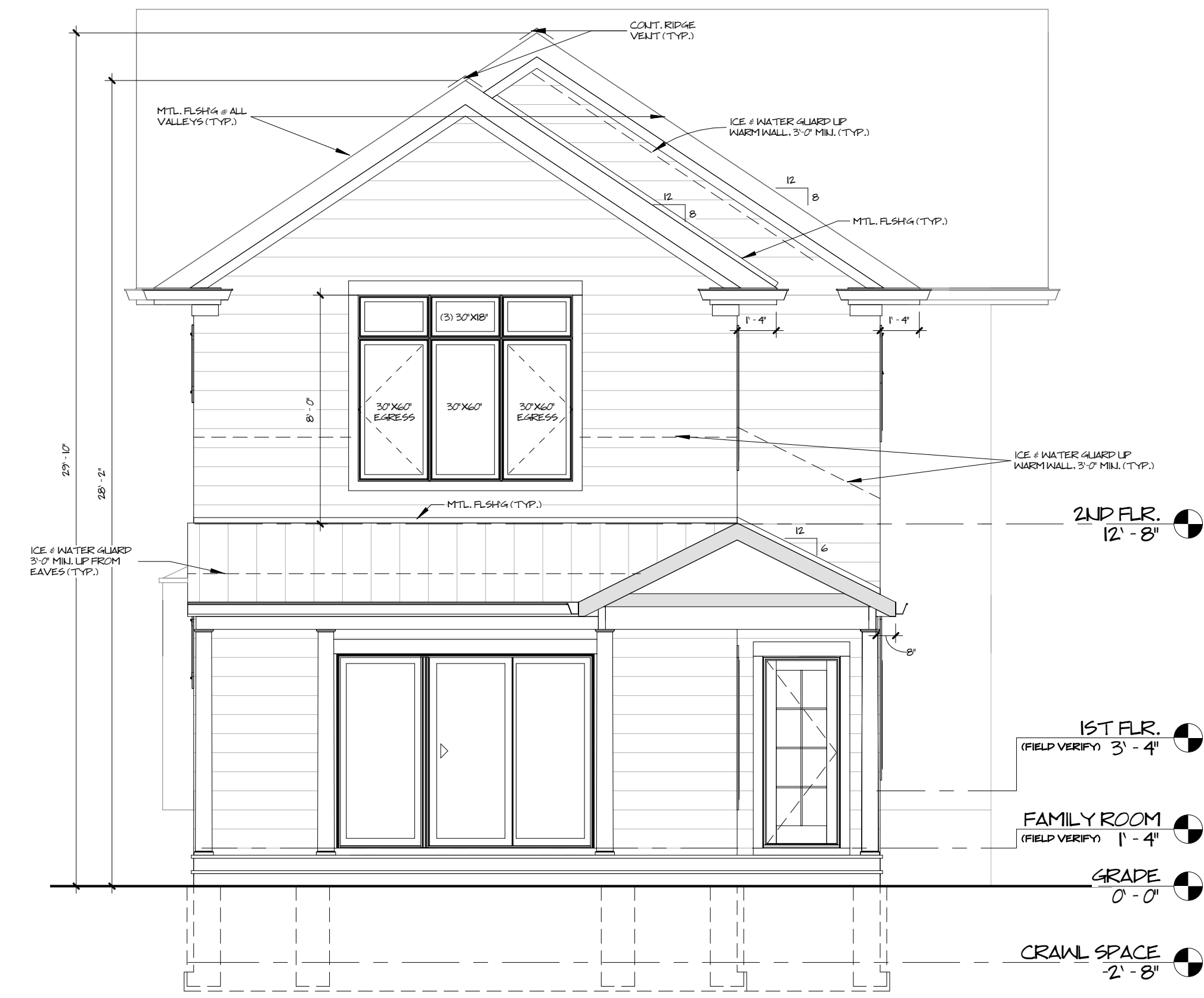
ARCHITECTS, C.A. McGETTRICK, LLC
14551 Madison Ave. Lakewood, Ohio 44107 216-227-0700 FAX: 216-227-0712

COMMISSION NO. 22027
CHARLES McGETTRICK, JR. #77596
EXPIRATION DATE: 12/31/2024

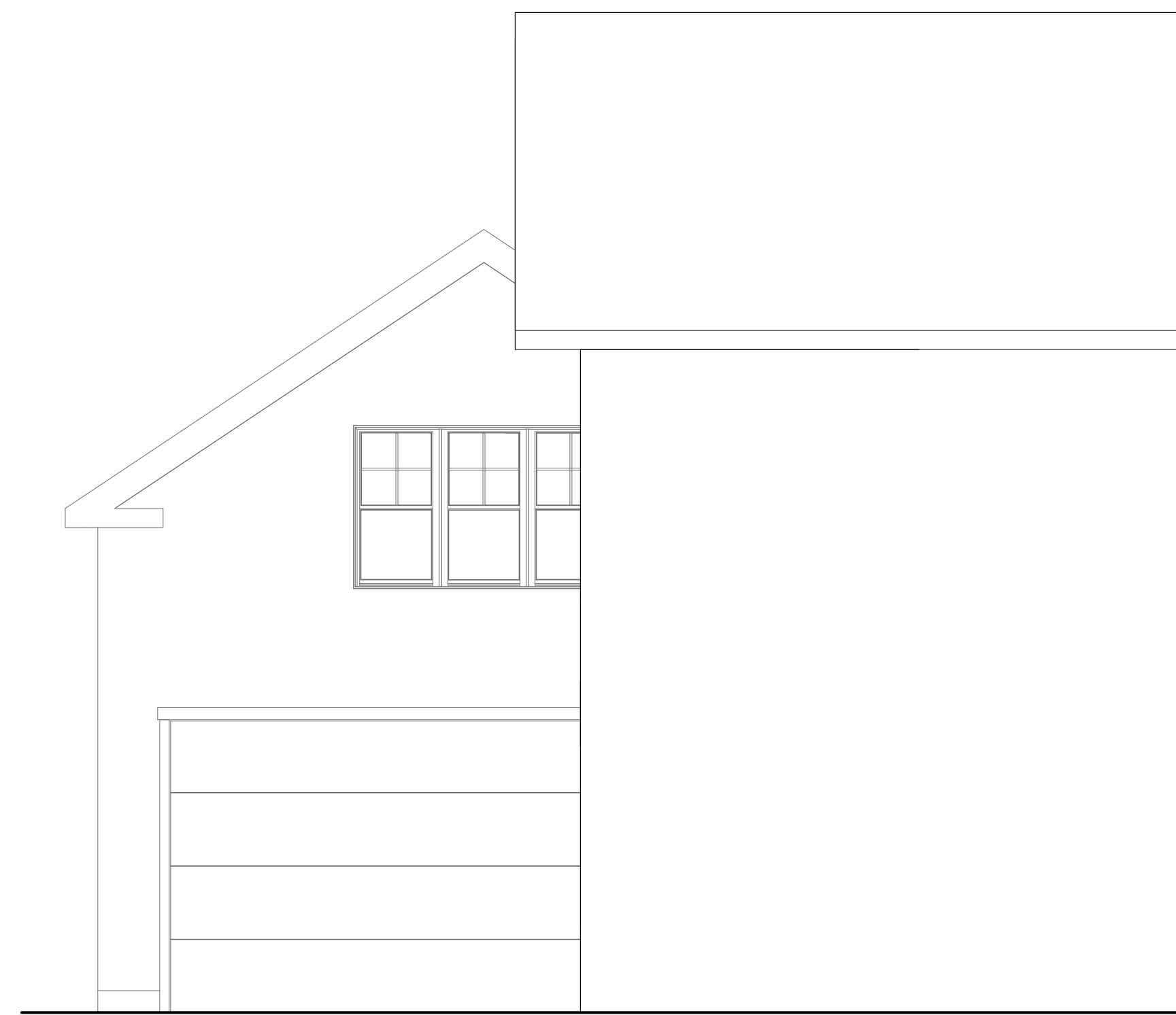
A-3



SOUTH ELEVATION
1/4" = 1'-0"



WEST ELEVATION
1/4" = 1'-0"



PARTIAL EAST ELEVATION
1/4" = 1'-0"



NORTH ELEVATION
1/4" = 1'-0"

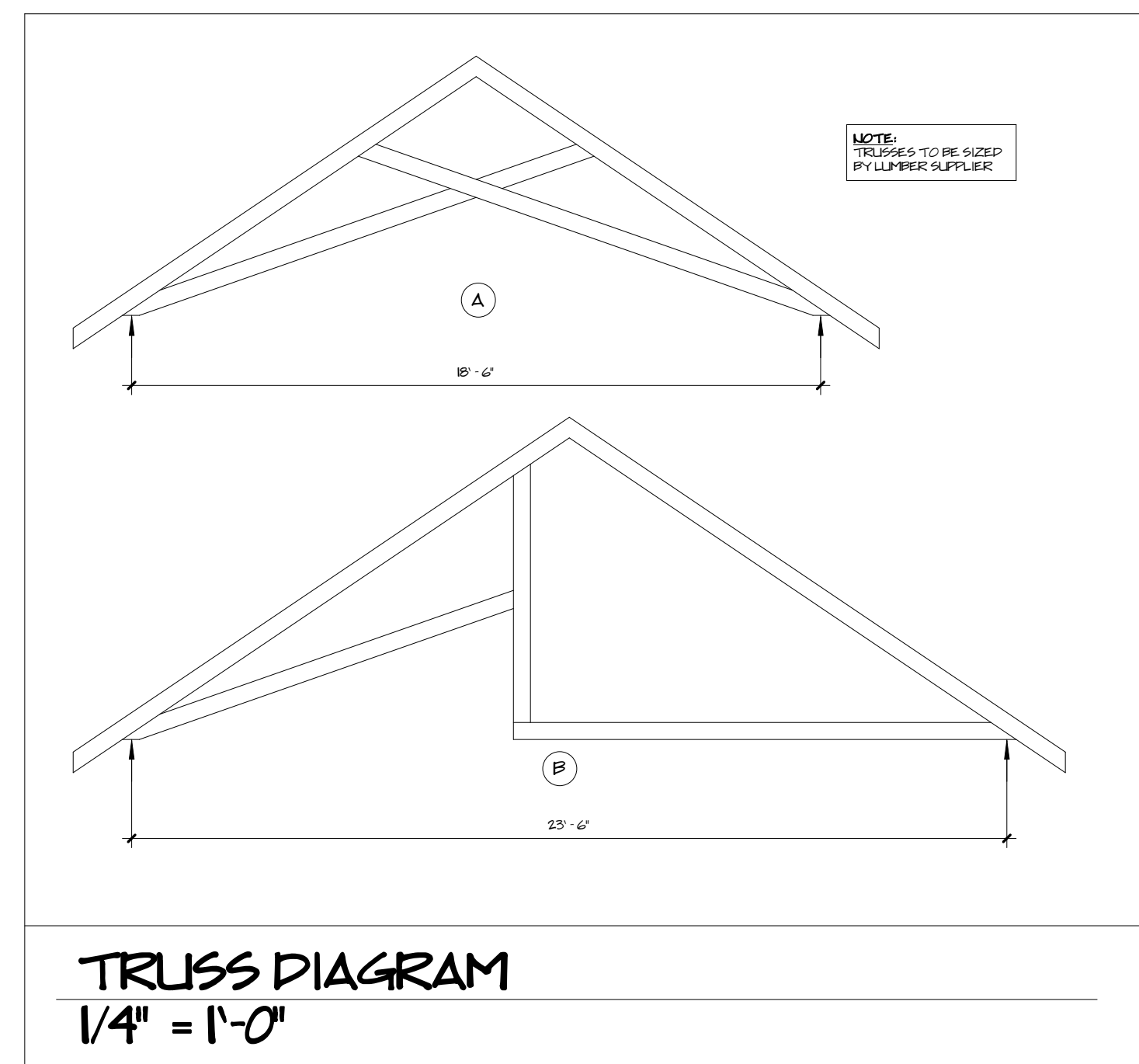
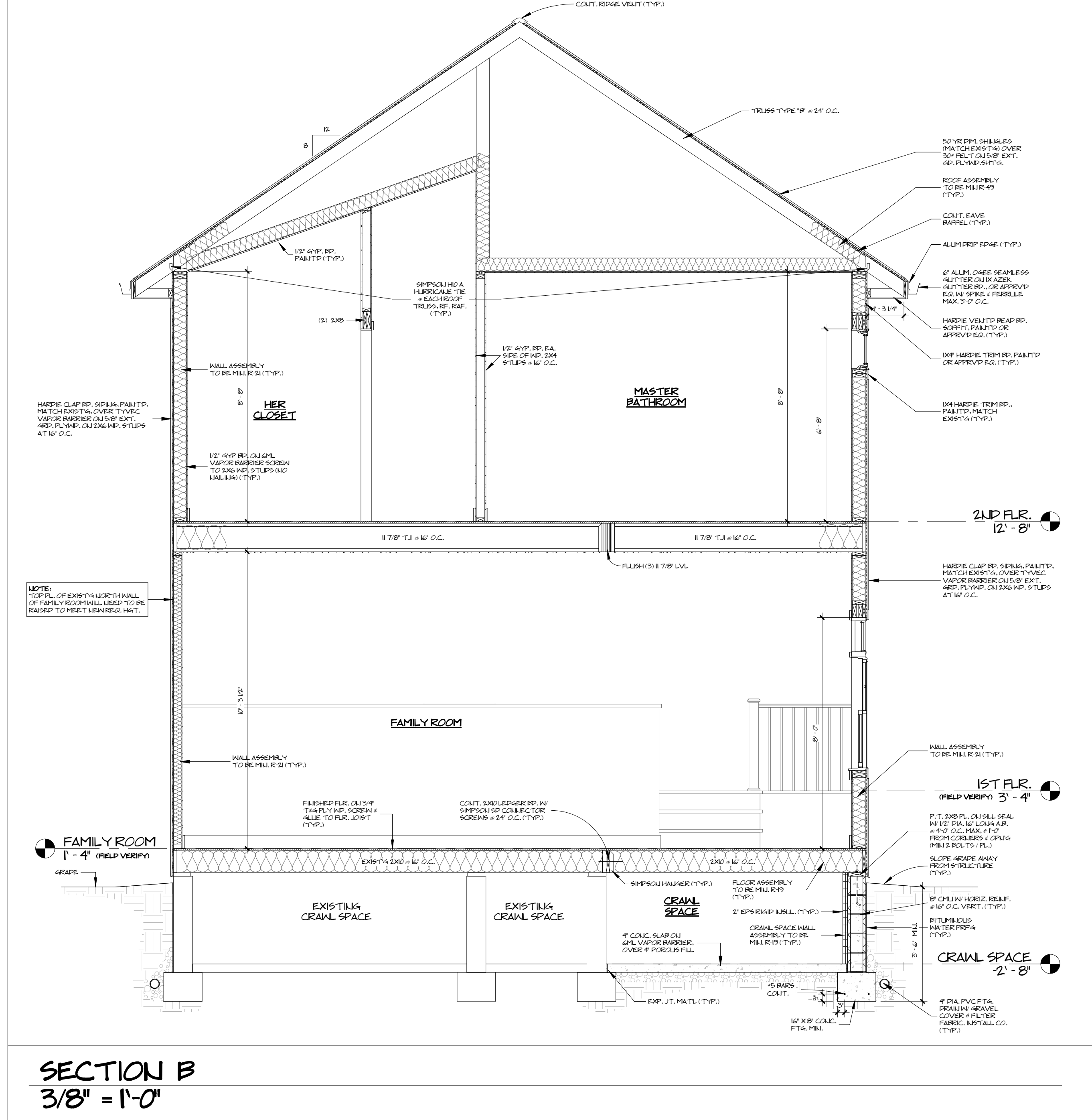
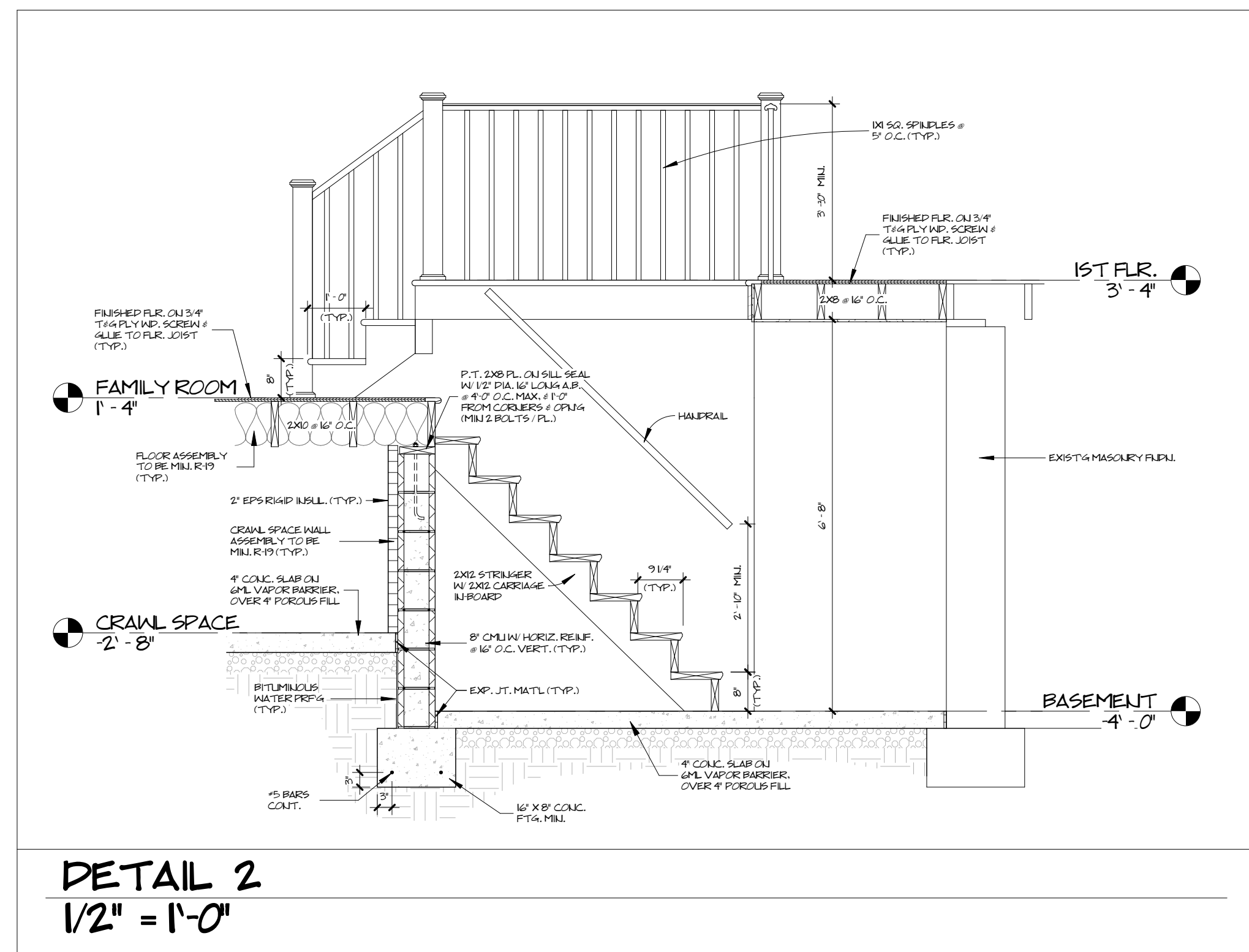
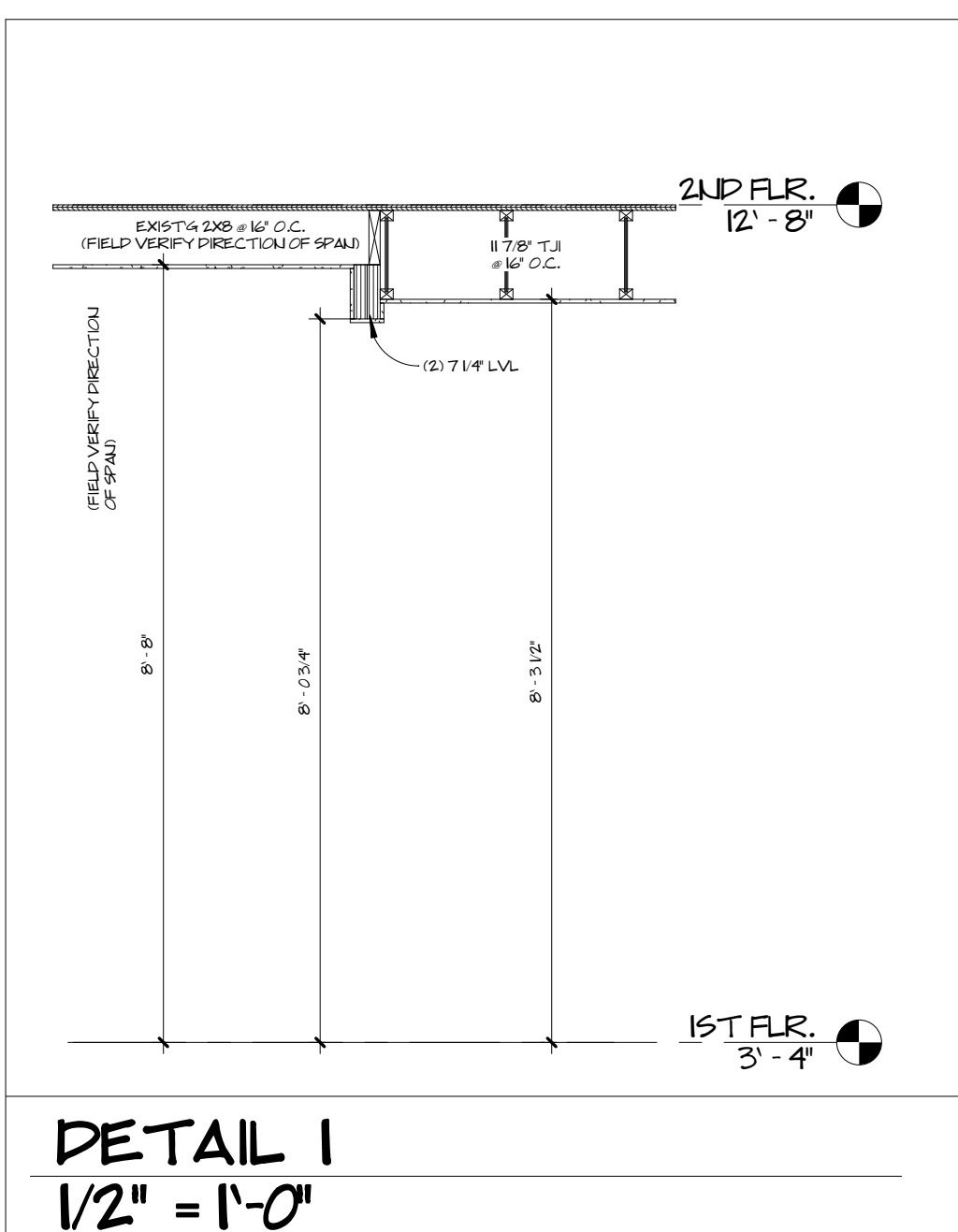
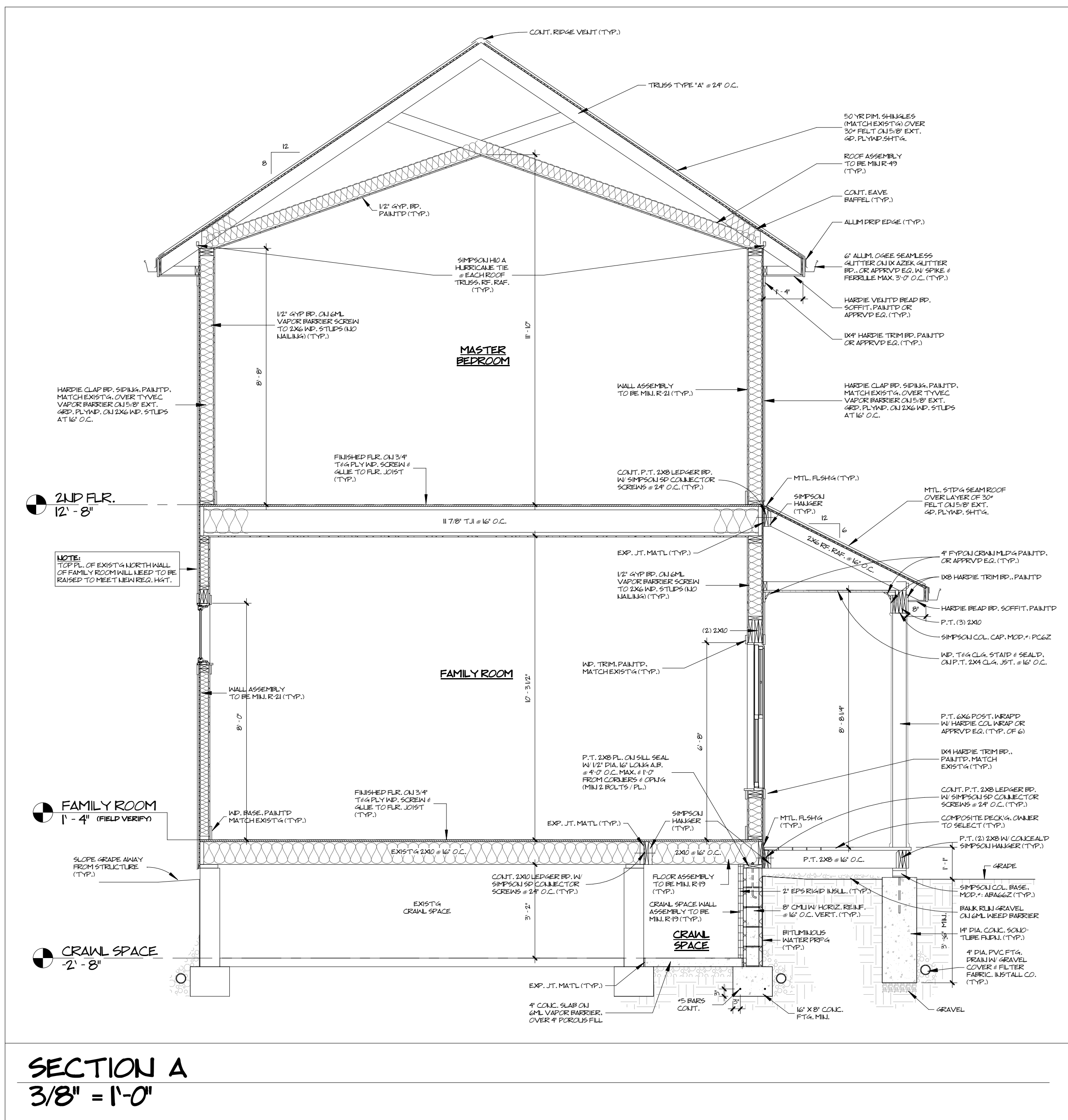
DATE: 3/20/24
REVISION:

FOR BID

ESSI RESIDENCE
1246 Manor Park Ave. Lakewood, Ohio 44107
ARCHITECTS, C.A. McGETTRICK, LLC
14551 Madison Ave. Lakewood, Ohio 44107 216-227-0700 FAX: 216-227-0712

COMMISSION NO.
22027
CHARLES McGETTRICK JR. #775915
EXPIRATION DATE: 12/31/2024

A-4



DATE: 3/20/24
REVISION:

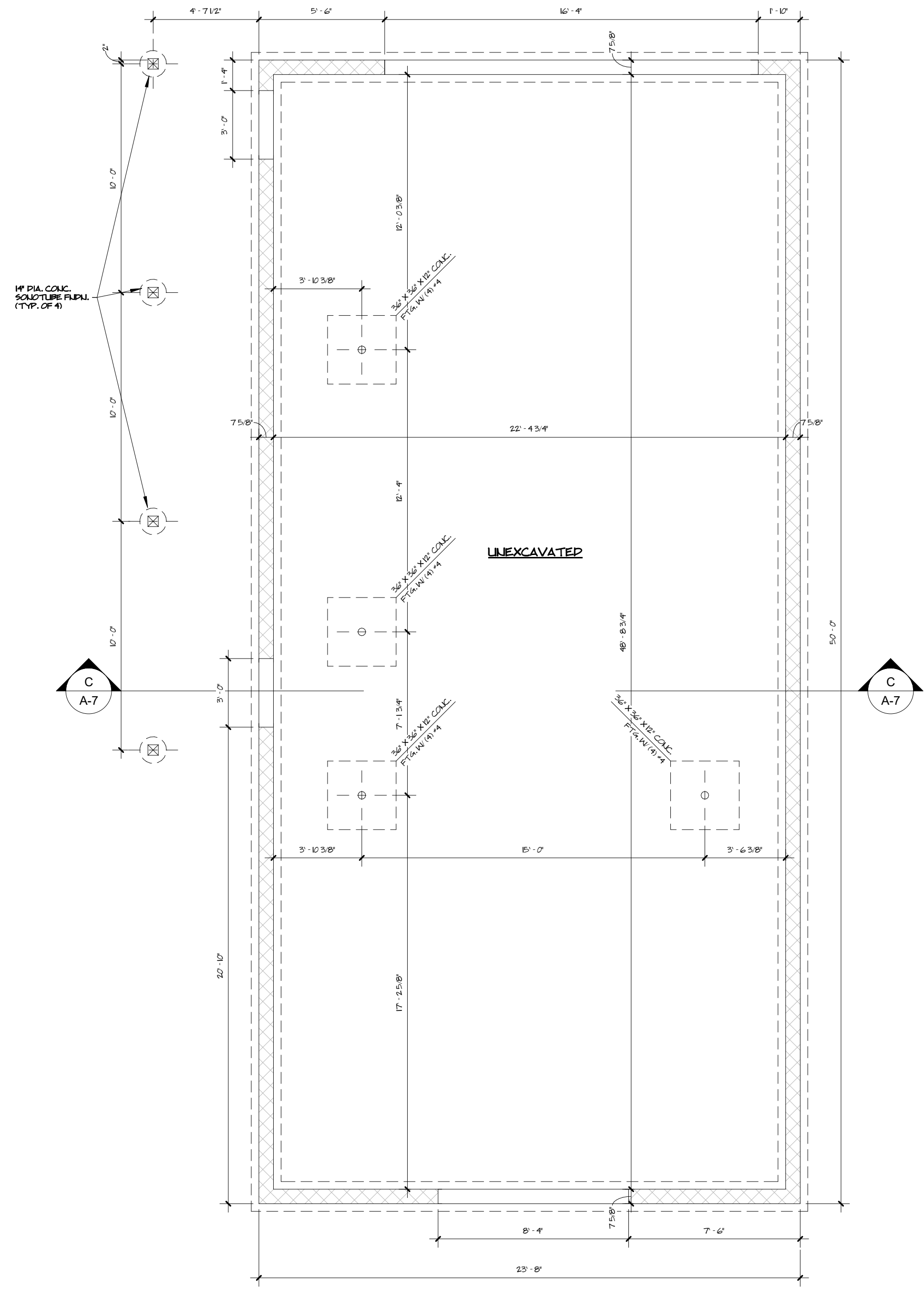
FOR BID

ESSI RESIDENCE
1246 Manor Park Ave. Lakewood, Ohio 44107

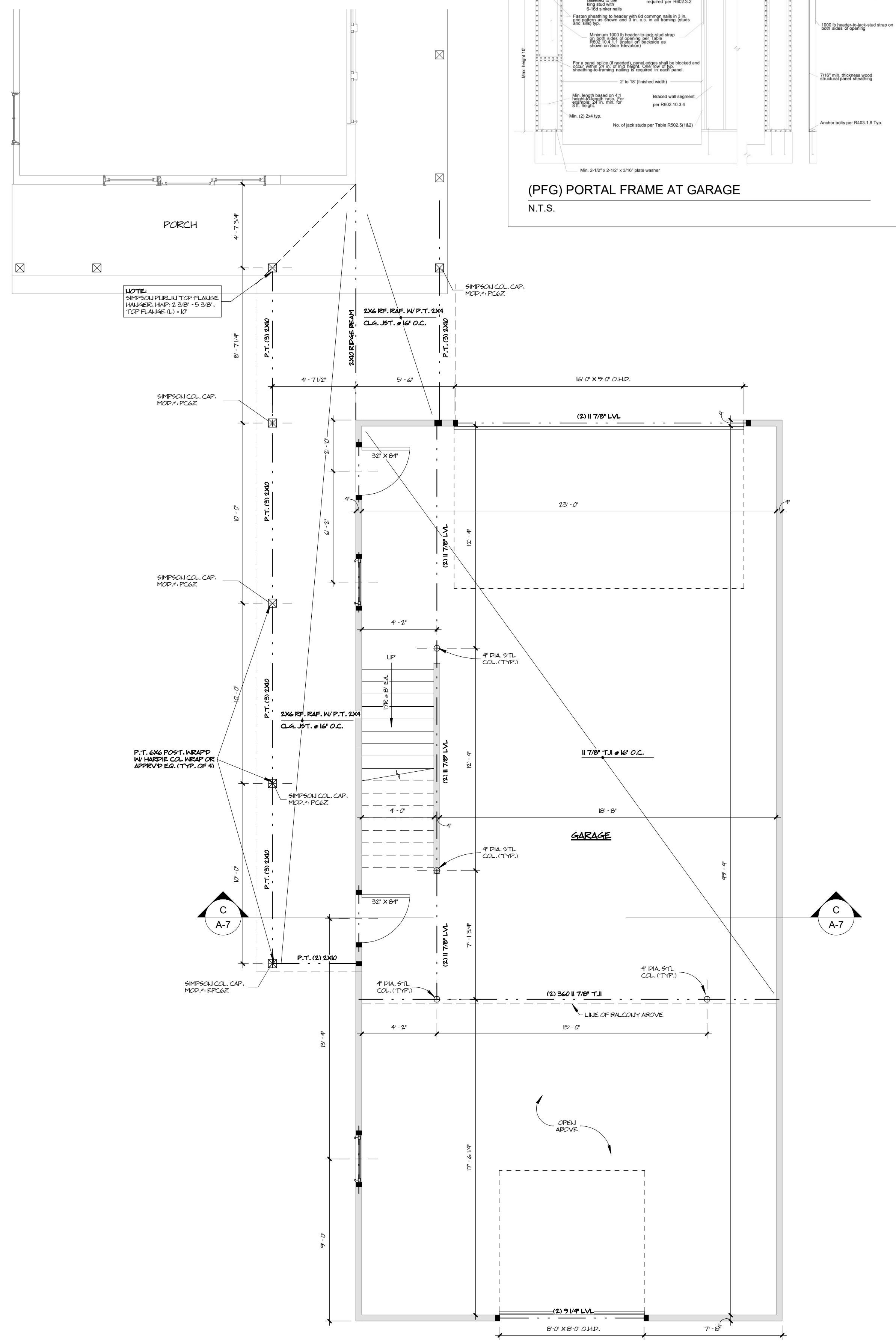
ARCHITECTS, C.A. McGETTRICK, LLC
14551 Madison Ave. Lakewood, Ohio 44107 216-227-0700 FAX: 216-227-0712

COMMISSION NO.
22027
CHARLES McGETTRICK, JR. #77596
EXPIRATION DATE: 12/31/2024

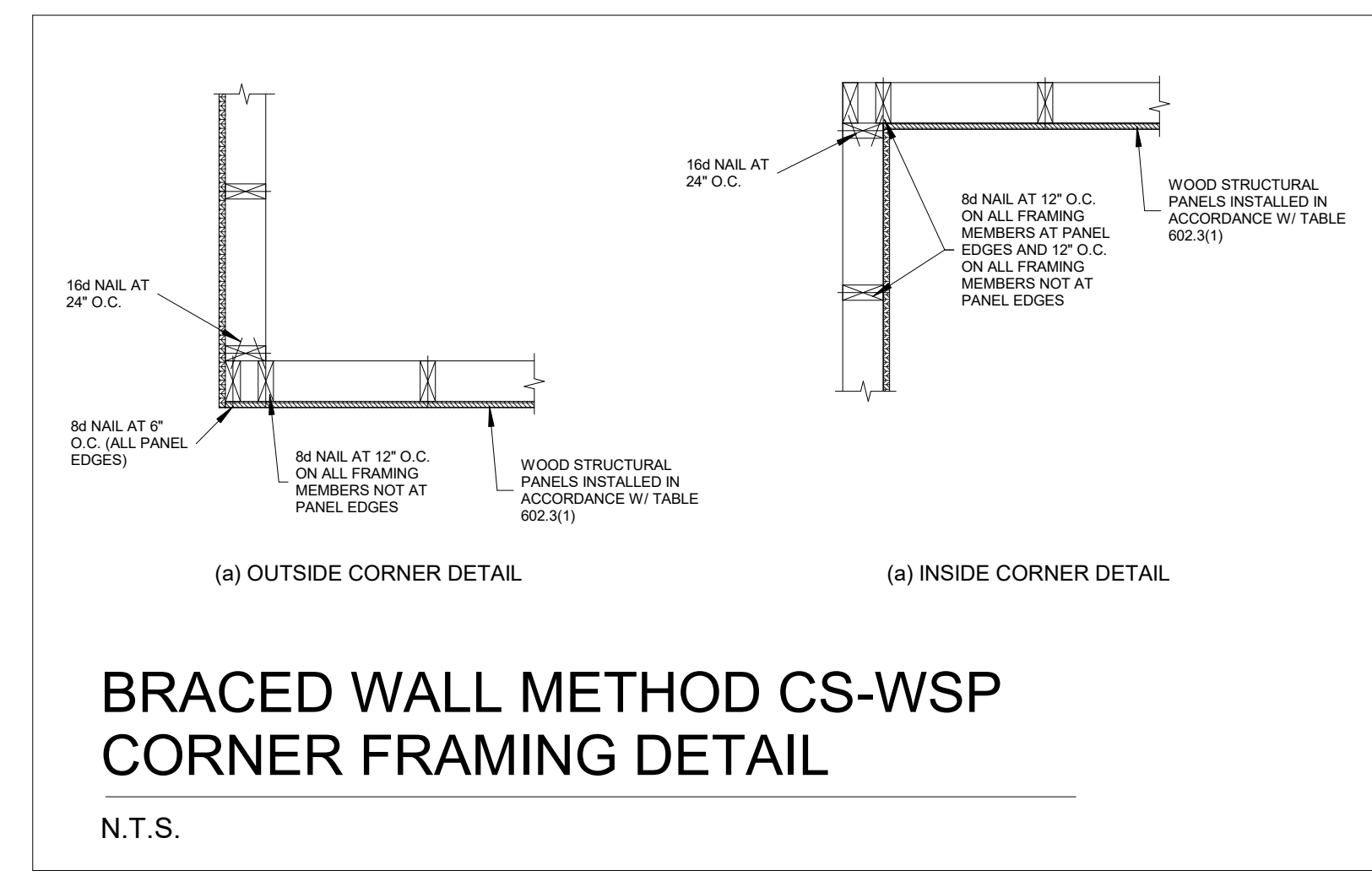
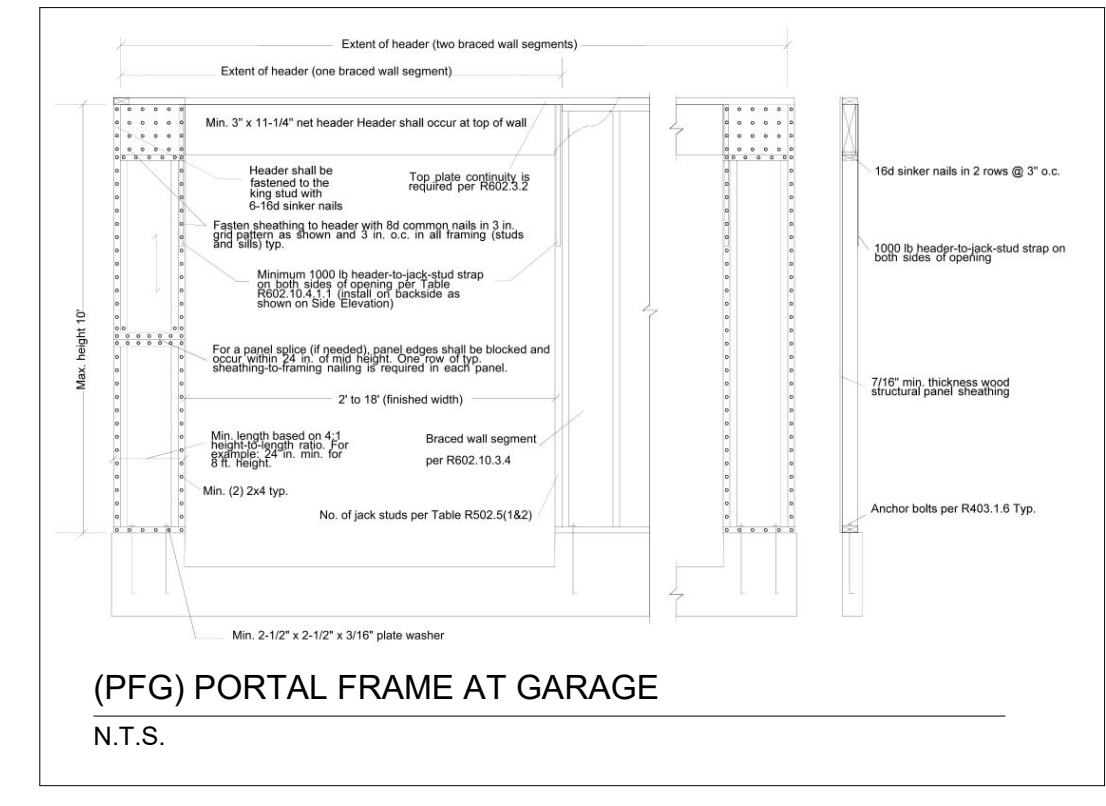
A-5



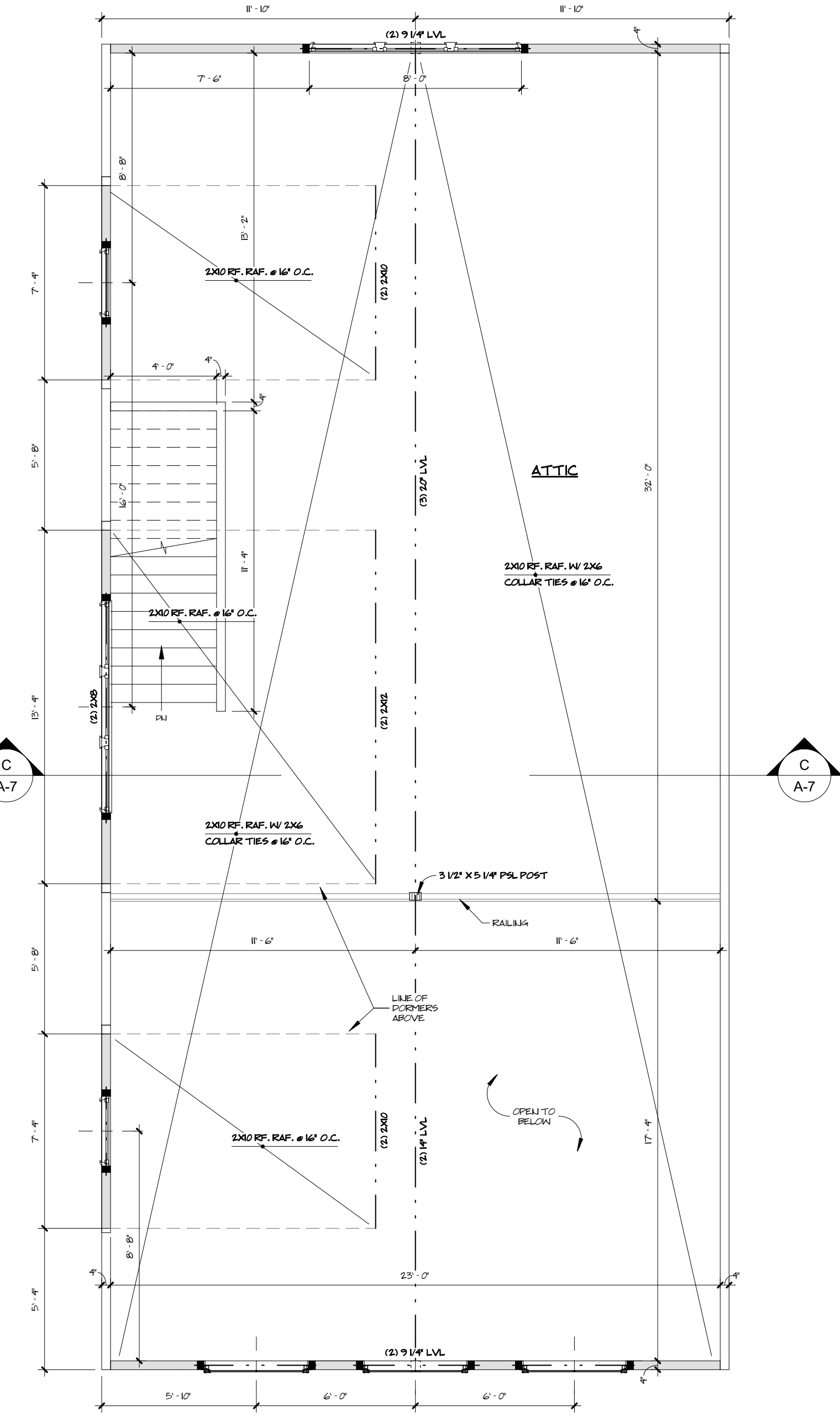
GARAGE FOUNDATION PLAN
1/4" = 1'-0"



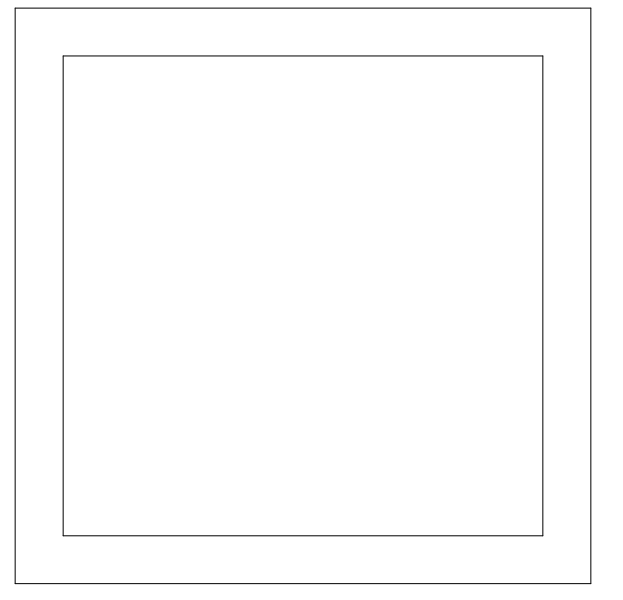
GARAGE PLAN
1/4" = 1'-0"



BRACED WALL METHOD CS-WSP CORNER FRAMING DETAIL
N.T.S.



GARAGE ATTIC
1/4" = 1'-0"



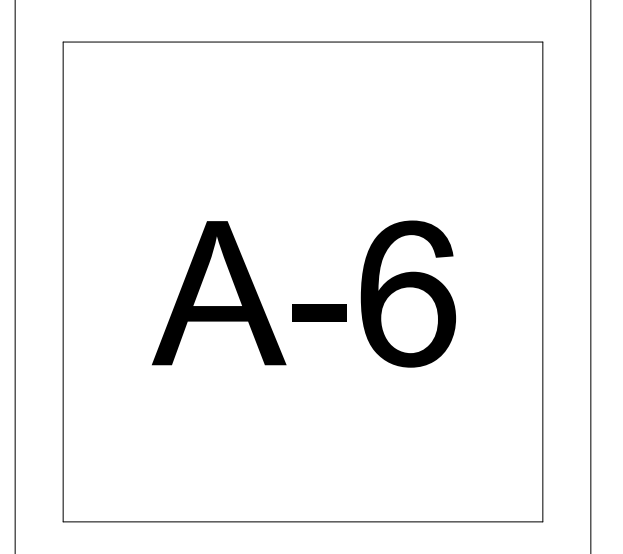
DATE: 3/20/24
REVISION:

FOR BID

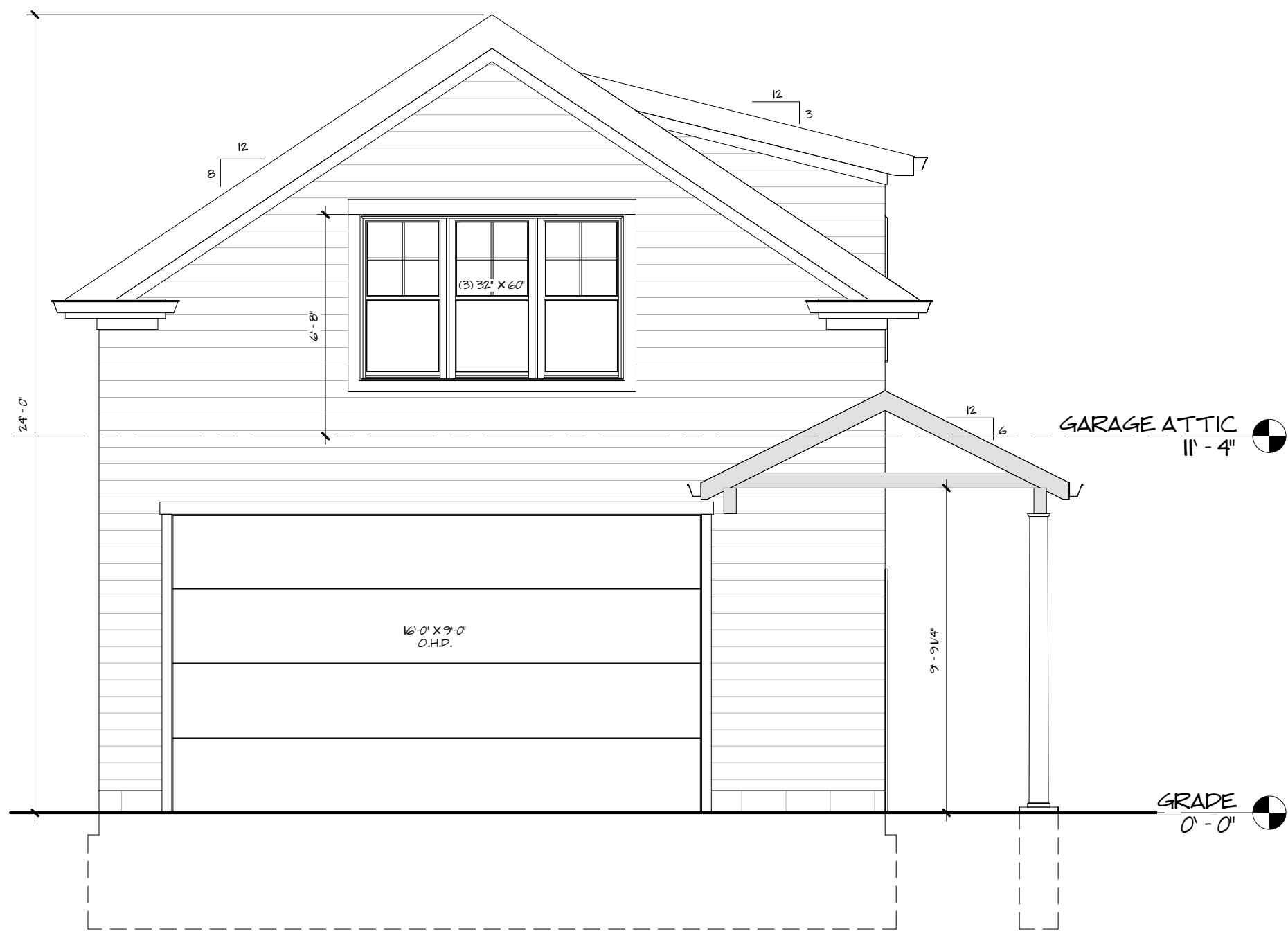
ESSI RESIDENCE
1246 Manor Park Ave. Lakewood, Ohio 44107

ARCHITECTS, C.A. McGETTRICK, LLC
14551 Madison Ave. Lakewood, Ohio 44107 216-227-0700 FAX: 216-227-0712

COMMISSION NO.
22027
CHARLES McGETTRICK JR. #77595
EXPIRATION DATE: 12/31/2024



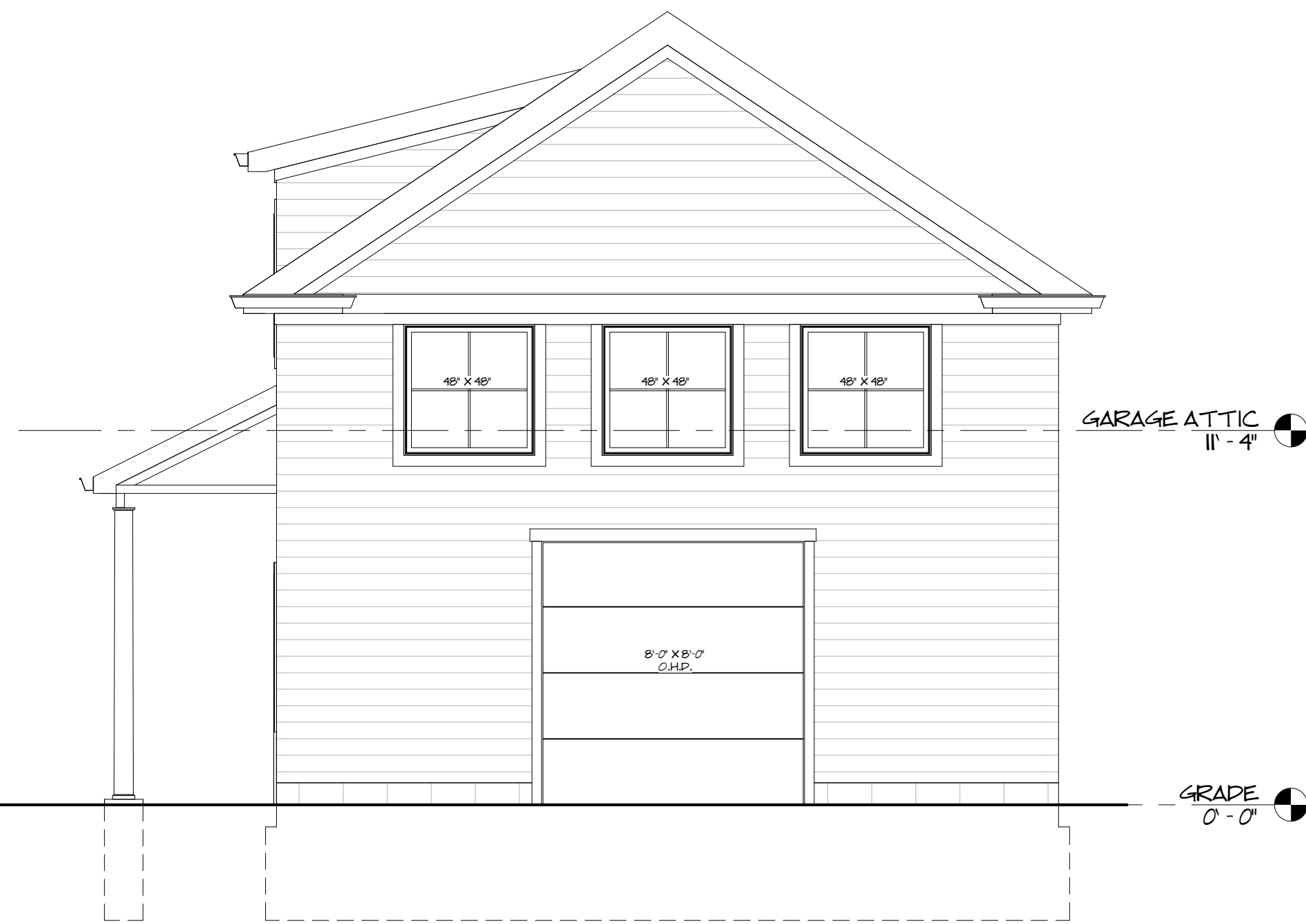
A-6



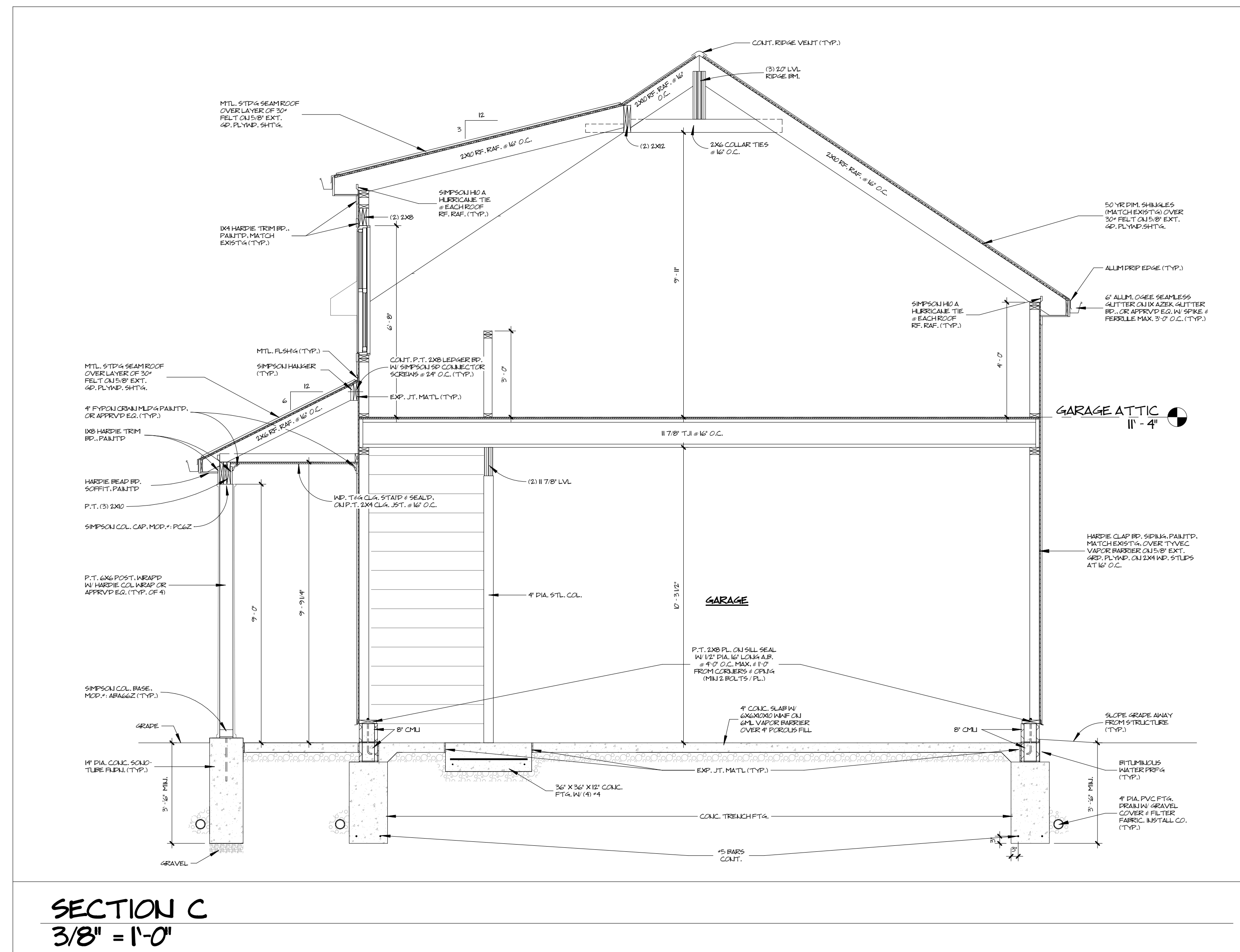
GARAGE EAST ELEVATION
1/4" = 1'-0"



GARAGE NORTH ELEVATION
1/4" = 1'-0"



GARAGE WEST ELEVATION
1/4" = 1'-0"



SECTION C
3/8" = 1'-0"

DATE: 3/20/24
REVISION:

FOR BID

ESSI RESIDENCE
1246 Manor Park Ave. Lakewood, Ohio 44107

ARCHITECTS, C.A. McGETTRICK, LLC
14551 Madison Ave. Lakewood, Ohio 44107 216-227-0700 FAX: 216-227-0712

COMMISSION NO.
22027
CHARLES McGETTRICK, JR. #77596
EXPIRATION DATE: 12/31/2024

A-7



1246

GRIMMOND SECURITY











BOARD OF ZONING APPEALS

12650 Detroit Avenue • 44107 • (216) 529-6630 • FAX (216) 529-5907
www.lakewoodoh.gov

Application Cover Page

Docket No.: 04-08-24

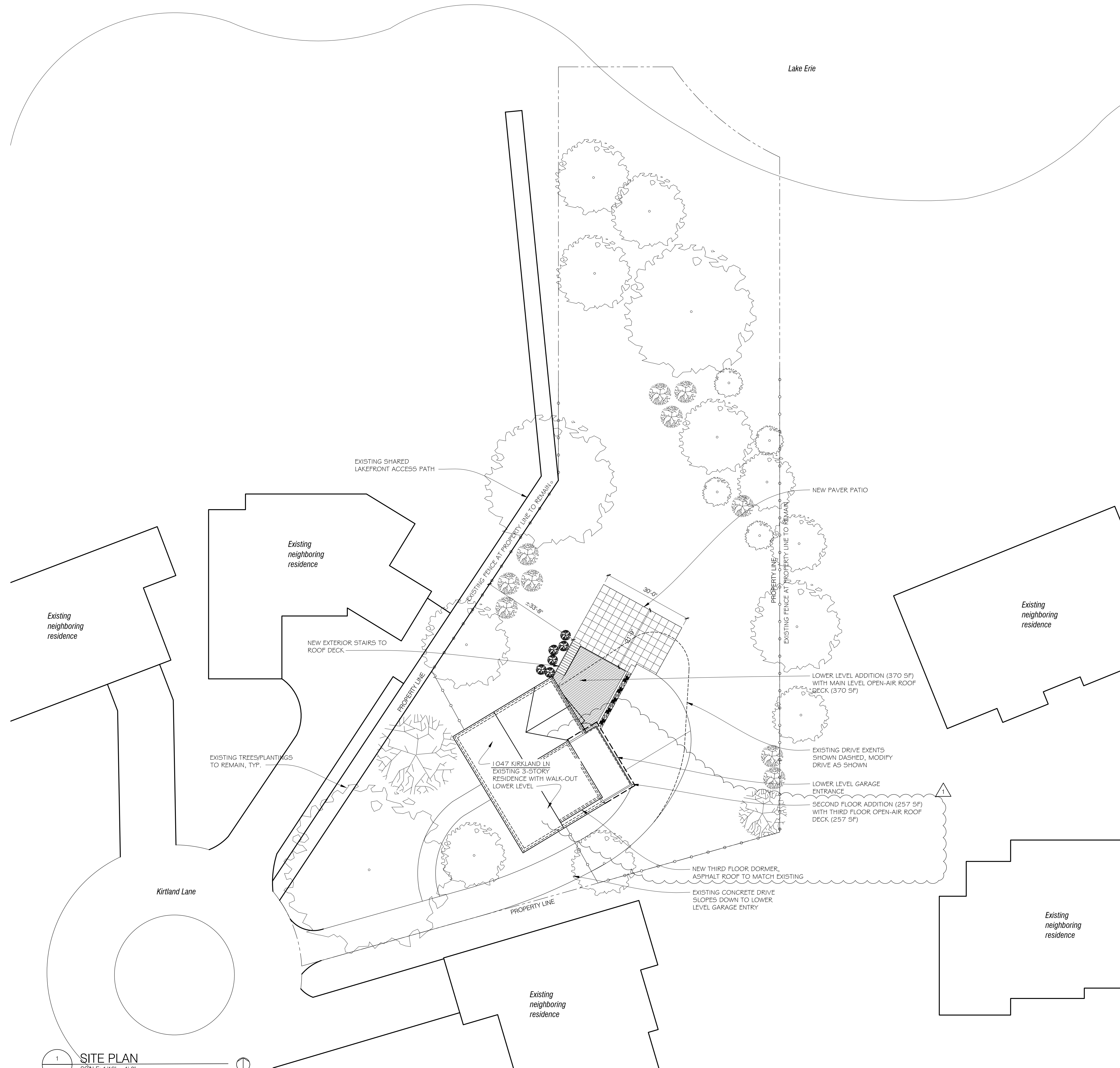
Reference No.: BZA24-000014

Applicant Name: Brandon Young, Young Design Studio

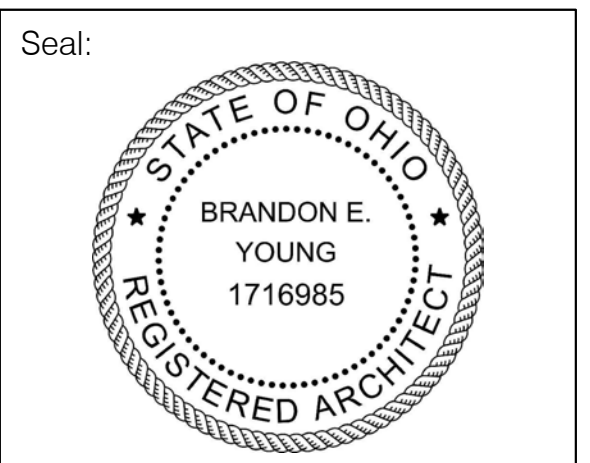
Project Address: 1047 Kirtland Ln.

Project Name: n/a

Proposal: The addition on the rear of their home has been modified to include an unroofed patio deck the is 257 sq. feet on the third story at an elevation of 27 feet 4 3/8 inches, in addition to the previously approved second story unroofed patio deck. The property is located in the R1M Single Family Medium Density District.



1 SITE PLAN
AS-01 SCALE: 1/16" = 1'-0"



General Notes:

ISSUES:	DATE:
REVIEW	o 02-16-24
REVIEW	o 03-06-24
PERMIT	o 03-08-24
REVIEW	o 03-21-24
OWNER REVISIONS	o 03-29-24
	o
	o
	o
	o

YOUNG DESIGN STUDIO
15614 Detroit Ave.
Lakewood, OH 44107
www.youngdesignstudio.com
p. 216.616.9212
Architecture | Interiors | Urban Design

Ross - Dasch Residence

1047 Kirtland Ln.
Lakewood, Ohio 44107

Drawing Title:
Architectural Site Plan

Drawn by:	BEY/MBY	Date:	02-16-2024
Checked by:		Drawing Number:	AS-01
Approved:			
Job Number:			

Home Renovation for the

Ross-Dasch Residence

1047 Kirtland Lane
Lakewood, OH 44107

ABBREVIATIONS

AC	AIR CONDITIONER	EA	EACH	ID	INTERIOR DIAMETER	QT	QUARRY TILE
AD	ANCHOR BOARD	EF	EACH FACE	INSUL	INSULATION	RAD	RADIUS
ACP	ACOUSTIC CEILING PANEL	EL	ELEVATION	INV	INVERT	RW	RIGHT-OF-WAY
ACT	ACOUSTIC CEILING TILE	ELEC	ELECTRICAL	J	JANITOR	RD	ROOF DRAIN
ADJ	ADJUSTABLE	ENCL	ENCLOSURE	JB	JUNCTION BOX	REBAR	REINFORCING BARS
AFF	ABOVE FINISH FLOOR	EQUIP	EQUIPMENT	JT	JOINT	RECT	RECTANGULAR
ALT	ALTERNATE	ETC	ETCETERA	LAM	LAMINATE	REIN	REINFORCEMENT
ALUM	ALUMINUM	EW	EACH WAY	LAV	LAVATORY	REP	REPRESENTATIVE
APPROX	APPROXIMATELY	EXST	EXISTING	LAV	LAVATORY	REQD	REQUIRED
ARCH	ARCHITECTURAL	EJ	EXPANSION JOINT	LF	LINEAL FEET	RM	ROOM
BLDG	BUILDING	EXT	EXTERIOR	LLM	LONG LEG HORIZONTAL	5/H	SEALER/HARDENER
BLKG	BLOCKING	EW	ELECTRICAL WATER COOLER	LLV	LONG LEG VERTICAL	SC	SOLID CORE
BM	BEAM	FD	FLOOR DRAIN	LVC	LINEAR METAL CEILING	SF	SQUARE FEET
BRG	BEARING	FE	FIRE EXTINGUISHER	M	MIRROR	SIM	SIMILAR
BRK	BRICK	FEC	FIRE EXTINGUISHER CABINET	MAINT	MAINTENANCE	SPEC	SPECIFICATION
BTM	BOTTOM	FI	FIRE HYDRANT	MATL	MATERIAL	SQ	SQUARE
BUR	BUILT UP ROOF	FHC	FIRE HOSE CABINET	MAX	MAXIMUM	SS	STAINLESS STEEL
C/C	CENTER-TO-CENTER	FIN	FINISH	MECH	MECHANICAL	STD	STANDARD
CJ	CONTROL JOINT	FL	FLOOR	MFR	MANUFACTURER	STRUCT	STRUCTURAL
CL	CENTER LINE	FLD DR.	FOLDING DOOR	MH	MANHOLE	SUPPL	SUPPLEMENTARY
CKT	CIRCUIT	FM	FACTORY MUTUAL	MIN	MINIMUM	SUSP	SUSPENDED
CLG	CEILING	FR	FIRE RATED	MO	MASONRY OPENING	TEMP	TEMPERED
CLO	CLOSET	FRW	FIRE RETARDANT TREATED WOOD	MTD	MOUNTED	T&G	TONGUE-AND-GROOVE
CMU	CONCRETE MASONRY UNIT	FT	FOOT	N/A	NOT APPLICABLE	TB	TOILET BAR
COL	COLUMN	FTG	FOOTING	NIC	NOT IN CONTRACT	THR	THRESHOLD
CONC	CONCRETE	GA	GALVE	NO	NUMBER	TJST	TOP OF JOIST
CONF	CONFERENCE	GB	GRAB BAR	NOM	NOMINAL	TBDB	TACKBOARD
CONST	CONSTRUCTION	GC	GENERAL CONTRACTOR	NTS	NOT TO SCALE	TOM	TOP OF MASONRY
CONTR	CONTRACTOR	GL	GLASS, GLAZING	OC	ON CENTER	TOS	TOP OF SLAB
CORR	CORRIDOR	GL	GLASS, GLAZING	OD	OUTSIDE DIAMETER	TST	TOP OF STEEL
CPT	CARPET	GYP.BD.	GYP. BOARD	OPNG	OPENING	TTD	TOILET TISSUE DISPENSER
CS	COURSE	H	HEIGHT, HIGH	OPP	OPPOSITE	TYP	TYPICAL
CT	CERAMIC TILE	HC	HANDICAPPED	ORD	OVERFLOW ROOF DRAIN	V	VINYL
D	DEEP, DEPTH	HD	HAND DRYER	PARTN	PARTITION	VCT	VINYL COMPOSITION TILE
DBL	DOUBLE	HDW	HARDWARE	PLB	PLUMBING	VERT	VERTICAL
DEM	DEMISING	HM	HOLLOW METAL	PL	PLATE	VEST	VESTIBULE
DF	DRINKING FOUNTAIN	HORZ.	HORIZONTAL	PLS	PLASTER	VT	VINYL TILE
DA	DIAMETER	HR	HOUR	PTD	PAINT (PAINTED FINISHED)	W	WITH
DIM	DIMENSION	HVAC	HEATING VENTILATION & AIR CONDITIONING	PTR	FAIR	WC	WATER CLOSET
DN	DOWN			PROJ	PROJECT	WD	WOOD
DS	DOWNSPOUT			PT	PRESSURE TREATED	W/O	WITHOUT
DP	DAMP/PROOFING			PLYWD	PLYWOOD	WR	WASTE RECEPTACLE
DR	DOOR					WWF	WELDED WIRE FABRIC
DET	DETAIL						
DWG	DRAWING						

DRAWING LEGEND

	ROOM NAME		EARTH		WOOD-ROUGH
	ROOM NUMBER		POROUS FILL		GYPSUM WALLBOARD
	DOOR NUMBER		CONCRETE		RIGID INSULATION
	WINDOW TAG		CONCRETE MASONRY UNIT		BATT INSULATION
	WALL TYPE		BRICK		STEEL
	SHEET WHERE ELEVATION LOCATED				
	INTERIOR ELEVATION SYMBOL				
	ELEVATION NUMBER				
	SECTION NUMBER				
	SECTION				
	SHEET WHERE ELEVATION LOCATED				
	DETAIL SYMBOL				
	DETAIL NUMBER				
	SHEET ON WHICH DETAIL IS LOCATED				
	WALL SECTION/EXTERIOR ELEVATION				
	SECTION/DETAIL NUMBER				
	SHEET ON WHICH DETAIL IS LOCATED				

SQUARE FOOTAGE

GROSS AREAS	
LOWER LEVEL:	1513 sf
GARAGE:	667 sf (exist)
FIRST FLOOR:	1781 sf
SECOND FLOOR:	1822 sf
THIRD FLOOR:	838 sf
TOTAL:	6,621 sf

ENERGY CODE

RESIDENTIAL CODE OF OHIO TABLE 1107.4.1	
INSULATION AND PENETRATION REQUIREMENTS	
EXTERIOR WALL INSULATION	R-20 MIN
CEILING INSULATION	R-38 MIN
FOUNDATION WALL INSULATION	R-10 MIN CONTINUOUS INSULATED SHEATHING OR R-13 MIN CAVITY INSULATION
FENESTRATION	U-VALUE OF .35

Owner:

Meredith Ross & Trevor Dasch
1047 Kirtland Lane
Lakewood, OH 44107

Prepared by:

Architect:

Young Design Studio LLC
15614 Detroit Ave.
Lakewood, OH 44107
330-620-3536

Contractor:

Mancuso Homes
20006 Detroit Rd #201
Rocky River, OH 44116
216-250-2501

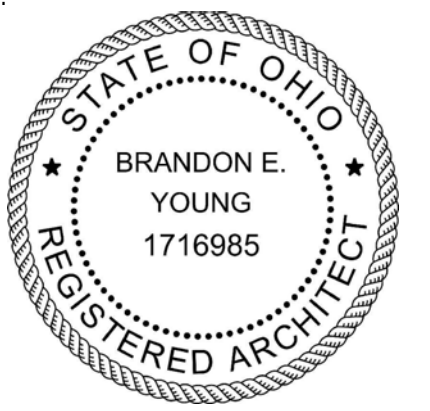
Structural Engineer:

Cramer Engineering LLC
Attn: Kyle Richardson
PO Box 5419
Fairlawn, OH 44334
330-962-0333

DRAWING INDEX

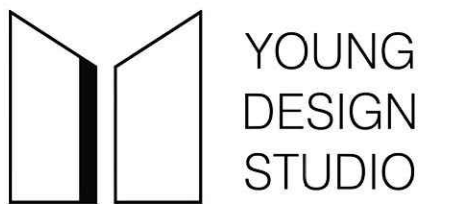
T1-01	COVER SHEET	E-00	ELECTRICAL PLANS
T1-02	GENERAL NOTES	E-01	ELECTRICAL PLANS
T1-03	GENERAL NOTES	E-02	ELECTRICAL PLANS
AS-01	ARCHITECTURAL SITE PLAN		
A1-00	LOWER LEVEL PLAN		
A1-01	FIRST FLOOR PLAN		
A1-02	SECOND FLOOR PLAN		
A1-03	THIRD FLOOR AND ROOF PLAN		
A2-01	EXTERIOR ELEVATIONS		
A2-02	EXTERIOR ELEVATIONS		
A3-00	BUILDING SECTIONS		
A3-01	WALL SECTIONS		
A3-02	WALL SECTIONS		
A3-03	WALL SECTIONS		
A4-01	INTERIOR ELEVATIONS		

Seal:



General Notes:

ISSUES:	DATE:
REVIEW	o 02-16-24
REVIEW	o 03-06-24
PERMIT	o 03-08-24
REVIEW	o 03-21-24
OWNER REVISIONS	o 03-29-24



15614 Detroit Ave.
Lakewood, OH 44107

www.youngdesignstudio.com
p. 216.616.9212

Architecture | Interiors | Urban Design

Ross - Dasch
Residence

1047 Kirtland Ln.
Lakewood, Ohio 44107

Drawing Title:

COVER SHEET

Drawn by: BEY/MBY Date: 02-16-2024

Checked by: Drawing Number:

Approved: T1-01

Job Number:

File Name:

CODES, PERMITS, AND REGULATIONS

- CONTRACTOR IS RESPONSIBLE FOR SECURING ALL PERMITS REQUIRED BY LOCAL AUTHORITIES HAVING JURISDICTION.
- WORK SHALL COMPLY WITH APPLICABLE CODES, AMENDMENTS, RULES, REGULATIONS, ORDINANCES, LAWS, ORDERS, APPROVALS, ETC., THAT ARE REQUIRED BY PUBLIC AUTHORITIES HAVING JURISDICTION. IN THE EVENT OF CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL GOVERN. REQUIREMENTS INCLUDE, BUT ARE NOT NECESSARILY LIMITED TO, THE CURRENTLY APPLICABLE EDITIONS OR PUBLICATIONS OF THE FOLLOWING:
 - 2019 OHIO RESIDENTIAL BUILDING CODE
 - NATIONAL FIRE PROTECTION ASSOCIATION (NFPA)
 - OTHER APPLICABLE LOCAL AND MUNICIPAL CODES
- CONTRACTOR(S) ARE RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION, INCLUDING JOB SITE SAFETY AND COMPLIANCE WITH OSHA REGULATIONS.
- CONTRACTOR(S) SHALL PROVIDE THE OWNER WITH A CERTIFICATE OF INSURANCE FOR ALL LIABILITIES, INCLUDING BUILDER'S RISK COVERAGE.

CONTRACT DOCUMENTS

- THE CONTRACT DOCUMENTS CONSIST OF THE DRAWINGS AND SPECIFICATIONS, ADDENDA AND CHANGE ORDERS ISSUED SUBSEQUENT TO CONTRACT AWARD.
- THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL.
- THE CONTRACT DOCUMENTS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. WHETHER THE PROJECT FOR WHICH THEY ARE PREPARED IS EXECUTED OR NOT, THE CONTRACT DOCUMENTS ARE NOT TO BE USED BY THE OWNER, LANDLORD, OR TENANT FOR OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT. ANY SUCH EXTENSIONS TO BE MODIFIED IN ANY MANNER WHATSOEVER EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.
- COORDINATE ALL PORTIONS OF THE WORK AS DESCRIBED IN THE CONTRACT DOCUMENTS. NOTIFY THE ARCHITECT IN WRITING FOR RESOLUTION OF ALL DISCREPANCIES PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING CURRENT CONTRACT DOCUMENTS PRIOR TO COMMENCEMENT OF WORK. USE ONLY THE MOST CURRENT SET OF CONTRACT DOCUMENTS FOR EXECUTION OF THE WORK.

SITE AND EXISTING CONDITIONS

- CONTRACTOR SHALL VISIT THE SITE OF WORK AND BECOME FAMILIAR WITH EXISTING CONDITIONS PRIOR TO SUBMITTING A PROPOSAL. CLAIMS FOR ADDITIONAL COMPENSATION DUE TO UNFAMILIARITY WITH EXISTING CONDITIONS WILL NOT BE CONSIDERED.
- THE DRAWINGS MAY ILLUSTRATE EXISTING CONDITIONS, LOCATIONS OF THESE CONDITIONS AND ASSOCIATED DIMENSIONS MAY NOT BE EXACT. CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS AND DIMENSIONS THAT MAY IMPACT THEIR WORK.
- CONTRACTOR SHALL COORDINATE SITE ACCESS, DELIVERIES, PARKING, SECURITY, MATERIAL STORAGE, AND DEBRIS REMOVAL WITH THE OWNER, AND WHEN APPLICABLE, THE LANDLORD, OWNER OR LANDLORD'S BUILDING POLICIES SHALL BE ADHERED TO AT ALL TIMES.
- EXISTING MATERIALS, EQUIPMENT AND CONSTRUCTION MAY BE IDENTIFIED ON THE DRAWINGS FOR CLARITY. UNLESS OTHERWISE IDENTIFIED, WORK, MATERIALS AND EQUIPMENT SHOWN ON THE CONSTRUCTION DOCUMENTS SHOULD BE CONSIDERED TO BE NEW.
- PROVIDE PROTECTION FOR EXISTING WORK AND FINISHES INCLUDING NOT OTHERWISE SCHEDULED TO BE MODIFIED AS PART OF THIS PROJECT. COORDINATE AND PROVIDE AS NEEDED, TEMPORARY ENCLOSURES AND BARRICADES FOR HEALTH, SAFETY AND MAINTENANCE OF EGRESS.
- CONCEALED EXISTING CONDITIONS: UNCOVERED CONDITIONS, THAT IN THE CONTRACTORS OPINION, MAY REQUIRE REPAIR OR REPLACEMENT, OR REMOVAL OR RELOCATION TO ACCOMMODATE NEW WORK, SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR DIRECTION IN A TIMELY MANNER.
- DO NOT DAMAGE OR WEAKEN THE STRUCTURAL INTEGRITY OF THE BUILDING. ANY SUCH DAMAGE SHALL BE REPORTED TO THE OWNER AND ARCHITECT IMMEDIATELY. CONTRACTOR IS RESPONSIBLE FOR THE COST OF NECESSARY REPAIRS.
- PRIOR TO PERFORMING ANY SITE EXCAVATION WORK, CONTACT THE LOCAL UTILITIES PROTECTION SERVICE.
- COORDINATE WORK WITH EXISTING SITE CONDITIONS AND UTILITIES. REVIEW OWNER PROVIDED DOCUMENTS INCLUDING, BUT NOT LIMITED TO SOIL AND GEOTECHNICAL REPORTS AND EXISTING PLANS. REQUEST ADDITIONAL INFORMATION IF REQUIRED - PROCEEDING WITH WORK CONSTITUTES ACCEPTANCE OF CONDITIONS.

GENERAL COORDINATION

- COORDINATE ALL PORTIONS OF THE WORK AS DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY AND WHAT IS REQUIRED BY ONE SHALL BE CONSIDERED AS REQUIRED BY ALL.
- IN THE EVENT OF CONFLICT BETWEEN INFORMATION IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL REQUEST INTERPRETATION FROM THE ARCHITECT. DETAIL DRAWINGS TAKE PRECEDENCE OVER DRAWINGS OF LARGER SCOPE. IF, AT ANY TIME, THE CONTRACTOR DISCOVERS AN ERROR IN A DRAWING OR SPECIFICATION, OR A DISCREPANCY OR VARIATION BETWEEN DIMENSIONS OR LOADS AND REQUIREMENTS AT SITE, OR LACK OF DIMENSIONS OR OTHER INFORMATION, DO NOT PROCEED WITH THE WORK AFFECTED UNTIL CLARIFICATION HAS BEEN RECEIVED FROM THE ARCHITECT. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR MODIFICATION OF ALL WORK SUBSEQUENTLY DETERMINED BY THE ARCHITECT TO BE IN ERROR.
- NOTIFY THE ARCHITECT IN WRITING OF ANY DEFICIENCIES OR DISCREPANCIES IN EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK. UNREPORTED DEFICIENCIES WILL BECOME THE RESPONSIBILITY OF THE CONTRACTOR TO CORRECT.
- WAIVE COMMON PRACTICE OR COMMON USAGE CRITERIA WHERE CONTRACT DOCUMENTS, CODES, ORDINANCES OR STANDARDS REQUIRE RESULTS EXCEEDING SUCH CRITERIA.
- COORDINATE ALL MECHANICAL, COMMUNICATION, ELECTRICAL, PLUMBING AND SPRINKLER EQUIPMENT TO BE REMOVED, RELOCATED OR INSTALLED WITH EACH OTHER AND OTHER NEW WORK. VERIFY THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF EQUIPMENT ARE PROVIDED.
- COORDINATE PLACEMENT OF CONCEALED AND ABOVE CEILING WORK INCLUDING, BUT NOT LIMITED TO, LIGHT FIXTURES, MECHANICAL EQUIPMENT, DUCTWORK, DIFFUSERS, GRILLES, SPRINKLER HEADS, SPRINKLER PIPING, PLUMBING, ACCESS PANELS AND DOORS, AND BUILDING STRUCTURE. ENSURE SUITABLE ACCESS AND CLEARANCE FOR EQUIPMENT INSTALLATION AND SERVICE ACCESS. AVOID CONFLICTS WITH FINISHED AND VISIBLE WORK. LIGHT FIXTURE LOCATIONS TAKE PRECEDENCE OVER ALL SUCH OTHER WORK INDICATED ABOVE. REGARDLESS OF WORK SEQUENCE, REVIEW UNRESOLVED CONFLICTS WITH ARCHITECT PRIOR TO PROCEEDING WITH WORK.
- FINISHED WORK SHALL BE FIRM, WELL ANCHORED, IN TRUE

ALIGNMENT, PLUMB, AND LEVEL, WITH SMOOTH, CLEAN, UNIFORM APPEARANCES WITHOUT WAVES, DISTORTIONS, HOLES, MARKS, CRACKS, STAINS, OR DISCOLORATION. JOINTS SHALL BE CLOSE FITTING, NEAT AND WELL SCRIBED. FINISH WORK SHALL HAVE NO EXPOSED OR UNSIGHTLY ANCHORS OR FASTENERS AND SHALL NOT PRESENT HAZARDOUS, UNSAFE CORNERS. ALL WORK SHALL HAVE PROVISIONS FOR EXPANSION, CONTRACTION, AND SHRINKAGE AS NECESSARY TO PREVENT CRACKS, BUCKLING AND WARPING DUE TO TEMPERATURE AND HUMIDITY CONDITIONS.

ALL PRODUCTS AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS, UNLESS OTHERWISE INDICATED IN THESE DOCUMENTS. NOTIFY THE ARCHITECT OF CONFLICTS AND DISCREPANCIES OR CONFLICTS BEFORE PROCEEDING WITH THE WORK.

PROVIDE PRODUCTS AND MATERIALS COMPLETE WITH ACCESSORIES, TRIM, FASTENERS, CONNECTIONS, AND OTHER ITEMS AND WORK, NEEDED FOR A COMPLETE INSTALLATION, INTENDED USE, AND INDICATED EFFECT.

ATTACHMENTS, CONNECTIONS, OR FASTENINGS OF ANY NATURE ARE TO BE PROPERLY AND PERMANENTLY SECURED IN CONFORMANCE WITH BEST PRACTICES AND MANUFACTURERS RECOMMENDATIONS. THE DRAWINGS SHOW ONLY SPACES PROPERLY LOCATED BY THE CONTRACTOR. THEY DO NOT ILLUSTRATE EVERY DETAILED CONNECTION.

WORK DEFECTIVE IN CONSTRUCTION OR QUALITY OR DEFICIENT IN ANY REQUIREMENTS OF THE CONTRACT DRAWINGS AND THE SPECIFICATIONS WILL NOT BE ACCEPTED. ARCHITECT OR OWNER'S FAILURE TO DISCOVER OR NOTIFY CONTRACTOR OF DEFECTS AND DEFICIENCIES DURING CONSTRUCTION DOES NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR PROVIDING QUALITY AND PROGRESS OF WORK AS REQUIRED BY THE CONTRACT DOCUMENTS. DEFECTIVE WORK OBSERVED WITHIN REQUIRED TIME GUARANTEES THAT IT SHALL BE REPLACED BY WORK CONFORMING TO INTENT OF CONTRACT WITH REQUIREMENTS IN THE LATEST EDITION OR REVISION THEREOF AND WITH ANY AMENDMENT OR SUPPLEMENTAL THERETO IN EFFECT ON DATE OF ORIGIN OF THIS PROJECT'S CONTRACT DOCUMENTS. SUCH STANDARDS, EXCEPT AS MODIFIED HEREIN, SHALL HAVE THE SAME FORCE AND EFFECT AS THOUGH INCLUDED IN THE CONTRACT DOCUMENTS.

MATERIALS AND WORKMANSHIP SPECIFIED BY REFERENCE TO NUMBER, SYMBOL, TITLE OF A SPECIFICATION SUCH AS COMMERCIAL STANDARDS, FEDERAL SPECIFICATION, TRADE ASSOCIATION STANDARD, OR OTHER SIMILAR STANDARDS, SHALL COMPLY WITH REQUIREMENTS IN THE LATEST EDITION OR REVISION THEREOF AND WITH ANY AMENDMENT OR SUPPLEMENTAL THERETO IN EFFECT ON DATE OF ORIGIN OF THIS PROJECT'S CONTRACT DOCUMENTS. SUCH STANDARDS, EXCEPT AS MODIFIED HEREIN, SHALL HAVE THE SAME FORCE AND EFFECT AS THOUGH INCLUDED IN THE CONTRACT DOCUMENTS.

THE PROJECT SITE SHALL BE KEPT CLEAN AND ORDERLY. COORDINATE REGULAR DEBRIS REMOVAL WITH ALL TRADES. NO BURNING OF ANY MATERIALS IS PERMITTED.

CLEAN AND PROTECT INSTALLED MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND AS REQUIRED TO PROTECT FROM ONGOING CONSTRUCTION ACTIVITY. CLEAN ALL SURFACES UPON PROJECT COMPLETION, READY FOR OWNER'S OCCUPANCY. THIS CLEANING SHALL INCLUDE ALL SURFACES WHETHER EXISTING OR NEW, SUCH AS THE INSIDE FACE OF EXTERIOR GLAZING.

MAKE ALL NECESSARY PROVISIONS FOR ITEMS AS INDICATED ON THE DRAWINGS TO BE FURNISHED OR INSTALLED BY OWNER.

CONTRACTOR SHALL COORDINATE THEIR WORK WITH WORK BEING PERFORMED BY OR ON BEHALF OF THE OWNER, INCLUDING BUT NOT LIMITED TO, TELECOMMUNICATIONS, SECURITY SYSTEMS AND AUDIO-VISUAL SYSTEMS.

THE OWNER OR ARCHITECT MAY IDENTIFY CONTRACTOR METHODS, EQUIPMENT OR MATERIALS AS INAPPROPRIATE OR INEFFICIENT FOR SECURING THE QUALITY OF WORK OR RATE OF PROGRESS REQUIRED BY THE CONTRACT DOCUMENTS. THE OWNER OR ARCHITECT MAY DIRECT THE CONTRACTOR TO IMPROVE THEIR QUALITY OR RATE OF PROGRESS. SUCH DIRECTION DOES NOT ALLEVIATE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE THE QUALITY OF WORK AND RATE OF PROGRESS AS CALLED FOR BY THE CONTRACT DOCUMENTS.

CONTRACTOR SHALL MAINTAIN A SET OF RECORD DOCUMENTS AT THE SITE DURING WORK. DEVIATIONS AND CHANGES FROM THE CONTRACT DOCUMENTS SHALL BE RECORDED ON THIS SET. AT COMPLETION OF CONSTRUCTION PROVIDE ONE HARD COPY AND ONE PDF FORMAT (SCANNED) COPY TO OWNER.

PROVIDE A PROJECT MANUAL TO THE OWNER AT PROJECT COMPLETION CONTAINING WARRANTIES, OPERATION MANUALS AND MAINTENANCE INSTRUCTIONS FOR EQUIPMENT AND MATERIALS USED ON THE PROJECT.

ALL WORK SHALL BE WARRANTED FOR A PERIOD OF ONE YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION, UNLESS OTHERWISE INDICATED.

DIMENSIONAL COORDINATION AND LAYOUT

- DO NOT SCALE DRAWINGS; USE WRITTEN DIMENSIONS. VERIFY DIMENSIONS WITH FIELD CONDITIONS. IF DISCREPANCIES ARE DISCOVERED BETWEEN FIELD CONDITIONS AND DRAWINGS OR BETWEEN DRAWINGS, NOTIFY THE ARCHITECT FOR RESOLUTION BEFORE PROCEEDING.
- HORIZONTAL DIMENSIONS ARE TO FACE OF STUD, UNLESS OTHERWISE INDICATED.
- VERTICAL DIMENSIONS DESIGNATED AS "A.F.F." ARE MEASURED FROM TOP OF FINISHED FLOOR SLAB OR FLOOR SHEATHING, UNLESS OTHERWISE INDICATED.
- DIMENSIONS SHALL NOT BE MODIFIED WITHOUT APPROVAL OF ARCHITECT.
- CONTRACTOR SHALL BE AWARE OF AND CONTINUOUSLY CHECK ARCHITECTURAL AND STRUCTURAL CLEARANCES FOR ACCESSIBILITY OF EQUIPMENT AND MECHANICAL AND ELECTRICAL SYSTEMS. NO ALLOWANCE WILL BE MADE FOR FAILURE TO FORESEE MEANS OF EQUIPMENT OR EQUIPMENT INSTALLATION POSITION OR FOR PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY ITEMS THAT MAY CAUSE A CHANGE FROM THE DIMENSIONS SHOWN IN THE CONTRACT DOCUMENTS.
- DIMENSIONS INDICATED AS "HOLD" MUST BE MAINTAINED AND TAKE PRECEDENCE OVER OTHER DIMENSIONS. RESOLVE ANY DISCREPANCIES OR VARIATIONS IN THESE DIMENSIONS WITH THE ARCHITECT BEFORE PROCEEDING WITH WORK.
- DIMENSIONS INDICATED AS "VERIFY" OR "V.I.F." SHALL BE CHECKED BY THE CONTRACTOR AT THE SITE AND REVIEWED WITH THE ARCHITECT IN THE EVENT OF DISCREPANCIES.
- DOORS AND CASED OPENINGS INDICATED ADJACENT TO WALL INTERSECTIONS SHALL BE LOCATED WITH THE EDGE OF FINISHED OPENING FOUR (4) INCHES FROM THE ADJACENT WALL UNLESS OTHERWISE INDICATED. ALL OTHER DOORS AND CASED OPENINGS SHALL BE CENTERED BETWEEN NEAREST ADJACENT WALL INTERSECTIONS, UNLESS OTHERWISE INDICATED.
- NEW FINISHED FLOOR SLABS SHALL BE LEVELLED TO A TOLERANCE OF +/- .1/8" SLOPE IN 10 FEET. VERIFY SLOPE OF EXISTING SLABS AND REPORT ANY DEVIATIONS FROM ABOVE STATED TOLERANCE THAT MAY IMPACT NEW WORK TO THE ARCHITECT PRIOR TO COMMENCING THE CONSTRUCTION OF THE WORK. ENSURE SUITABLE ALIGNMENT OF HORIZONTAL ELEMENTS SHALL BE MAINTAINED AT A CONSTANT LEVEL AND SHALL NOT FOLLOW VARIATIONS IN FLOOR PLANES. PROVIDE FLOOR LEVELING TO MEET ACCEPTABLE TOLERANCES AS REQUIRED.

STRUCTURAL DESIGN NOTES:

- BUILDING DESIGN IS BASED ON THE FOLLOWING:
 - DESIGN DATA:
 - SNOW DESIGN DATA:
 - GROUND SNOW LOAD, P_g = 25 PSF
 - FLAT ROOF SNOW LOAD, P_f = 25 PSF
 - SNOW EXPOSURE FACTOR, C_e = 1.0
 - SNOW LOAD IMPORTANCE FACTOR, I_s = 1.0
 - THERMAL FACTOR, C_t = 1.1
 - WIND DESIGN DATA:
 - BASIC WIND SPEED = 115 MPH
 - WIND IMPORTANCE FACTOR, I_w = II
 - BUILDING CATEGORY = B
 - WIND EXPOSURE = B
 - WIND PRESSURE:
 - MWFR5 = 17 PSF
 - COMPONENT + CLADDING = 25 PSF
 - DEFLECTION CRITERIA (UNLESS STATED OTHERWISE):

	LIVE LOAD	TOTAL LOAD
ROOF	U240	U240
FLOOR	U360	U360

MECHANICAL, ELECTRICAL, FIRE PROTECTION, AND PLUMBING

COORDINATION

- CONTRACTOR SHALL VERIFY THE EXISTING MECHANICAL SYSTEM CAPACITIES IN RELATION TO THE DESIGN SHOWN IN THE CONTRACT DOCUMENTS.
- CONTRACTORS FOR THESE TRADES SHALL VISIT THE SITE PRIOR TO WORK COMMENCEMENT AND FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS.
- ALL ROOMS AND INTERIOR SPACES SHALL HAVE SUITABLE HVAC SUPPLY AND RETURN CAPABILITIES. ADVISE THE ARCHITECT OF ANY DISCREPANCIES.
- PROVIDE MECHANICAL SYSTEMS AND INSPECTION REPORTS AS REQUIRED BY AUTHORITIES HAVING JURISDICTION. ADHERE TO RECOMMENDATIONS OF UL, NBFU, FM AND ASHRAE IN ALL WORK.
- COORDINATE WORK TO ENSURE THAT MECHANICAL EQUIPMENT HAS ALL REQUIRED ELECTRICAL CONNECTIONS.
- COORDINATE LIGHT FIXTURE LOCATIONS WITH ALL OTHER ABOVE CEILING WORK. LIGHT FIXTURE LOCATIONS TAKE PRECEDENCE OVER OTHER WORK. REVIEW UNRESOLVED CONFLICTS WITH ARCHITECT PRIOR TO PROCEEDING WITH WORK.
- COORDINATE AND PROPERLY LOCATE LOCATIONS OF ELECTRICAL DEVICES, SWITCHES, CONTROLS, FIXTURES, AND OTHER DEVICES ON WALLS IN ACCORDANCE WITH INFORMATION SHOWN ON DRAWINGS. REVIEW QUESTIONABLE CONDITIONS WITH ARCHITECT BEFORE PROCEEDING WITH WORK. PROPERLY LOCATED ITEMS WILL BE REQUIRED TO BE RELOCATED AT CONTRACTOR EXPENSE.
- CONFIRM COLORS OF ALL ELECTRICAL DEVICES WITH ARCHITECT.

MATERIALS AND SUBMITTALS

- ORDER AND SCHEDULE DELIVERY OF MATERIALS IN AMPLIFIED TIME TO AVOID DELAYS IN CONSTRUCTION. IF AN ITEM IS FOUND TO BE UNSUITABLE OR HAVE A LEAD TIME INCONSISTENT WITH THE PROJECT SCHEDULE REQUIREMENTS, CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY. CONTRACTOR WILL BE LIABLE FOR ADDITIONAL COSTS, INCLUDING BUT NOT LIMITED TO, EXPEDITING DELIVERY OF NEW WORK. PROPERLY LOCATED ITEMS WILL BE REQUIRED TO BE RELOCATED IN TIME, ORDERED INCORRECTLY, OR SUPPLIED INCORRECTLY.
- SPECIFIED MATERIALS AND PRODUCTS ESTABLISH STANDARDS FOR TYPE AND QUALITY FOR THE PROJECT. DO NOT CHANGE OR SUBSTITUTE MATERIALS AND PRODUCTS WITHOUT APPROVAL OF THE ARCHITECT. FORMS DESCRIBING POLICIES AND PROCEDURES FOR SUBSTITUTIONS ARE AVAILABLE FROM THE ARCHITECT. THESE SUBSTITUTIONS SHALL BEAR A REVIEW STAMP, DATE AND SIGNATURE. ANY SUBSTITUTIONS, PROPOSED SUBSTITUTIONS SHALL BE SUBMITTED WITH SUFFICIENT TIME TO ALLOW FOR CONSIDERATION WITHOUT IMPACT TO THE PROJECT SCHEDULE. ARCHITECT MAY ACCEPT OR REJECT PROPOSED SUBSTITUTIONS AT THEIR DISCRETION.
- ONLY NEW ITEMS OF RECENT MANUFACTURE, OF STANDARD QUALITY, AND FREE FROM DEFECTS, WILL BE PERMITTED ON THE WORK. REJECTED OR NON-COMPLYING ITEMS SHALL BE REMOVED IMMEDIATELY FROM THE WORK AND REPLACED WITH ITEMS OF THE REQUIRED QUALITY. FAILURE TO REMOVE REJECTED MATERIALS AND EQUIPMENT SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY FOR THE CONTRACT DOCUMENTS. ITEMS USED NOR FROM ANY OTHER OBLIGATION IMPOSED BY THE CONTRACT.
- MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION SYSTEM SHOP DRAWINGS AND LAYOUTS SHALL BE SUBMITTED TO ARCHITECT AS SOON AS POSSIBLE. CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING THE QUALITY OF WORK OR RATE OF PROGRESS REQUIRED BY THE CONTRACT DOCUMENTS. THE OWNER OR ARCHITECT MAY DIRECT THE CONTRACTOR TO IMPROVE THEIR QUALITY OR RATE OF PROGRESS. SUCH DIRECTION DOES NOT ALLEVIATE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE THE QUALITY OF WORK AND RATE OF PROGRESS AS CALLED FOR BY THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL MAINTAIN A SET OF RECORD DOCUMENTS AT THE SITE DURING WORK. DEVIATIONS AND CHANGES FROM THE CONTRACT DOCUMENTS SHALL BE RECORDED ON THIS SET. AT COMPLETION OF CONSTRUCTION PROVIDE ONE HARD COPY AND ONE PDF FORMAT (SCANNED) COPY TO OWNER.
- PROVIDE A PROJECT MANUAL TO THE OWNER AT PROJECT COMPLETION CONTAINING WARRANTIES, OPERATION MANUALS AND MAINTENANCE INSTRUCTIONS FOR EQUIPMENT AND MATERIALS USED ON THE PROJECT.
- ALL WORK SHALL BE WARRANTED FOR A PERIOD OF ONE YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION, UNLESS OTHERWISE INDICATED.
- WHERE PRACTICABLE, PROVIDE SUBMITTALS IN ELECTRONIC FORMAT; PDF FORMATS AS SOON AS POSSIBLE. PHYSICAL SAMPLES ARE REQUIRED FOR INTERIOR AND EXTERIOR FINISH MATERIALS.
- ARCHITECT WILL NOT REVIEW SUBMITTALS NOT REQUIRED BY THE CONTRACT DOCUMENTS.
- SUBMITTALS SHALL BE TRANSMITTED TO THE ARCHITECT AS THEY ARE PREPARED. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR DELAYS CAUSED BY THE RECEIPT OF A LARGE NUMBER OF SUBMITTALS IN SHORT TIME PERIOD.
- THE ARCHITECT IS ENTITLED TO RELY UPON THE CONTRACTOR'S REPRESENTATION THAT INFORMATION WITHIN THE SUBMITTAL IS CORRECT AND ACCURATE, AND IN CONFORMANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
- ARCHITECT'S REVIEW OF SUBMITTALS IS ONLY FOR GENERAL CONFORMANCE WITH THE DESIGN OF THE PROJECT AND GENERAL COMPLIANCE WITH THE CONTRACT DOCUMENTS. ANY ACTION SHOWN IS SUBJECT TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. CORRECTIONS OR COMMENTS, OR LACK THEREOF, ON A SUBMITTAL DOES NOT RELIEVE THE CONTRACTOR FROM COMPLIANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. CONTRACTOR IS RESPONSIBLE FOR DIMENSIONS TO BE CONFIRMED AT THE PROJECT SITE; MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION; COORDINATION OF THE WORK OF ALL TRADES; AND FOR PERFORMING ALL WORK IN A SAFE AND SATISFACTORY MANNER.

FOUNDATION

- ALL FOOTINGS SHALL BE ESTABLISHED ON PROPERLY UNDISTURBED SOIL OR PROPERLY COMPACTED ENGINEERED FILL IN ACCORDANCE WITH CHAPTER 4 OF THE CODE.
- ALL FOUNDATION BEARING AND FILL MATERIALS SHALL BE INSPECTED AND APPROVED BY THE BUILDING INSPECTOR PRIOR TO PLACING CONCRETE.
- ASSUMED ALLOWABLE SOIL BEARING CAPACITY OF 1,500PSF WAS USED FOR THE DESIGN OF THE FOUNDATION WITH SOIL IMPROVEMENTS IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION AND REPORT.
- ALL ORGANIC TOP SOILS SHALL BE STRIPPED FROM THE AREA UPON WHICH THE PROPOSED STRUCTURE IS TO BE LOCATED.
- ALL EXCAVATION FOR STRUCTURES SHALL BE KEPT DEWATERED UNTIL BACKFILL IS IN PLACE. EXCAVATION FOR STRUCTURES SHALL INCLUDE ALL NECESSARY SHEETING AND SHORING.
- WHERE THE FOUNDATION IS OVER EXCAVATED, REMOVE ALL DISTURBED FOUNDATION SOIL AND REPLACE WITH GRANULAR MATERIAL PROPERLY COMPACTED AS DIRECTED.

ANCHOR RODS AND BOLTS

- ALL ANCHOR BOLTS SHALL BE ASTM F1554 GRADE "A" WITH ASTM A-563 GRADE "A" HEAVY HEX NUTS AND ASTM F-436 HARDENED FLAT STEEL WASHERS. ANCHOR PLATES SHALL BE ASTM A36 STEEL, UNLESS NOTED OTHERWISE.
- ALL ANCHOR BOLTS MUST BE SET WITH A TEMPLATE. INSTALLATION OF ANCHOR BOLTS AND EMBEDDED ITEMS SHALL BE IN STRICT ACCORDANCE WITH A.I.S.C. CODE OF STANDARD PRACTICE.
- SLEEVES MAY BE USED AT CONTRACTOR'S OPTION. IF USED, CONTRACTOR MUST PROTECT CONCRETE FROM CRACKING DUE TO WATER FREEZING IN THE SLEEVE OPENINGS.
- ANCHOR RODS SHALL BE "HILTI HIT HY 150" INJECTION ADHESIVE SYSTEM WITH "M85" STANDARD BOLTS OR ASTM F1554, GR. 36 THREADED RODS. SIZE, EMBEDMENT AND PROJECTION AS INDICATED ON DESIGN DRAWINGS.
- ANCHOR RODS/BOLTS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER SPECIFICATIONS.
- FOR DRILLED IN DOWELS, USE BASF-THE CHEMICAL COMPANY'S "CONCRETE I 090 LIQUID".

CONCRETE NOTES:

- ALL READY MIX CONCRETE SHALL CONFORM TO ASTM C 94.
- ALL REINFORCING STEEL SHALL BE PLACED IN CONFORMANCE WITH THE LATEST EDITION OF "THE MANUAL OF STANDARD PRACTICE FOR REINFORCED CONCRETE CONSTRUCTION", PUBLISHED BY C.R.S.I.
- ALL REINFORCING BARS, DOWELS, ANCHOR BOLTS AND OTHER INSERTS SHALL BE SECURED IN POSITION PRIOR TO PLACING OF CONCRETE.
- ALL HORIZONTAL BARS IN CONCRETE, WALLS AND GRADE BEAMS SHALL BE CONTINUOUS AND BENT AT ALL CORNERS AND INTERSECTIONS. PRE-BENT "CORNER" BARS SUBSTITUTED FOR CONTINUOUS BENT BARS SHALL BE OF SAME SPACING AS HORIZONTAL BARS AND SHALL BE OF SUFFICIENT LENGTH TO PROVIDE REQUIRED LAP SLEEVE LENGTHS.
- ALL FASTENERS IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE GALVANIZED WITH A MINIMUM G 1855 COATING.
- TRUSSED ROOFS, IF APPLICABLE, TO MEET TRUSS PLATE INSTITUTE SPECIFICATIONS FOR METAL PLATE CONNECTED WOOD TRUSSES TP-1. TOP CHORD LIVE LOAD=30 PSF MINIMUM. SNOW = 50 PSF. SNOW FOR DRIFT AREAS (LOAD DURATION FACTOR OF 1.15). TOP CHORD DEAD LOAD = 1.0 PSF. BOTTOM CHORD DEAD LOAD = 10 PSF. MAXIMUM DEFLECTION U360 FOR 100% L & 50% DL.
- ALL CONCRETE MATERIALS AND WORKMANSHIP SHALL CONFORM TO

GENERAL STRUCTURAL NOTES

- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE AND TO CROSS-CHECK DETAILS AND DIMENSIONS ON THE STRUCTURAL DRAWINGS WITH RELATED REQUIREMENTS ON THE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS. FLOOR AND WALL OPENINGS, SLEEVES AND OTHER ARCHITECTURAL, MECHANICAL AND ELECTRICAL REQUIREMENTS MUST BE COORDINATED BEFORE THE CONTRACTOR PROCEEDS WITH CONSTRUCTION.
- ALL ENGINEERING DESIGN, CONSTRUCTION AND TESTING SHALL CONFORM TO THE REQUIREMENTS OF THE RESIDENTIAL BUILDING CODE LATEST EDITION (HEREIN REFERRED TO AS "THE CODE").
- THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY, SAFETY, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, AND COMPLIANCE WITH LOCAL REGULATIONS REGARDING SAFETY IS, AND SHALL BE, THE CONTRACTOR'S RESPONSIBILITY.
- REFER TO THE ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN ON THE STRUCTURAL DRAWINGS.
- ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH ANY WORK SO INVOLVED.

EXCAVATION

- WHEN EXCAVATING FOR NEW FOUNDATIONS, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE PROPER SHORING CONFORMING TO ALL FEDERAL, STATE AND LOCAL CODES AND LAWS AS REQUIRED.
- DURING ANY EXCAVATION OR CONSTRUCTION, FIELD PERSONNEL SHALL TAKE PRECAUTION NOT TO DISTURB OR CUT EXISTING CONDUIT OR UTILITIES. LOCATION OF UTILITY LINES SHOWN ARE APPROXIMATE ONLY.
- COMPACTED FILL SHALL BE PLACED IN 6 INCH LOOSE LAYERS FOR USING HAND OPERATED TAMPERS, AND 8 INCH LOOSE LAYERS FOR USING VIBRATORY ROLLERS. ADJUST MOISTURE CONTENT OF FILL MATERIAL TO THE ASTM D-698 OPTIMUM ± 2%. COMPACT FILL SHALL BE 97% OF MAXIMUM DENSITY, DETERMINED BY USING STANDARD PROCTOR ASTM D-698. THE UPPER 6" OF SUB GRADE SHALL BE SCRAPPED, MOISTURE CONDITIONED AND COMPACTED.
- THE EXCAVATION CONTRACTOR SHALL VERIFY LOCATION OF UNDERGROUND SERVICE UTILITIES PRIOR TO BEGINNING CONSTRUCTION WORK.
- NON-EXPANSIVE COMPACTED GRANULAR FILL SHALL BE DEPOSITED IN BEDS OF 8" BELOW ALL CONCRETE MATS, SLABS, AND PITS, AND 18" BEHIND ALL CONCRETE WALLS, UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING BUILDING FOUNDATIONS AND EQUIPMENT FROM VERTICAL AND LATERAL MOVEMENT DURING AND AFTER EXCAVATION AND INSTALLATION OF FOUNDATIONS. THE MEANS AND DESIGN OF PROTECTION SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- INSTALLATION SHALL BE PER THE LATEST APPLICABLE LOCAL CODES AND LAWS.
- FOR FOUNDATIONS WHERE THE SUB-BASE MEETS REQUIREMENTS, BUT DRAINING WATER IS PRESENT AND CANNOT BE CONTROLLED BY GROUND OR SUMP PUMPS, A MUD MAT MAY BE USED. THE MUD MAT SHALL CONSIST OF 2000 PSI CONCRETE AND SHALL BE A MINIMUM OF 2" THICK.
- IT IS RECOMMENDED THAT THE GENERAL CONTRACTOR IS HAVE A LICENSED GEOTECHNICAL ENGINEER CONDUCT A SOIL TEST AND SUBMIT A WRITTEN REPORT PRIOR TO STARTING THE FOUNDATION.

MASONRY

- MORTAR (SEE SPECIFICATIONS) FOR WALLS SHALL BE ASTM C-270 TYPE 5 MODIFIED.
- GROUT (SEE SPECIFICATIONS) TO FILL CORES SHALL BE ASTM C 476 COURSE GROUT, 3000 PSI.
- HORIZONTAL REINFORCING SHALL BE LADDER TYPE WITH 3/4" SIDE RODS AND #9 GAUGE CROSS RODS ON 16" VERTICAL CENTERS FOR ALL WALLS.
- ALL UNITS SHALL BE LAID WITH FULL JOINT COVER ON HEAD, BED (FACE SHELLS), WEBS AND COLLAR. MORTAR UNLESS OTHERWISE NOTED.
- ALL VERTICALLY REINFORCED WALLS SHALL HAVE DOWELS THAT MATCH THE WALL BAR SIZE AND SPACING.
- CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE BUILDING CODE.
- ALL HOLLOW CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C90, NORMAL WEIGHT. MINIMUM REQUIRED BLOCK COMPRESSIVE STRENGTH IS 1,900 PSI.
- ALL CELLS CONTAINING REINFORCEMENT SHALL BE FILLED SOLID WITH CONCRETE GROUT. GROUT MIX SHALL CONTAIN PORTLAND CEMENT ONLY, AGGREGATE SUPPORT WALL-ENHANCED CONSTRUCTION, NEARLY ZERO WATER REDUCING ADDITIVE. MAXIMUM SIZE OF AGGREGATE SHALL BE 3/4" INCH. SLUMP SHALL BE 8 TO 11 INCHES. WATER-REDUCING TO ENSURE THAT CELLS ARE COMPLETELY FILLED. SUBMIT GROUT MIXES TO ARCHITECT FOR REVIEW BEFORE COMMENCING MASONRY CONSTRUCTION.

GROUT:

- ALL GROUT SHALL BE BY "BASF-THE CHEMICAL COMPANY", OR APPROVED EQUAL. INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER SPECIFICATIONS.
- FOR COLUMN BASE PLATES, USE CEMENTITIOUS NON-SHRINK GROUT "MASTERFLO 928", UNLESS OTHERWISE SPECIFIED.
- FOR BASE PLATES WITH INCREASED DYNAMIC LOADS, USE HIGH PERFORMANCE EPOXY GROUT "MASTERFLO 648 CP PLUS", UNLESS OTHERWISE SPECIFIED.
- REMOVE ALL DEBRIS AND CLEAN OUT ANCHOR BOLT SLEEVES BEFORE GROUTING AND SETTING EQUIPMENT. CLEAN ALL SURFACES OF CONCRETE AND METAL IN CONTACT WITH GROUT.

WOOD

- ALL WOOD CONSTRUCTION SHALL BE DESIGNED, FURNISHED, AND ERECTED IN ACCORDANCE WITH N.D.S. AND THE LATEST EDITION OF THE AITC TIMBER CONSTRUCTION MANUAL.
- ALL SAWN LUMBER SHALL BE MINIMUM NO. 1 / NO. 2 SPP UNLESS INDICATED OTHERWISE.
- CEILING JOIST MUST BE CONTINUOUS FROM EAVE TO EAVE AND CONNECTED TO THE RAFTERS TO RESIST THE HORIZONTAL LOADS FROM THE DEFLECTION OF THE ROOF. CEILING JOISTS SHALL BE INSTALLED WITH WALL CONSTRUCTION OR OTHER CONSTRUCTION SITUATIONS WHERE CEILING JOISTS ARE NOT AVAILABLE. PROVIDE COLLAR TIES FROM RAFTER TO RAFTER AT OR AS CLOSE AS POSSIBLE TO EAVES. MEMBER TO MEMBER CONNECTIONS SHALL BE SET FORTH IN THE RESIDENTIAL CODE OF OHIO.
- ALL WOOD IN CONTACT WITH CONCRETE, MASONRY OR GROUND SHALL BE SOUTHERN PINE, PRESSURE TREATED FOR DECAY AS FOLLOWS:

0.60	FOR IN-GROUND USE
0.40	FOR ABOVE GROUND AND IN CONTACT W/GROUND
0.40	FOR WOOD IN CONTACT WITH CONCRETE

RETENTION SHALL BE PER MANUFACTURER'S SPECIFICATIONS FOR THE PARTICULAR USE.
- ALL FASTENERS IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE GALVANIZED WITH A MINIMUM G 1855 COATING.
- TRUSSED ROOFS, IF APPLICABLE, TO MEET TRUSS PLATE INSTITUTE SPECIFICATIONS FOR METAL PLATE CONNECTED WOOD TRUSSES TP-1. TOP CHORD LIVE LOAD=30 PSF MINIMUM. SNOW = 50 PSF. SNOW FOR DRIFT AREAS (LOAD DURATION FACTOR OF 1.15). TOP CHORD DEAD LOAD = 1.0 PSF. BOTTOM CHORD DEAD LOAD = 10 PSF. MAXIMUM DEFLECTION U360 FOR 100% L & 50% DL.
- ALL CONCRETE MATERIALS AND WORKMANSHIP SHALL CONFORM TO

- TRUSSED RAFTER MEMBERS TO BE MACHINE STRESS RATED STRUCTURAL LUMBER AS REQUIRED FOR DESIGN LOADS. ALL TRUSS DESIGN DOCUMENTS TO BE SUBMITTED BY THE CONTRACTOR TO THE AUTHORITY HAVING JURISDICTION FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
- ALL POSTS UNDER BEAMS TO 3-2X4 AT 2X4 STUD WALLS AND 3-2X6 AT 2X6 STUD WALLS UNLESS OTHERWISE NOTED. ALL POST LOADS TO BE CARRIED CONTINUOUSLY DOWN TO FOUNDATIONS OR SUPPORTING BEAMS.
- DOUBLE ALL FLOOR JOISTS RUNNING PARALLEL UNDER PARTITION WALLS ABOVE.
- DOUBLE ALL FRAMING UNDER WHIRL POOLS, SPAS OR TUBS, KITCHEN ISLANDS AND FIREPLACES.
- DOUBLE FULL LENGTH ALL RAFTERS 4" HEADERS AROUND SKYLIGHTS AND DORMERS.
- ALL PLYWOOD DESIGNATED ON THE STRUCTURAL DRAWINGS SHALL BE DOUGLAS FIR, CONFORMING TO THE LATEST NATIONAL BUREAU OF STANDARDS "U.S. PRODUCT STANDARDS PS 1". PLYWOOD SHALL BE GRADE STAMPED UNDK WITH EXTERIOR GLUE AND PANEL INDEX 24/16, UNLESS NOTED OTHERWISE.
- STRUCTURAL PLYWOOD SHALL CONFORM TO U.S. PRODUCT STANDARDS PS 1-83. STRUCTURAL USE PANELS SHALL CONFORM TO NER-108 (APA PRP-108). A.P.A. GRADE STAMP SHALL BE PROVIDED ON ALL SHEATHING. ROOF AND FLOOR SHEATHING AND SHEAR WALL PANELS SHALL BE IN PLACE AND INSPECTED BY THE BUILDING OFFICIAL PRIOR TO COVERING. INSTALL WITH GRAIN ACROSS SUPPORTS EXCEPT WHERE NOTED ON PLANS OR DETAILS. PROVIDE GAPS AT ALL EDGES AS SPECIFIED BY A.P.A.
- PLYWOOD SHALL BE A.P.A. PERFORMANCE STAMPED, AS SPECIFIED ABOVE, GRADE STAMPED C-D, EXPOSURE.
- ALL GLUE LAMINATED MEMBERS AS SHOWN ON PLANS SHALL BE IN ACCORDANCE WITH A.I.T.C. 209. A.I.T.C. OR A.P.A. INSPECTION CERTIFICATES SHALL BE FURNISHED WITH EACH BEAM. SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW. GLUE LAMINATED MEMBERS SHALL BE OF INDUSTRIAL APPEARANCE WITH EXTERIOR GLUE.
- NO WOOD MEMBER SHALL BE CUT, NOTCHED OR BORED, EXCEPT AS DETAILED OR PERMITTED BY THIS CODE.

- ALL TOPS OF COLUMNS AND WALLS SHALL BE ADEQUATELY BRACED UNTIL THE ROOF SHEATHING IS COMPLETELY NAILED IN PLACE.
- MAXIMUM STUD HEIGHT AND SPACING PER TABLE 602.3(6) OF THE CODE. MAXIMUM CEILING JOIST SPANS SHALL BE PER RCO SPAN TABLES. PROVIDE BLOCKING AT 8'-0" O.C.
- BUILDING DEPARTMENT INSPECTION OF THE ROOF AND FLOOR SYSTEMS IS REQUIRED PRIOR TO PLACING ANY MATERIAL ON OR SUSPENDING ANY LOADS FROM THE ROOF OR FLOOR SYSTEMS.
- FRAMING HARDWARE SHALL BE SIMPSON STRONG TIE OR EQUAL. SUBSTITUTIONS SHALL HAVE AN EVALUATION SERVICE REPORT FROM AN EVALUATION SERVICE AGENCY RECOGNIZED BY OHIO OF BUILDING STANDARDS (RCO 114.3.2.1). ALL FLUSH WOOD TO WOOD CONNECTORS SHALL BE MADE WITH "SIMPSON" METAL HANGERS AS FOLLOWS, UNLESS NOTED OTHERWISE:

A.	ALL NAILS EXPOSED TO THE WEATHER SHALL BE GALVANIZED.
B.	TOE NAILS SHALL BE DRIVEN AT AN ANGLE OF 30 DEGREES TO THE PIECE SURFACE AND BE STARTED AT 1/3 THE LENGTH OF THE NAIL FROM THE EDGE OF THE PIECE.
- WOOD SCREWS SHALL BE IN CONFORMANCE WITH A.N.S.I. B18.8.1.
- BOLTS AND LAG SCREWS SHALL CONFORM TO A.N.S.I. B18.2.1. ALL BOLTS THROUGH WOOD SHALL HAVE STANDARD CUT WASHERS EXCEPT WHERE METAL SHEET PILES ARE SPECIFIED. BOLT HOLES SHALL BE BORED 1/32" TO 1/16" LARGER THAN THE BOLT DIAMETER, UNLESS NOTED OTHERWISE. ALL BOLTS SHALL BE RETIGHTENED PRIOR TO APPLICATION OF PLASTER, PLYWOOD, ETC

- HEADER SCHEDULE:

FLOOR:	SPAN UP TO 2'-6" = (2) 2X8 DF #2 WITH 2 JACK STUDS	SPAN 2'-9" - 4'-4" = (2) 2X10 DF #2 WITH 2 JACK STUDS
1 ST FLOOR:		
STUDS:		
2 ND FLOOR:	SPAN UP TO 2'-6" = (2) 2X8 DF #2 WITH 2 JACK STUDS	6" SPAN = (2) 2X12 DF #2 WITH 2 JACK STUDS
3 RD FLOOR:	SPAN UP TO 4'-7" = (2) 2X6 DF #2 WITH 1 JACK STUD	SPAN 4'-8" TO 5'-9" = (2) 2X8 DF #2 WITH 1 JACK STUD

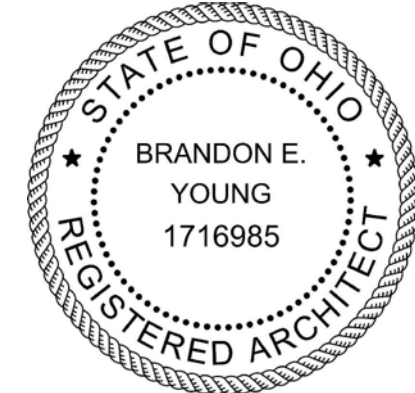
- WINDOW AND DOORS:

WINDOW AND DOORS:	SPAN UP TO 2'-6" = (2) 2X8 DF #2 WITH 2 JACK STUDS	SPAN 2'-9" - 4'-4" = (2) 2X10 DF #2 WITH 2 JACK STUDS
1.	ALL EXTERIOR DOORS TO BE INSULATED STEEL, DOORS TO GARAGES TO BE FIRE RATED AND PROVIDE A SELF CLOSER AS REQUIRED BY LOCAL CODE.	
2.	ALL SLEEPING ROOMS SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNITS MUST BE OPERABLE FROM THE INSIDE TO A FULL OPENING WITHOUT THE USE OF SEPARATE TOOLS. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR. ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A MINIMUM NET CLEAR OPENING OF 5.7" SQUARE FEET. THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20" PER 2019 OHIO RESIDENTIAL CODE R308.4.	

- FIRE CODE NOTES:

1.	WALL AND CEILING FINISHES SHALL HAVE A SMOKE DEVELOPED INDEX OF NOT GREATER THAN 450 PER 2019 RESIDENTIAL CODE OF OHIO 302.9.2.
2.	WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD COEFFICIENT OF NOT GREATER THAN 200 PER 2019 OHIO RESIDENTIAL CODE 302.9.1.
3.	SMOKE DETECTORS ON EACH LEVEL SHALL BE INSTALLED IN EACH SLEEPING AREA AND OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS PER 2019 RESIDENTIAL CODE OF OHIO.
4.	CARBON MONOXIDE ALARMS, FOR NEW CONSTRUCTION AND ADDITIONS APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED OUTSIDE OF EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED. IN DWELLING UNITS THAT HAVE ATTACHED GARAGES PER 2019 RESIDENTIAL CODE OF OHIO 315.1.
5.	GARAGES TO BE COMPLETELY SEPARATED FROM OTHER PARTS OF THE STRUCTURE BY MEANS OF A 1-HOUR MINIMUM FIRE RESISTANT WALLS AND CEILINGS PER 2019 RESIDENTIAL CODE OF OHIO 302.6.
6.	PROVIDE FIREBLOCKING PER 2019 RESIDENTIAL CODE OF OHIO 302.1.1. IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF BOTH VERTICAL AND HORIZONTAL CONCEALED DRAFT OPENINGS AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE.

Seal:



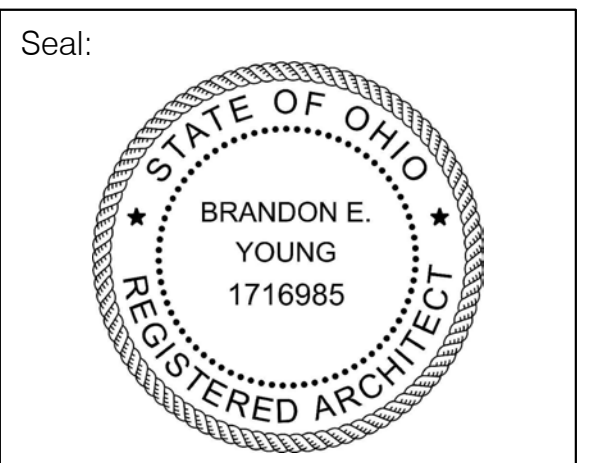
General Notes:

ISSUES:	DATE:
REVIEW	02-16-24
REVIEW	03-06-24
PERMIT	03-08-24
REVIEW	03-21-24
OWNER REVISIONS	03-29-24

 YOUNG DESIGN STUDIO
15614 Detroit Ave.
Lakewood, OH 44107
www.youngdesign



1 SITE PLAN
AS-01 SCALE: 1/16" = 1'-0"



General Notes:

ISSUES:	DATE:
REVIEW	o 02-16-24
REVIEW	o 03-06-24
PERMIT	o 03-08-24
REVIEW	o 03-21-24
OWNER REVISIONS	o 03-29-24
	o
	o
	o
	o

YOUNG DESIGN STUDIO
15614 Detroit Ave.
Lakewood, OH 44107
www.youngdesignstudio.com
p. 216.616.9212
Architecture | Interiors | Urban Design

Ross - Dasch Residence

1047 Kirtland Ln.
Lakewood, Ohio 44107

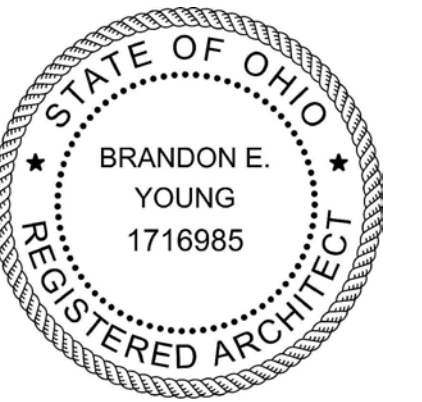
Drawing Title:
Architectural Site Plan

Drawn by:	BEY/MBY	Date:	02-16-2024
Checked by:		Drawing Number:	AS-01
Approved:			
Job Number:			

GENERAL NOTES:

1. GENERAL CONTRACTOR & ALL SUBCONTRACTORS TO FIELD VERIFY ALL EXISTING CONDITIONS, EXAMINE THE ENTIRE SITE AND THE CONSTRUCTION DOCUMENTS TO ENSURE THEIR KNOWLEDGE OF ALL RELEVANT EXISTING FIELD CONDITIONS AFFECTING THE SCOPE OF WORK PRIOR TO PRICING. ANY DISCREPANCIES OR CONFLICTS BETWEEN THE ARCHITECTURAL AND ENGINEERING DOCUMENTS AND FIELD CONDITIONS SHALL BE CLARIFIED WITH THE ARCHITECT AND ENGINEER BEFORE INITIATING WORK.
2. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO OBTAIN ACCURATE FIELD MEASUREMENTS AND VERIFY ALL DIMENSIONS AND TO PROVIDE SHOP DRAWINGS TO ENSURE AN ACCURATE FIT. NO CLAIM FOR EXTRA COMPENSATION WILL BE ALLOWED BASED ON FAILURE TO IDENTIFY EXISTING FIELD CONDITIONS.
3. GENERAL CONTRACTOR SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES OR OMISSIONS THEY MAY DISCOVER PRIOR TO THE COMMENCING OF WORK WITH THE REQUEST FOR INFORMATION (RFI) FORM.
4. DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS. ALL DIMENSIONS ARE FROM FACE OF STUD (TYPICAL UNLESS OTHERWISE NOTED). - DO NOT SCALE.
5. ALL DOOR ROUGH OPENINGS ARE TO BE LOCATED 3" FROM NEAREST WALL AT HINGE SIDE (TYPICAL UNLESS OTHERWISE NOTED).

Seal:



General Notes:

ISSUES:	DATE:
REVIEW	02-16-24
REVIEW	03-06-24
PERMIT	03-08-24
REVIEW	03-21-24
OWNER REVISIONS	03-29-24

YOUNG DESIGN STUDIO
 15614 Detroit Ave.
 Lakewood, OH 44107
 www.youngdesignstudio.com
 p. 216.616.9212
 Architecture | Interiors | Urban Design

Ross - Dasch Residence

1047 Kirtland Ln.
 Lakewood, Ohio 44107

Drawing Title:

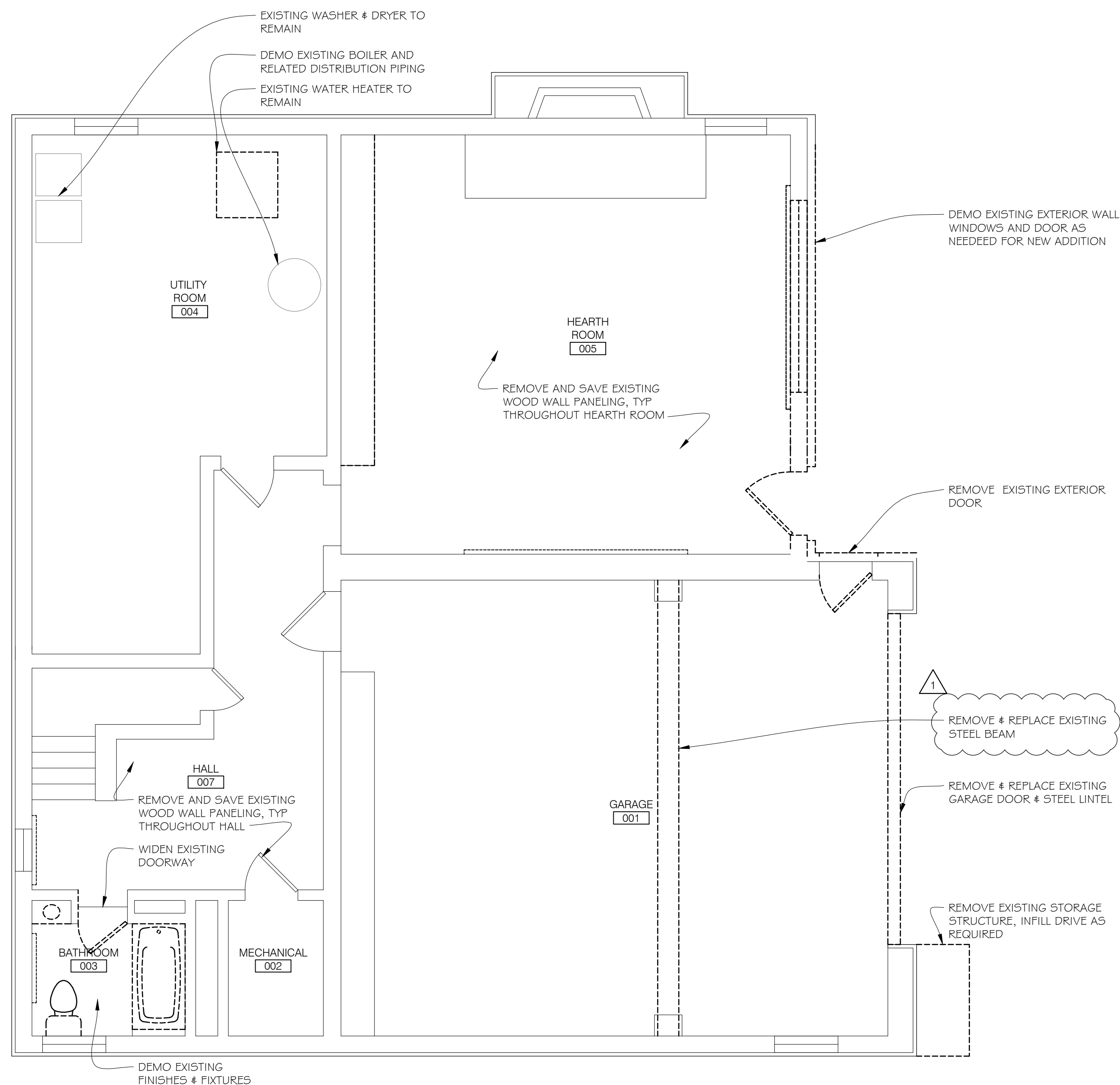
**LOWER LEVEL
 DEMOLITION AND
 CONSTRUCTION FLOOR
 PLANS**

Drawn by: BEY/MBY Date: 02-16-2024

Checked by: Drawing Number:

Approved: **A1-00**

Job Number:

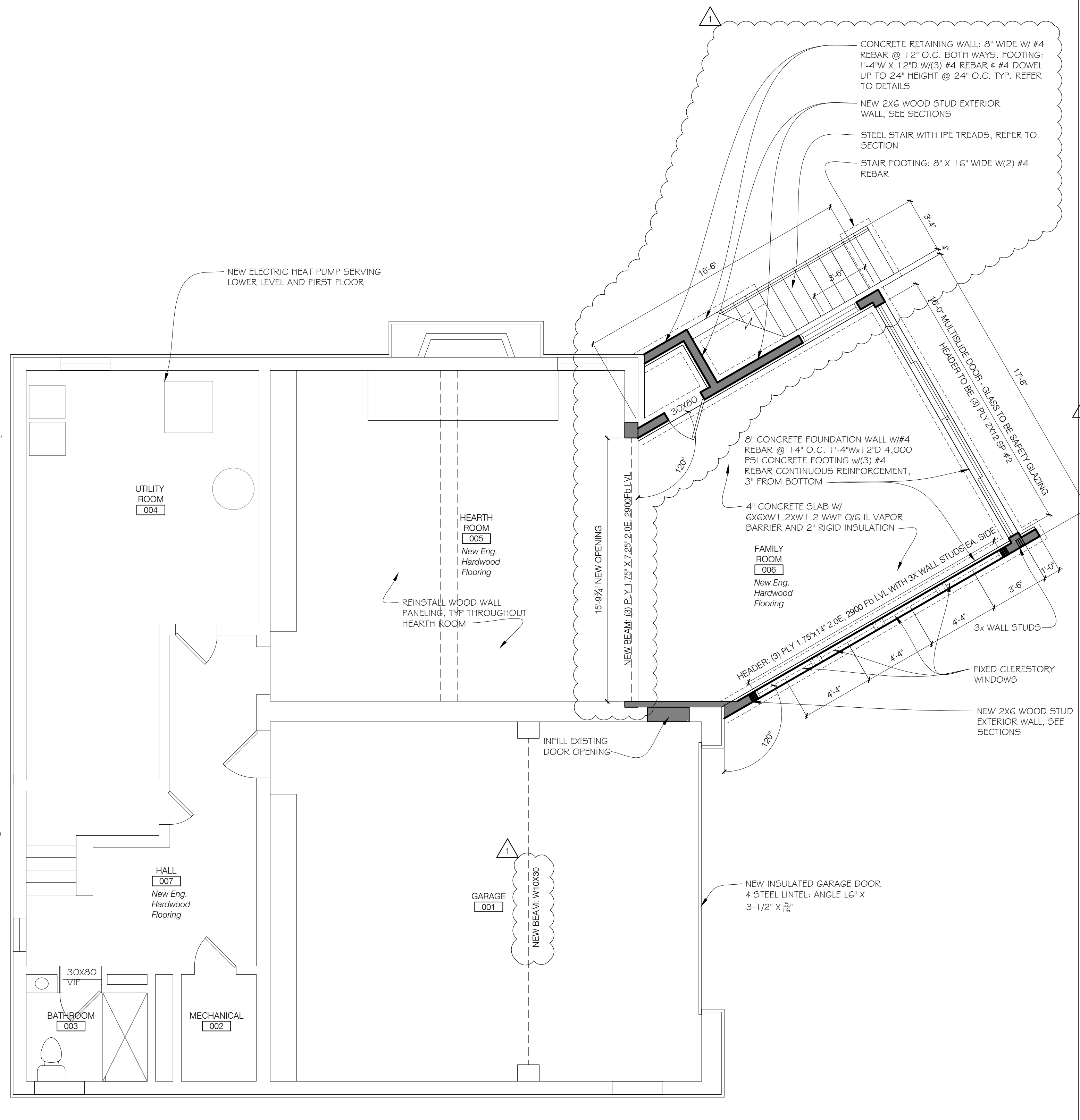
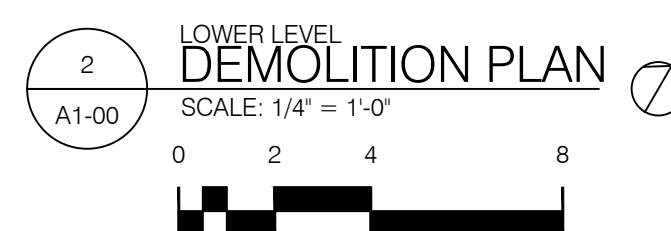


Key

- Indicates existing construction to remain
- Indicates demolition scope

Demolition Scope of Work Notes

1. Remove all floor finishes unless noted otherwise. Existing hardwood floor to be refinished except where new finish flooring noted.
2. Remove all existing drywall/plaster unless noted otherwise.
3. Remove all existing radiators and related piping.
4. Remove all existing ductwork.

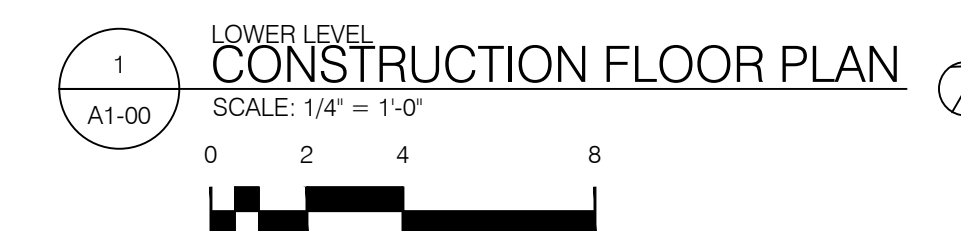


Key

- Indicates existing construction to remain
- Indicates new construction

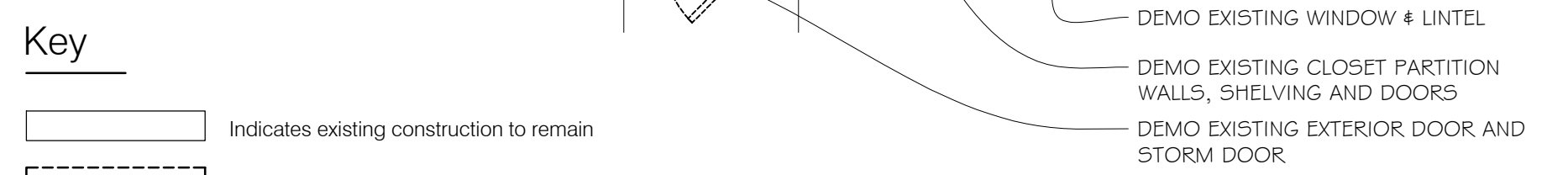
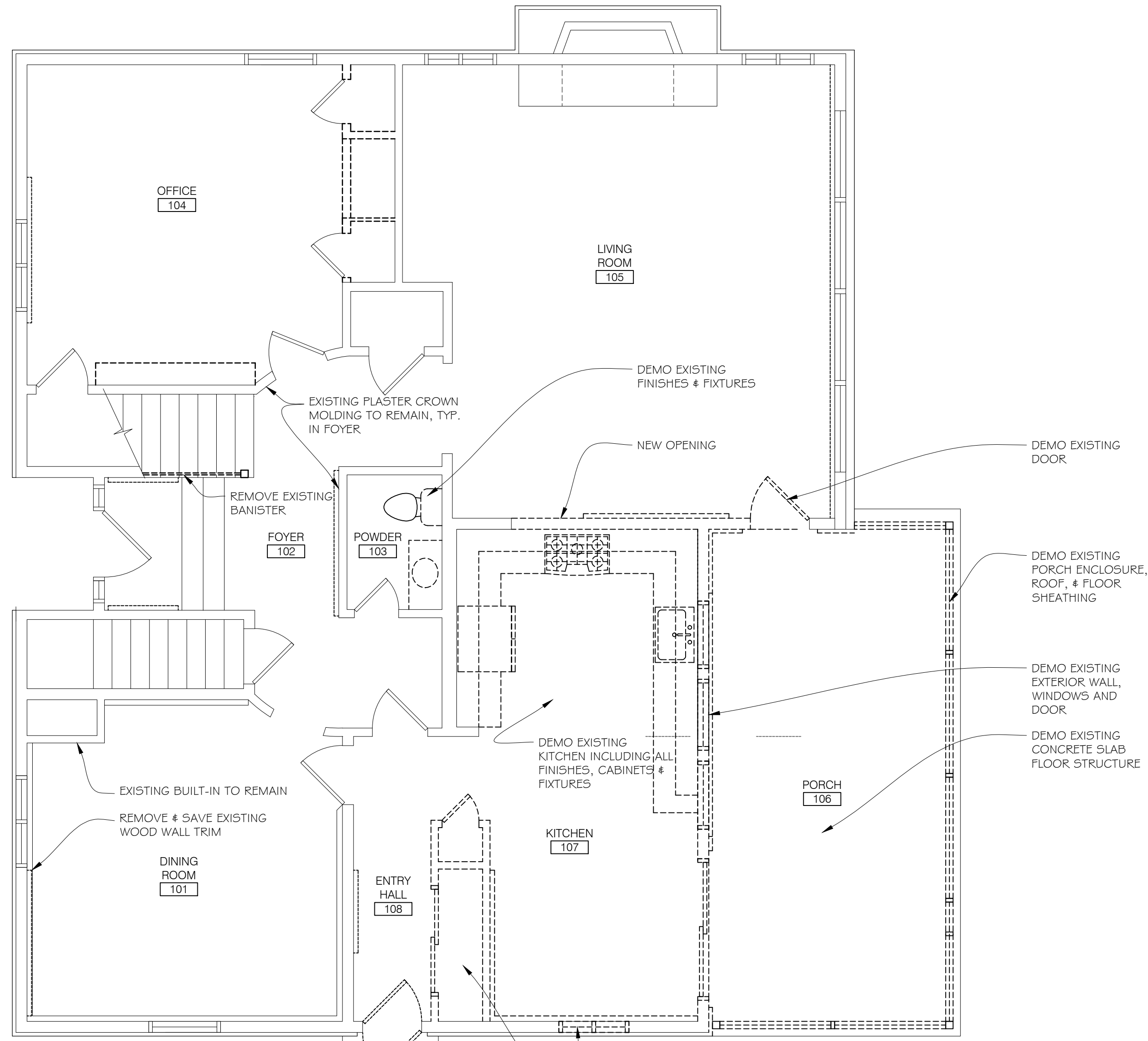
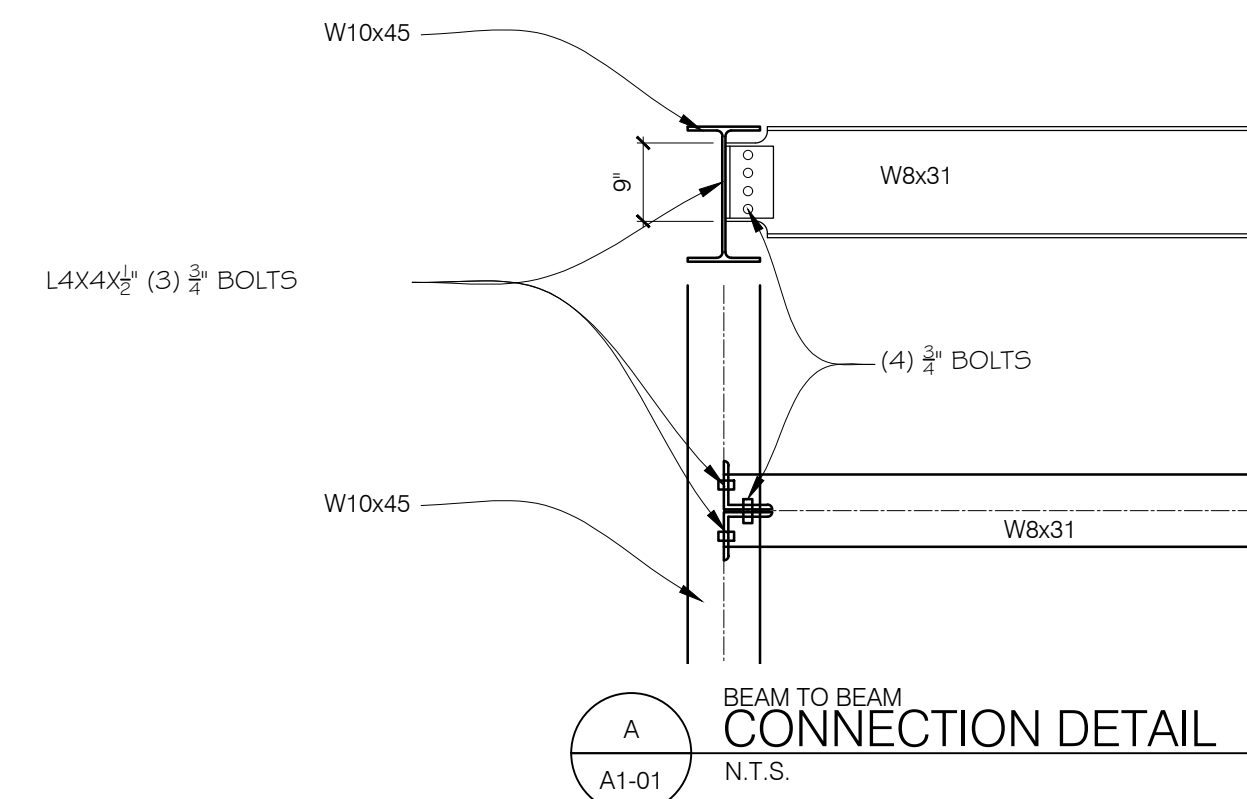
General Scope of Work Notes

1. Replace all existing windows, refer to plan and elevations for sizes, VIF. Window finishes to be black exterior, black interior except where noted otherwise. Replace all existing window lintels: typ, lintel size: angle L6"x 3/4"
2. Refinish existing hardwood floors throughout unless noted otherwise.
3. Provide 3/8" gyp. ceiling in kitchen, butlers's pantry and primary bathroom to accommodate recessed channel lighting.
4. Provide 2" min spray foam insulation (R-5.5/inch min) with batt insulation to fill remaining cavity space at all exterior walls.
5. All new Handrails/Guardrails shall meet requirements of RCO 311 & 312; height to be 34"-36" above stair nosings or fill surface of floor/landing level. Spacing shall prevent passage of 4" sphere, triangle formed by tread, riser, and guard bottom prevents passage of 6" diameter sphere. Handrail has grip which meets RCO 311.7.8.5 Type I or II criteria or provides equivalent graspability.

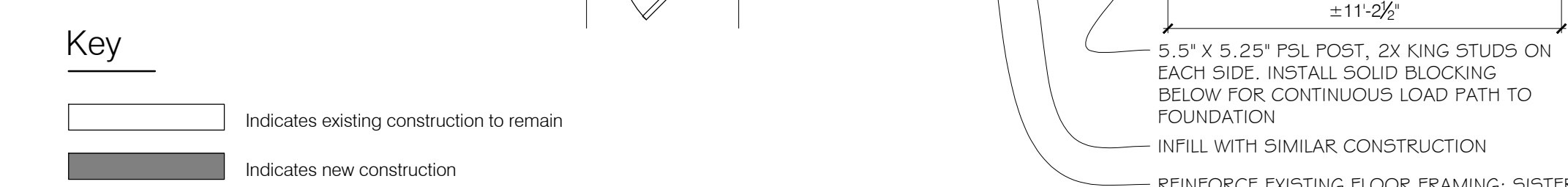
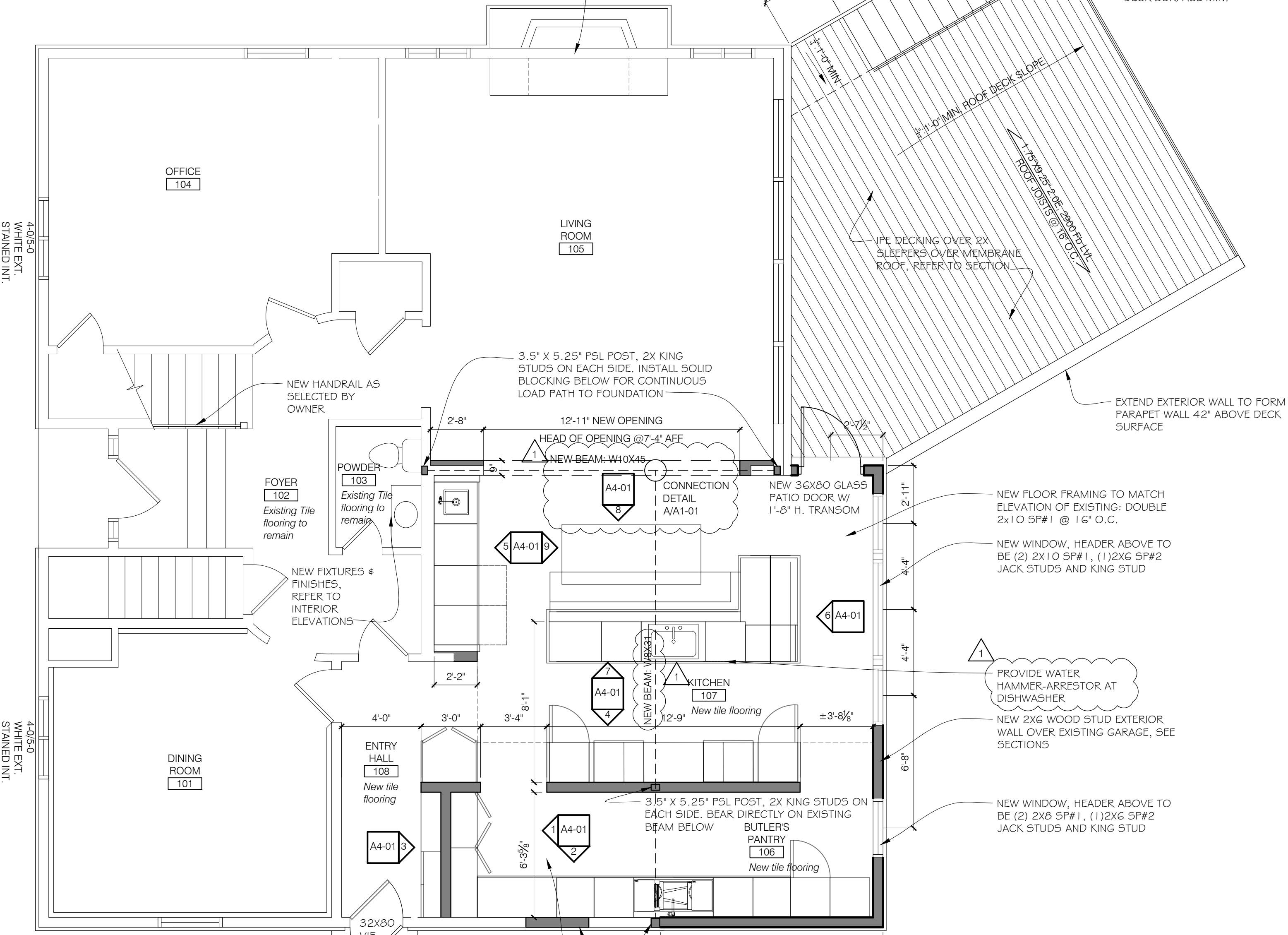
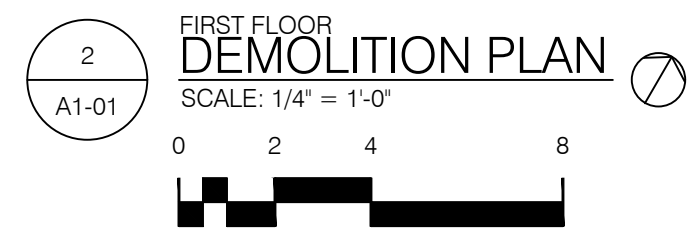


GENERAL NOTES:

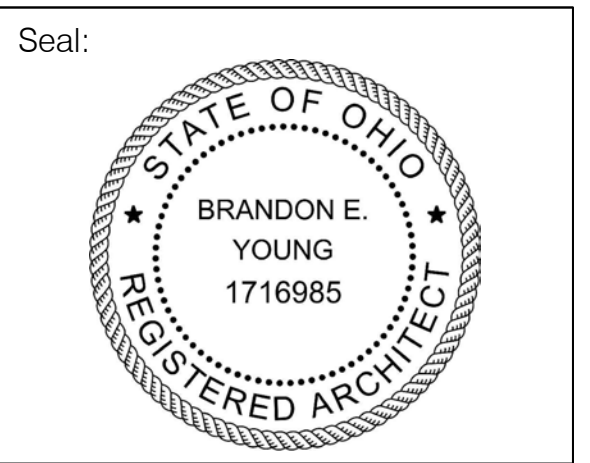
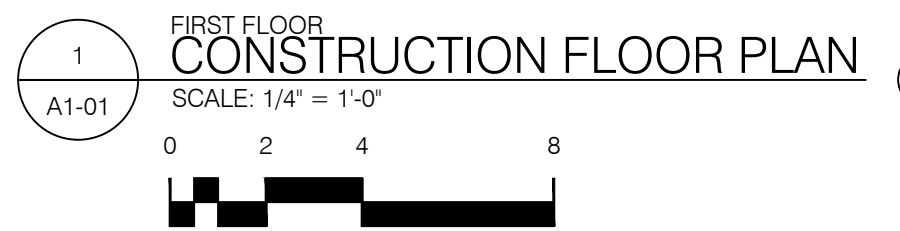
1. GENERAL CONTRACTOR & ALL SUBCONTRACTORS TO FIELD VERIFY ALL EXISTING CONDITIONS, EXAMINE THE ENTIRE SITE AND THE CONSTRUCTION DOCUMENTS TO ENSURE THEIR KNOWLEDGE OF ALL RELEVANT EXISTING FIELD CONDITIONS AFFECTING THE SCOPE OF WORK PRIOR TO PRICING. ANY DISCREPANCIES OR CONFLICTS BETWEEN THE ARCHITECTURAL AND ENGINEERING DOCUMENTS AND FIELD CONDITIONS SHALL BE CLARIFIED WITH THE ARCHITECT AND ENGINEER BEFORE INITIATING WORK.
2. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO OBTAIN ACCURATE FIELD MEASUREMENTS AND VERIFY ALL DIMENSIONS AND TO PROVIDE SHOP DRAWINGS TO ENSURE AN ACCURATE FIT. NO CLAIM FOR EXTRA COMPENSATION WILL BE ALLOWED BASED ON FAILURE TO IDENTIFY EXISTING FIELD CONDITIONS.
3. GENERAL CONTRACTOR SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES OR OMISSIONS THEY MAY DISCOVER PRIOR TO THE COMMENCING OF WORK WITH THE REQUEST FOR INFORMATION (RFI) FORM.
4. DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS. ALL DIMENSIONS ARE FROM FACE OF STUD (TYPICAL UNLESS OTHERWISE NOTED). - DO NOT SCALE.
5. ALL DOOR ROUGH OPENINGS ARE TO BE LOCATED 3" FROM NEAREST WALL AT HINGE SIDE (TYPICAL UNLESS OTHERWISE NOTED).



- Demolition Scope of Work Notes**
1. Remove all floor finishes unless noted otherwise. Existing hardwood floor to be refinished except where new finish flooring noted.
 2. Remove all existing drywall/plaster unless noted otherwise.
 3. Remove all existing radiators and related piping.
 4. Remove all existing ductwork.



- General Scope of Work Notes**
1. Replace all existing windows, refer to plan and elevations for sizes, VIF. Window finishes to be black exterior, black interior except where noted otherwise. Replace all existing window lintels: typ. lintel size: angle L6"x3 3/4"
 2. Refinish existing hardwood floors throughout unless noted otherwise.
 3. Provide 3/8" gyp. ceiling in kitchen, butler's pantry and primary bathroom to accommodate recessed channel lighting.
 4. Provide 2" min spray foam insulation (R-5.5/inch min) with batt insulation to fill remaining cavity space at all exterior walls.
 5. All new Handrails/Guardrails shall meet requirements of RCO 311 & 312; height to be 34"-36" above stair nosings or fall surface of floor/landing level. Spacing shall prevent passage of 4" sphere, triangle formed by tread, riser, and guard bottom prevents passage of 6" diameter sphere. Handrail has grip which meets RCO 311.7.8.5 Type I or II criteria or provides equivalent graspability.



General Notes:

ISSUES:	DATE:
REVIEW	02-16-24
REVIEW	03-06-24
PERMIT	03-08-24
REVIEW	03-21-24
OWNER REVISIONS	03-29-24

YOUNG DESIGN STUDIO
15614 Detroit Ave.
Lakewood, OH 44107
www.youngdesignstudio.com
p. 216.616.9212
Architecture | Interiors | Urban Design

Ross - Dasch Residence
1047 Kirtland Ln.
Lakewood, Ohio 44107

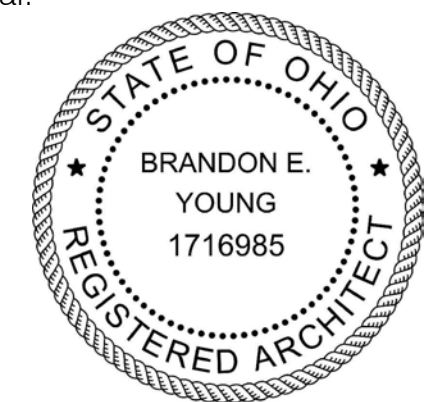
Drawing Title:
FIRST FLOOR DEMOLITION AND CONSTRUCTION FLOOR PLANS

Drawn by: BEY/MBY	Date: 02-16-2024
Checked by:	Drawing Number: A1-01
Approved:	
Job Number:	

GENERAL NOTES:

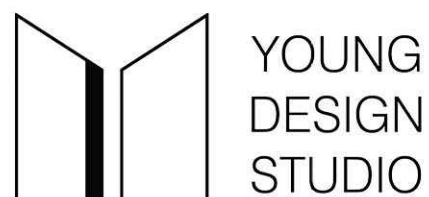
1. GENERAL CONTRACTOR & ALL SUBCONTRACTORS TO FIELD VERIFY ALL EXISTING CONDITIONS, EXAMINE THE ENTIRE SITE AND THE CONSTRUCTION DOCUMENTS TO ENSURE THEIR KNOWLEDGE OF ALL RELEVANT EXISTING FIELD CONDITIONS AFFECTING THE SCOPE OF WORK PRIOR TO PRICING. ANY DISCREPANCIES OR CONFLICTS BETWEEN THE ARCHITECTURAL AND ENGINEERING DOCUMENTS AND FIELD CONDITIONS SHALL BE CLARIFIED WITH THE ARCHITECT AND ENGINEER BEFORE INITIATING WORK.
2. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO OBTAIN ACCURATE FIELD MEASUREMENTS AND VERIFY ALL DIMENSIONS AND TO PROVIDE SHOP DRAWINGS TO ENSURE AN ACCURATE FIT. NO CLAIM FOR EXTRA COMPENSATION WILL BE ALLOWED BASED ON FAILURE TO IDENTIFY EXISTING FIELD CONDITIONS.
3. GENERAL CONTRACTOR SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES OR OMISSIONS THEY MAY DISCOVER PRIOR TO THE COMMENCING OF WORK WITH THE REQUEST FOR INFORMATION (RFI) FORM.
4. DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS. ALL DIMENSIONS ARE FROM FACE OF STUD (TYPICAL UNLESS OTHERWISE NOTED). - DO NOT SCALE.
5. ALL DOOR ROUGH OPENINGS ARE TO BE LOCATED 3" FROM NEAREST WALL AT HINGE SIDE (TYPICAL UNLESS OTHERWISE NOTED).

Seal:



General Notes:

ISSUES:	DATE:
REVIEW	02-16-24
REVIEW	03-06-24
PERMIT	03-08-24
REVIEW	03-21-24
OWNER REVISIONS	03-29-24



15614 Detroit Ave.
Lakewood, OH 44107
www.youngdesignstudio.com
p. 216.616.9212
Architecture | Interiors | Urban Design

Ross - Dasch Residence

1047 Kirtland Ln.
Lakewood, Ohio 44107

Drawing Title:

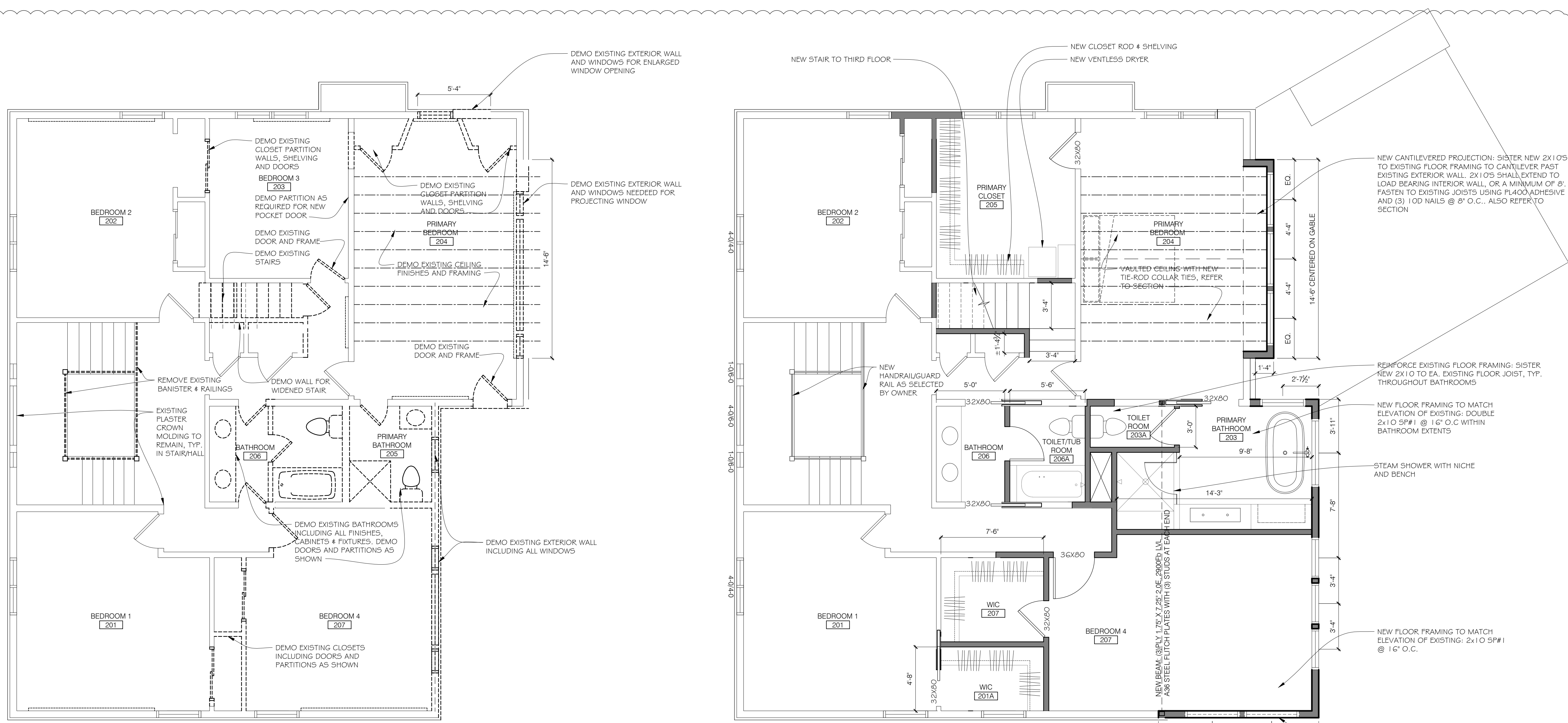
**SECOND FLOOR
DEMOLITION AND
CONSTRUCTION FLOOR
PLANS**

Drawn by: BEY/MBY Date: 02-16-2024

Checked by: Drawing Number:

Approved: **A1-02**

Job Number:

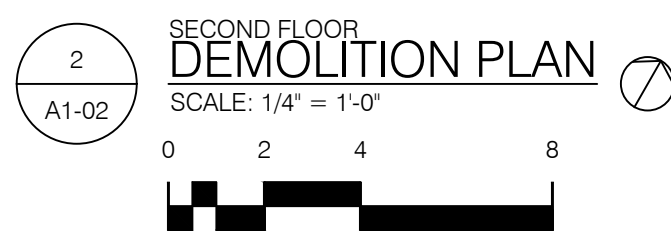


Key

- Indicates existing construction to remain
- Indicates demolition scope

Demolition Scope of Work Notes

1. Remove all floor finishes unless noted otherwise. Existing hardwood floor to be refinished except where new finish flooring noted.
2. Remove all existing drywall/plaster unless noted otherwise.
3. Remove all existing radiators and related piping.
4. Remove all existing ductwork.

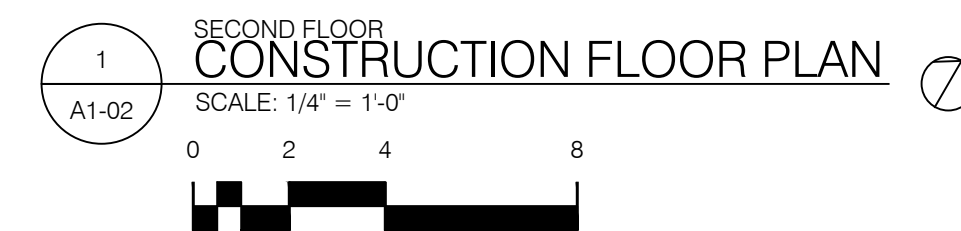


Key

- Indicates existing construction to remain
- Indicates new construction

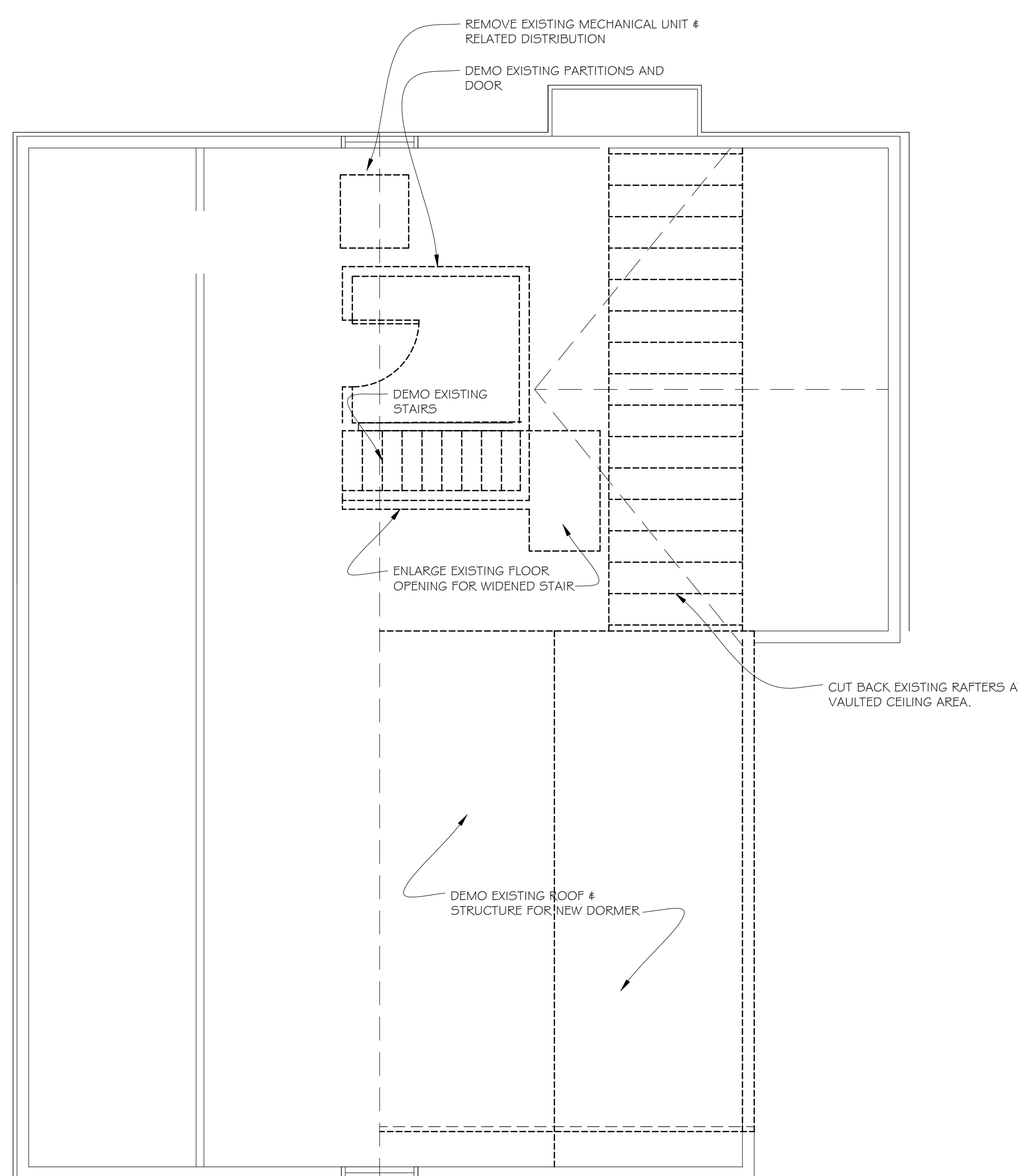
General Scope of Work Notes

1. Replace all existing windows, refer to plan and elevations for sizes, VIF. Window finishes to be black exterior, black interior except where noted otherwise. Replace all existing window lintels: typ. lintel size: angle L6x3 3/4". Refinish existing hardwood floors throughout unless noted otherwise.
2. Provide 3/8" gyp. ceiling in kitchen, butler's pantry and primary bathroom to accommodate recessed channel lighting.
3. Provide 2" min spray foam insulation (R-5.5/inch min) with batt insulation to fill remaining cavity space at all exterior walls.
4. All new Handrails/Guardrails shall meet requirements of RCO 311 & 312; height to be 34"-36" above stair nosings or flat surface of floor/landing level. Spacing shall prevent passage of 4" sphere, triangle formed by tread, riser, and guard bottom prevents passage of 6" diameter sphere. Handrail has grip which meets RCO 311.7.8.5, Type I or II criteria or provides equivalent graspability.



GENERAL NOTES:

1. GENERAL CONTRACTOR & ALL SUBCONTRACTORS TO FIELD VERIFY ALL EXISTING CONDITIONS, EXAMINE THE ENTIRE SITE AND THE CONSTRUCTION DOCUMENTS TO ENSURE THEIR KNOWLEDGE OF ALL RELEVANT EXISTING FIELD CONDITIONS AFFECTING THE SCOPE OF WORK PRIOR TO PRICING. ANY DISCREPANCIES OR CONFLICTS BETWEEN THE ARCHITECTURAL AND ENGINEERING DOCUMENTS AND FIELD CONDITIONS SHALL BE CLARIFIED WITH THE ARCHITECT AND ENGINEER BEFORE INITIATING WORK.
2. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO OBTAIN ACCURATE FIELD MEASUREMENTS AND VERIFY ALL DIMENSIONS AND TO PROVIDE SHOP DRAWINGS TO ENSURE AN ACCURATE FIT. NO CLAIM FOR EXTRA COMPENSATION WILL BE ALLOWED BASED ON FAILURE TO IDENTIFY EXISTING FIELD CONDITIONS.
3. GENERAL CONTRACTOR SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES OR OMISSIONS THEY MAY DISCOVER PRIOR TO THE COMMENCING OF WORK WITH THE REQUEST FOR INFORMATION (RFI) FORM.
4. DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS. ALL DIMENSIONS ARE FROM FACE OF STUD (TYPICAL UNLESS OTHERWISE NOTED). - DO NOT SCALE.
5. ALL DOOR ROUGH OPENINGS ARE TO BE LOCATED 3" FROM NEAREST WALL AT HINGE SIDE (TYPICAL UNLESS OTHERWISE NOTED).

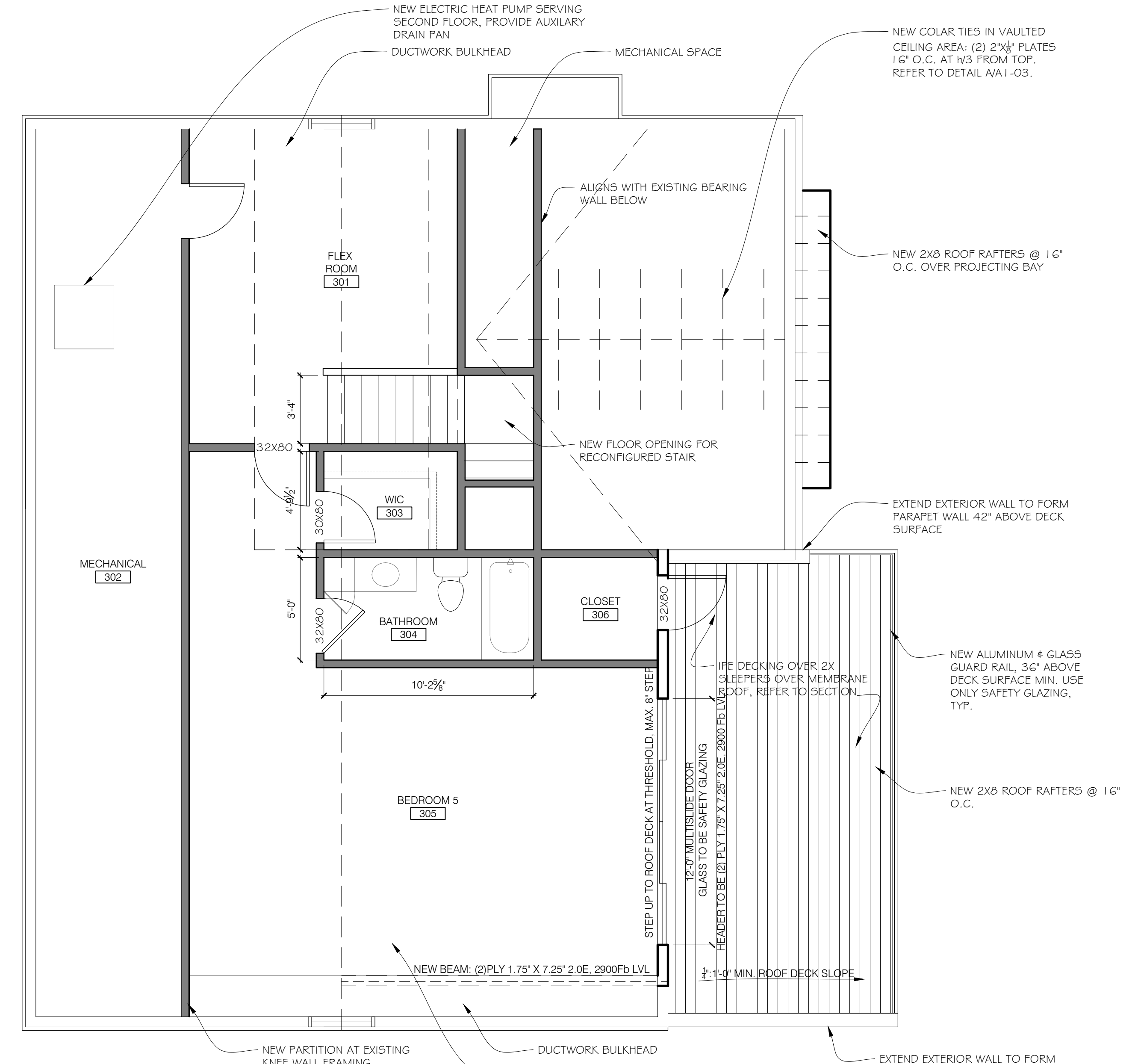
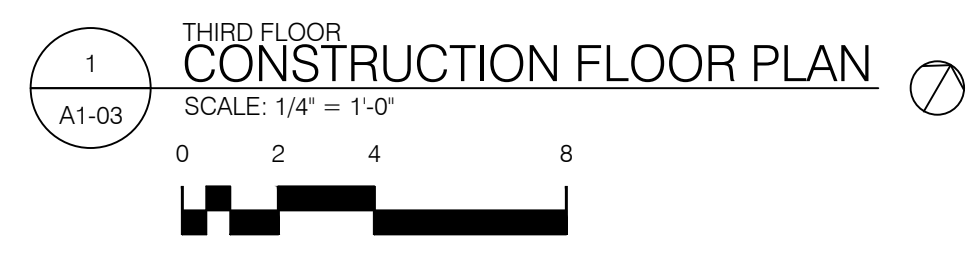


Key

Indicates existing construction to remain

Indicates demolition scope

- Demolition Scope of Work Notes**
1. Remove all floor finishes unless noted otherwise. Existing hardwood floor to be refinished except where new finish flooring noted.
 2. Remove all existing drywall/plaster unless noted otherwise.
 3. Remove all existing radiators and related piping.
 4. Remove all existing ductwork.

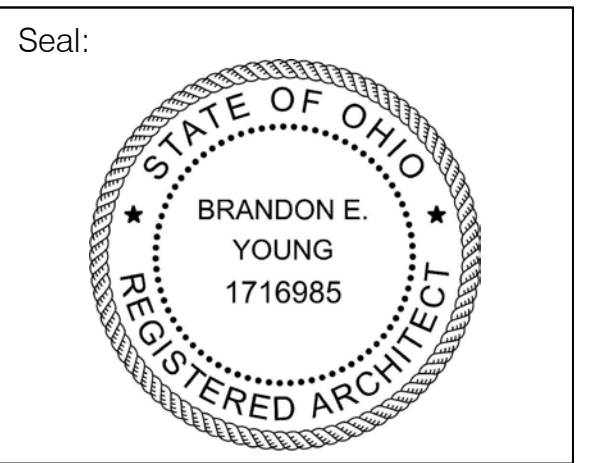
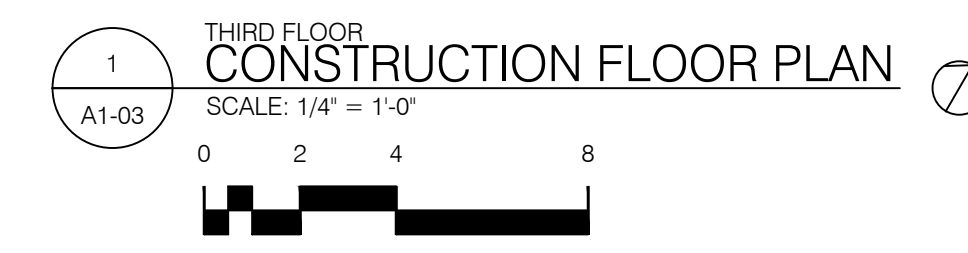


Key

Indicates existing construction to remain

Indicates new construction

- General Scope of Work Notes**
1. Replace all existing windows, refer to plan and elevations for sizes, VIF. Window finishes to be black exterior, black interior except where noted otherwise. Replace all existing window lintels: typ. lintel size: angle L6"x3 3/4"
 2. Refinish existing hardwood floors throughout unless noted otherwise.
 3. Provide 3/8" gyp. ceiling in kitchen, butler's pantry and primary bathroom to accommodate recessed channel lighting.
 4. Provide 2" min spray foam insulation (R-5.5/inch min) with batt insulation to fill remaining cavity space at all exterior walls.
 5. All new Handrails/Guardrails shall meet requirements of RCO 311 & 312; height to be 34"-36" above stair nosings or flat surface of floor/landing level. Spacing shall prevent passage of 4" sphere, triangle formed by tread, riser, and guard bottom prevents passage of 6" diameter sphere. Handrail has grip which meets RCO 311.7.8.5 Type I or II criteria or provides equivalent graspability.



General Notes:

ISSUES:	DATE:
REVIEW	o 02-16-24
REVIEW	o 03-06-24
PERMIT	o 03-08-24
REVIEW	o 03-21-24
OWNER REVISIONS	o 03-29-24
	o
	o
	o
	o

YOUNG DESIGN STUDIO

15614 Detroit Ave.
Lakewood, OH 44107

www.youngdesignstudio.com
p. 216.616.9212

Architecture | Interiors | Urban Design

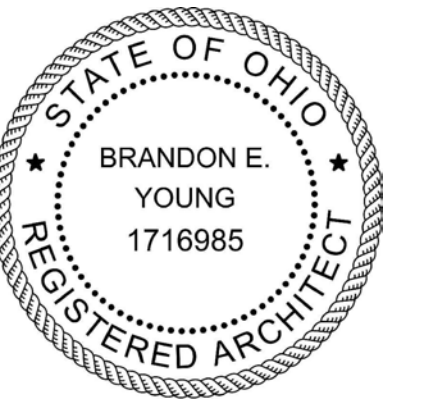
Ross - Dasch Residence

1047 Kirtland Ln.
Lakewood, Ohio 44107

Drawing Title:
CONSTRUCTION THIRD FLOOR PLAN

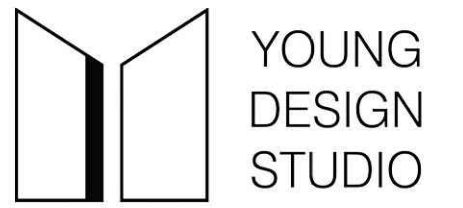
Drawn by: BEY/MBY	Date: 02-16-2024
Checked by:	Drawing Number:
Approved:	A1-03
Job Number:	

Seal:



General Notes:

ISSUES:	DATE:
REVIEW	o 02-16-24
REVIEW	o 03-06-24
PERMIT	o 03-08-24
REVIEW	o 03-21-24
OWNER REVISIONS	o 03-29-24
	o
	o
	o
	o



YOUNG DESIGN STUDIO
 15614 Detroit Ave.
 Lakewood, OH 44107
 www.youngdesignstudio.com
 p. 216.616.9212
 Architecture | Interiors | Urban Design

Ross - Dasch Residence

1047 Kirtland Ln.
 Lakewood, Ohio 44107

Drawing Title:

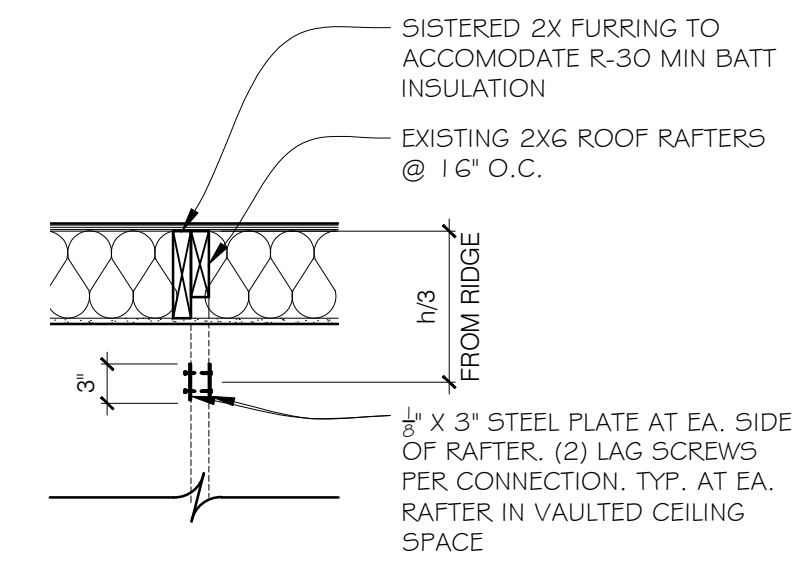
CONSTRUCTION ROOF PLAN

Drawn by: **BEY/MBY** Date: **02-16-2024**

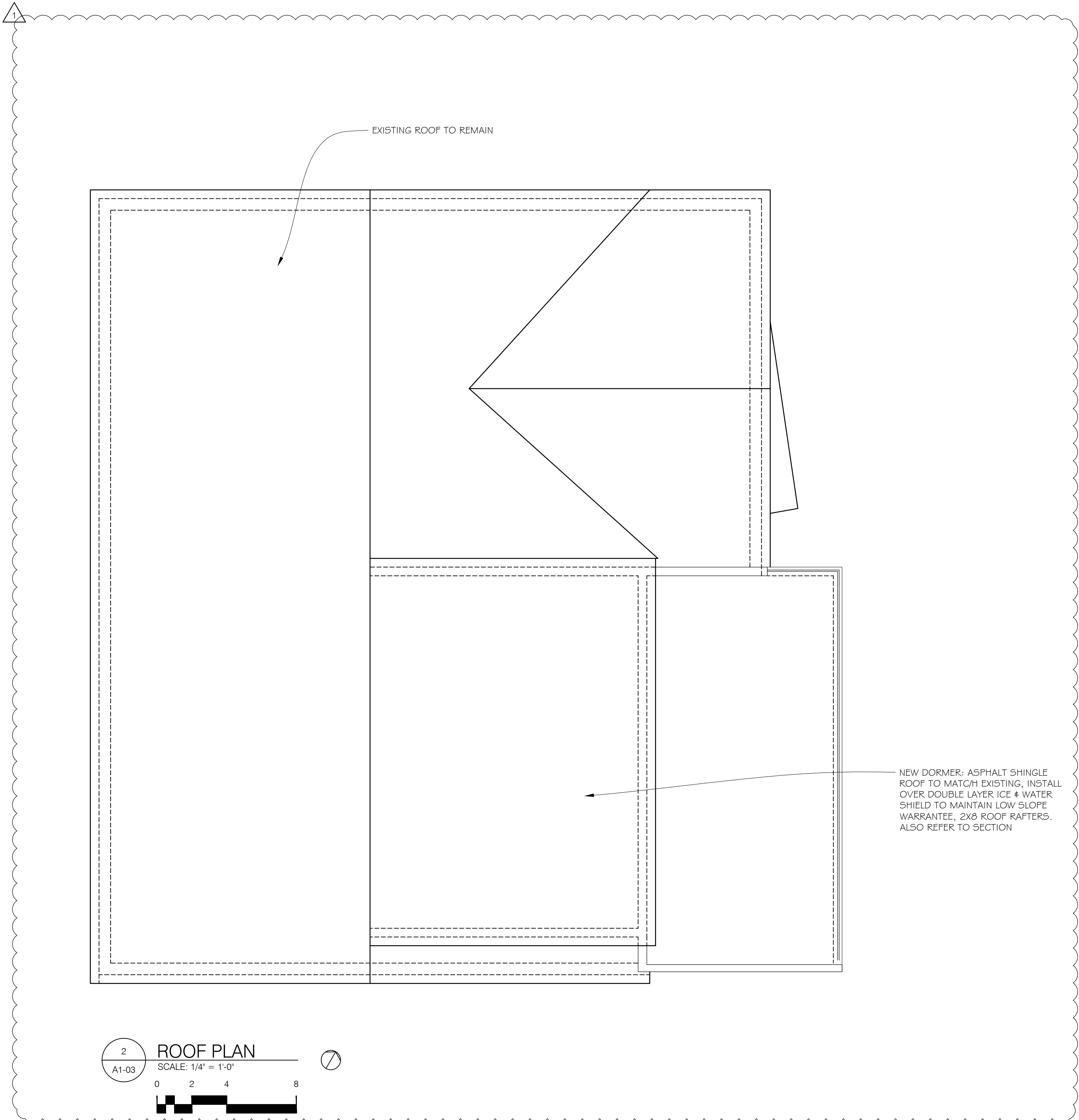
Checked by: _____ Drawing Number: _____

Approved: **A1-04**

Job Number: _____



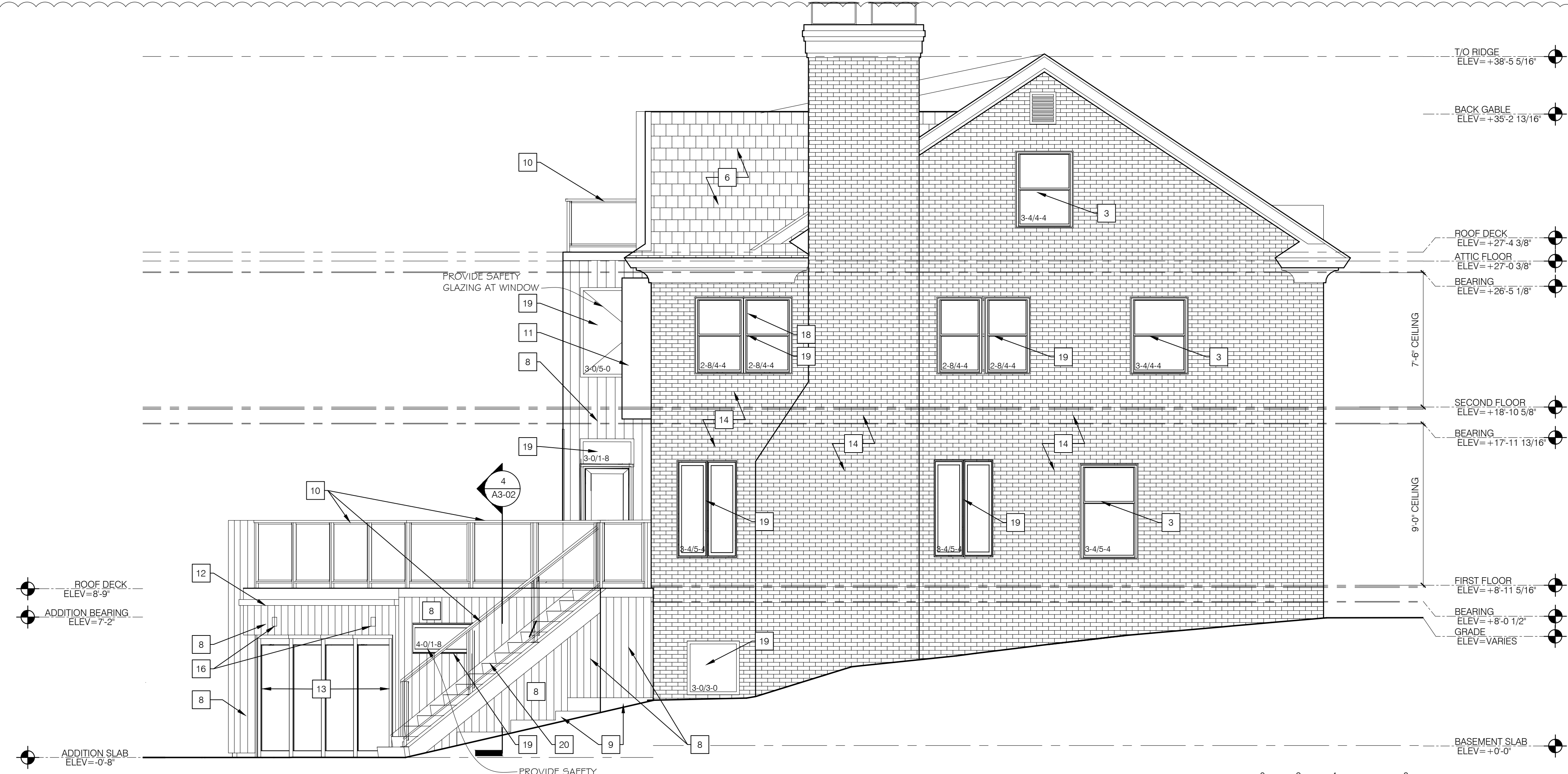
COLAR TIE DETAIL
 A
 A1-04
 N.T.S.



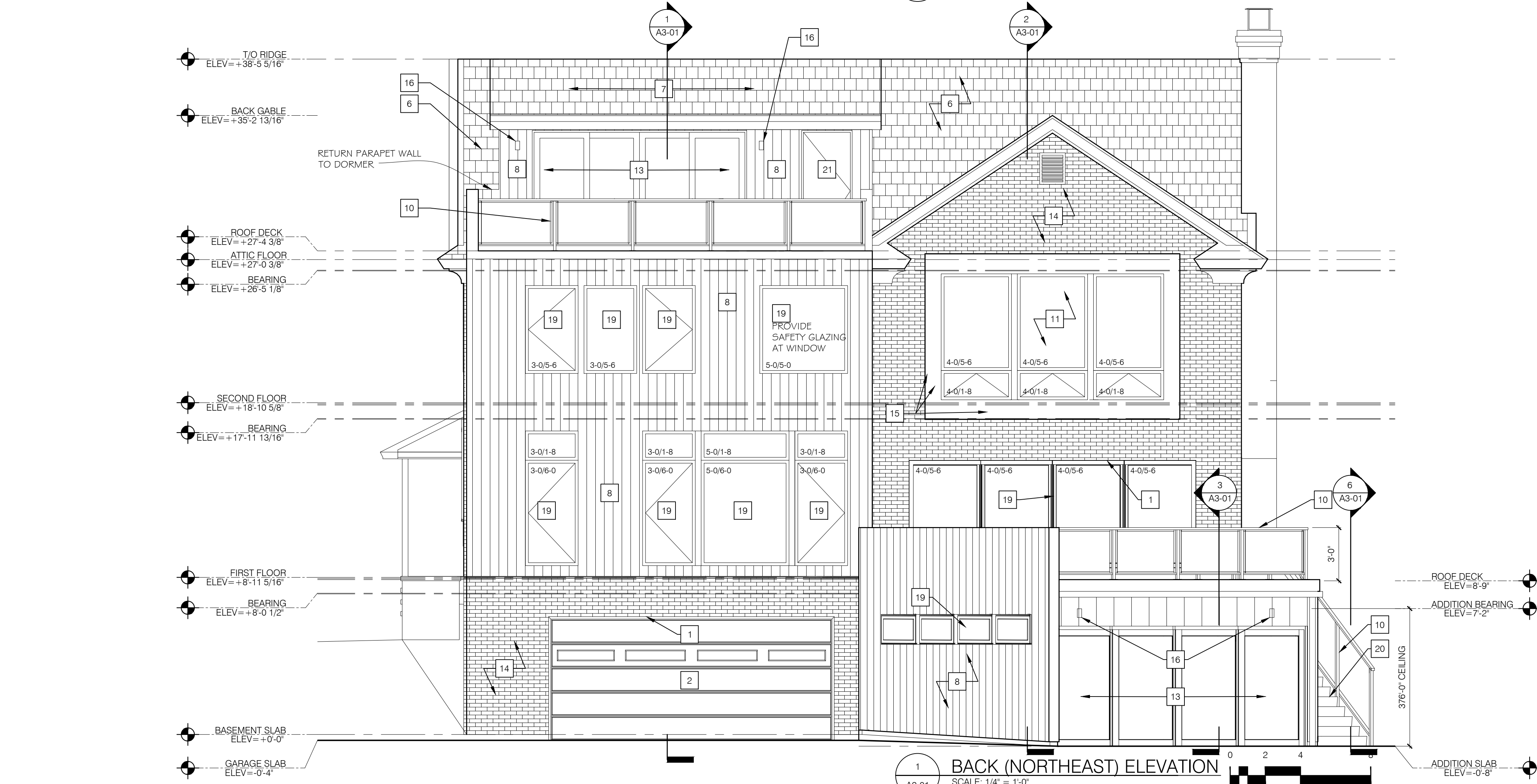
2 ROOF PLAN
 SCALE: 1/4" = 1'-0"
 0 2 4 8

ELEVATION KEYNOTES

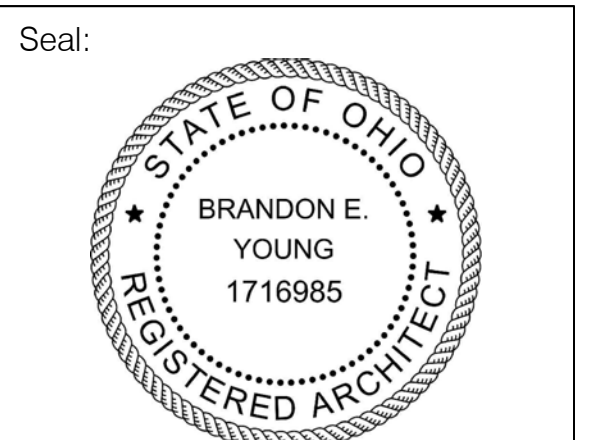
1. REPLACE EXISTING DETERIORATED LINTEL AT GARAGE DOOR OPENING. NEW LINTEL: 16"x3 1/2"x2" TYP.
2. NEW INSULATED GARAGE DOOR WITH WINDOWS TO BE SELECTED BY OWNER, BLACK FINISH.
3. REPLACE EXISTING WINDOW IN KIND, WHITE EXTERIOR, STAINED INTERIOR.
4. EXISTING BRICK TO REMAIN.
5. PATCH EXISTING BRICK WITH MATCHING BRICK AS REQUIRED.
6. EXISTING ROOF TO REMAIN
7. NEW ASPHALT SHINGLE ROOF TO MATCH EXISTING. INSTALL PER MFR. REQUIREMENTS FOR LOW-SLOPE ROOF.
8. NEW METAL SIDING, TBD
9. NEW CONCRETE RETAINING WALL WITH SMOOTH ARCHITECTURAL FINISH
10. NEW GLASS & METAL HANDRAILGUARD RAIL TO BE SELECTED BY OWNER, BLACK FINISH. USE ONLY SAFETY GLAZING TYP. HANDRAIL GRIP SHALL COMPLY WITH RCO 3.1.1, 7, 8, 5 TYPE I OR II CRITERIA OR PROVIDE EQUIVALENT GRASPABILITY
11. NEW PROJECTING WINDOW
12. NEW BOX GUTTER AND DOWNSPOUT, BLACK FINISH
13. NEW GLIDING PATIO DOOR, BLACK EXTERIOR, WHITE INTERIOR, GLASS IN DOOR PANELS AND ADJACENT WINDOWS TO BE SAFETY GLAZING.
14. EXISTING FACE BRICK TO REMAIN
15. NEW BREAK METAL CLADDING, FINISH TBD
16. NEW EXTERIOR SCONCE, REFER TO ELECTRICAL PLANS
17. NEW ENTRY DOOR & STORM DOOR TO BE SELECTED BY OWNER
18. ENLARGE / MODIFY EXISTING WINDOW OPENING, REFER TO PLAN & SECTIONS
19. NEW WINDOW: BLACK EXTERIOR, BLACK INTERIOR
20. NEW STEEL STAIR WITH IPE TREADS, REFER TO SECTION
21. NEW EXTERIOR FLUSH DOOR, COLOR TO MATCH ADJACENT SIDING



2 SIDE (NORTH WEST) ELEVATION
SCALE: 1/4" = 1'-0"



1 BACK (NORTHEAST) ELEVATION
SCALE: 1/4" = 1'-0"



General Notes:

ISSUES:	DATE:
REVIEW	o 02-16-24
REVIEW	o 03-06-24
PERMIT	o 03-08-24
REVIEW	o 03-21-24
OWNER REVISIONS	o 03-29-24
	o
	o
	o

YOUNG DESIGN STUDIO
 15614 Detroit Ave.
 Lakewood, OH 44107
 www.youngdesignstudio.com
 p. 216.616.9212
 Architecture | Interiors | Urban Design

Ross - Dasch Residence
 1047 Kirtland Ln.
 Lakewood, Ohio 44107

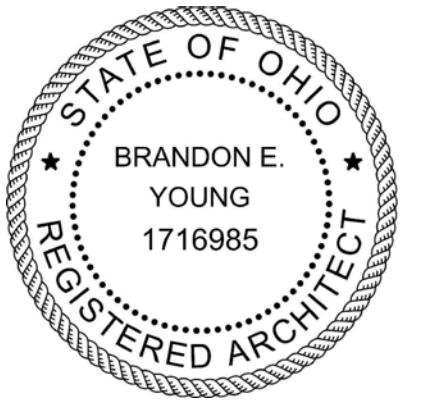
Drawing Title:
EXTERIOR ELEVATIONS

Drawn by:	BEY/MBY	Date:	02-16-2024
Checked by:		Drawing Number:	
Approved:		A2-01	
Job Number:			

ELEVATION KEYNOTES

1. REPLACE EXISTING DETERIORATED LINTEL AT GARAGE DOOR OPENING. NEW LINTEL: 16"x3 1/2"x12" TYF.
2. NEW INSULATED GARAGE DOOR WITH WINDOWS TO BE SELECTED BY OWNER, BLACK FINISH.
3. REPLACE EXISTING WINDOW IN KIND, WHITE EXTERIOR, STAINED INTERIOR.
4. EXISTING BRICK TO REMAIN.
5. PATCH EXISTING BRICK WITH MATCHING BRICK AS REQUIRED.
6. EXISTING ROOF TO REMAIN
7. NEW ASPHALT SHINGLE ROOF TO MATCH EXISTING. INSTALL PER MFR. REQUIREMENTS FOR LOW-SLOPE ROOF.
8. NEW METAL SIDING, TBD
9. NEW CONCRETE RETAINING WALL WITH SMOOTH ARCHITECTURAL FINISH
10. NEW GLASS & METAL HANDRAIL/GUARD RAIL TO BE SELECTED BY OWNER, BLACK FINISH. USE ONLY SAFETY GLAZING TYF. HANDRAIL GRIP SHALL COMPLY WITH RCO 3.1.1, 7, 8, 5 TYPE I OR II CRITERIA OR PROVIDE EQUIVALENT GRASPABILITY
11. NEW PROJECTING WINDOW
12. NEW BOX GUTTER AND DOWNSPOUT, BLACK FINISH
13. NEW GLIDING PATIO DOOR, BLACK EXTERIOR, WHITE INTERIOR, GLASS IN DOOR PANELS AND ADJACENT WINDOWS TO BE SAFETY GLAZING.
14. EXISTING FACE BRICK TO REMAIN
15. NEW BREAK METAL CLADDING, FINISH TBD
16. NEW EXTERIOR SCONCE, REFER TO ELECTRICAL PLANS
17. NEW ENTRY DOOR & STORM DOOR TO BE SELECTED BY OWNER
18. ENLARGE / MODIFY EXISTING WINDOW OPENING, REFER TO PLAN & SECTIONS
19. NEW WINDOW: BLACK EXTERIOR, BLACK INTERIOR
20. NEW STEEL STAIR WITH IPE TREADS, REFER TO SECTION
21. NEW EXTERIOR FLUSH DOOR, COLOR TO MATCH ADJACENT SIDING

Seal:



General Notes:

ISSUES:	DATE:
REVIEW	o 02-16-24
REVIEW	o 03-06-24
PERMIT	o 03-08-24
REVIEW	o 03-21-24
OWNER REVISIONS	o 03-29-24
	o
	o
	o
	o



15614 Detroit Ave.
Lakewood, OH 44107
www.youngdesignstudio.com
p. 216.616.9212
Architecture | Interiors | Urban Design

Ross - Dasch
Residence

1047 Kirtland Ln.
Lakewood, Ohio 44107

Drawing Title:

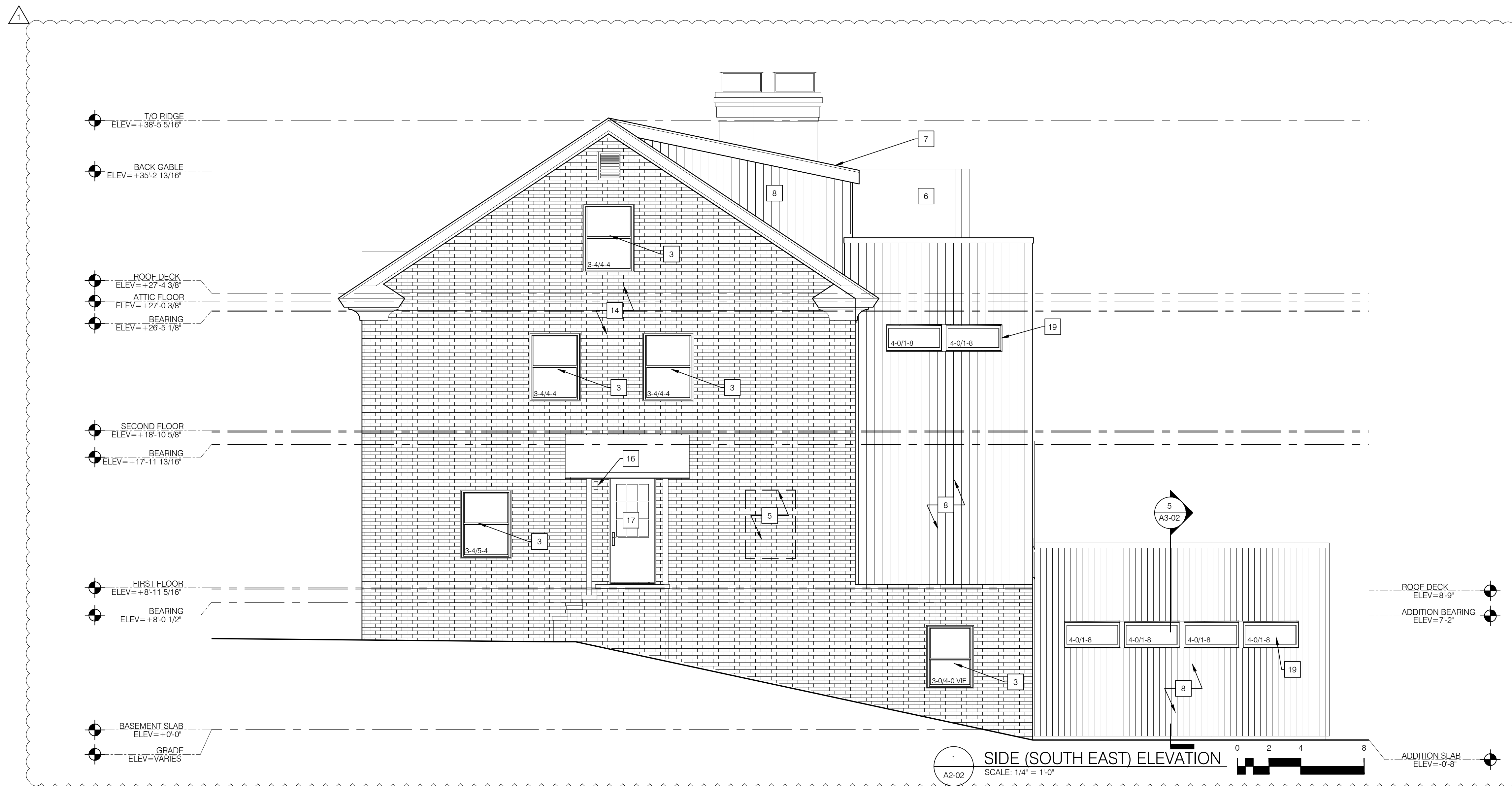
EXTERIOR ELEVATIONS

Drawn by: BEY/MBY Date: 02-16-2024

Checked by: Drawing Number:

Approved: **A2-02**

Job Number:



1 SIDE (SOUTH EAST) ELEVATION
SCALE: 1/4" = 1'-0"

Seal:



General Notes:

ISSUES:	DATE:
REVIEW	o 02-16-24
REVIEW	o 03-06-24
PERMIT	o 03-08-24
REVIEW	o 03-21-24
OWNER REVISIONS	o 03-29-24
	o
	o
	o
	o



15614 Detroit Ave.
Lakewood, OH 44107

www.youngdesignstudio.com
p. 216.616.9212

Architecture | Interiors | Urban Design

Ross - Dasch
Residence

1047 Kirtland Ln.
Lakewood, Ohio 44107

Drawing Title:

BUILDING SECTIONS

Drawn by: BEY/MBY Date: 02-16-2024

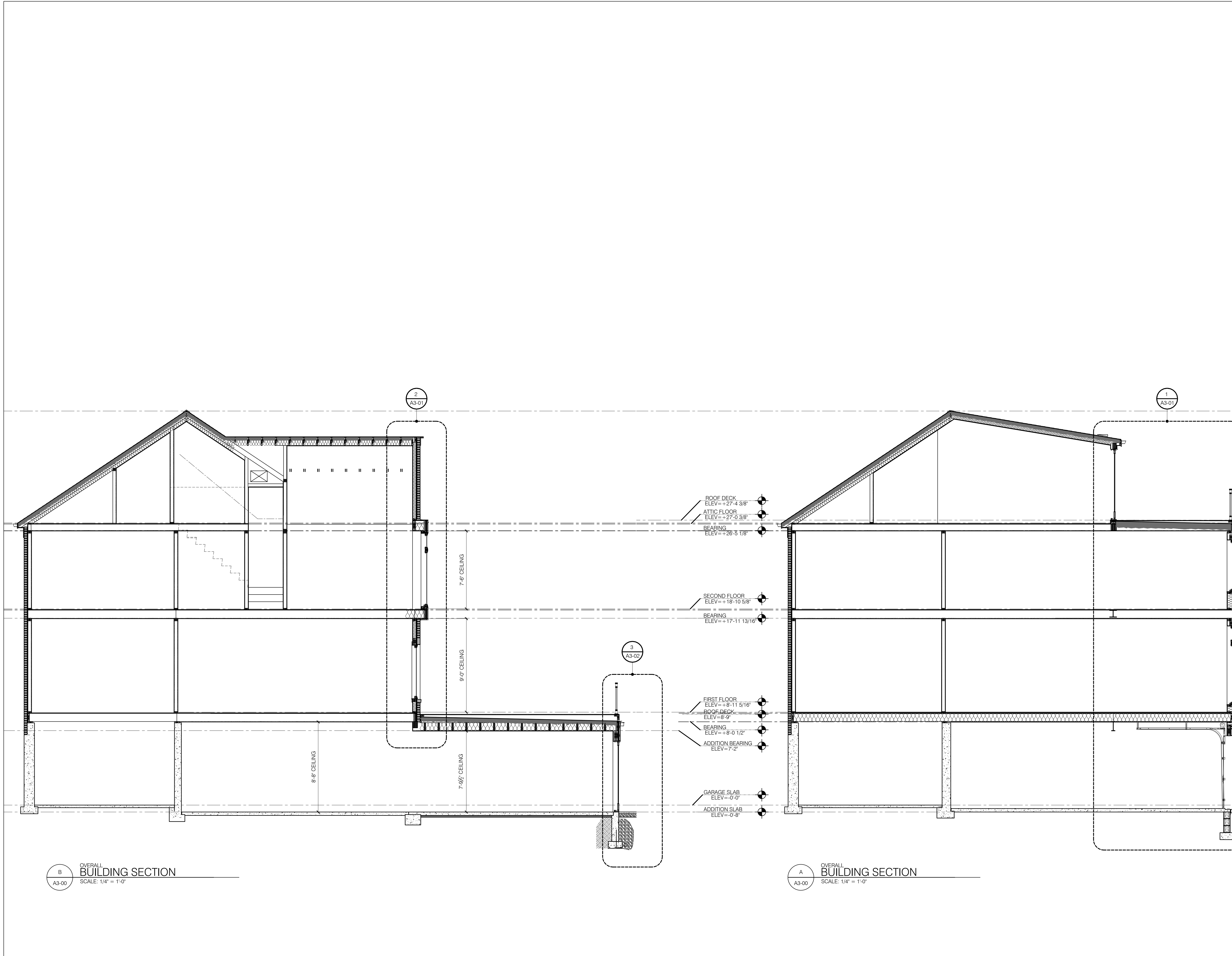
Checked by:

Approved:

Job Number:

A3-00

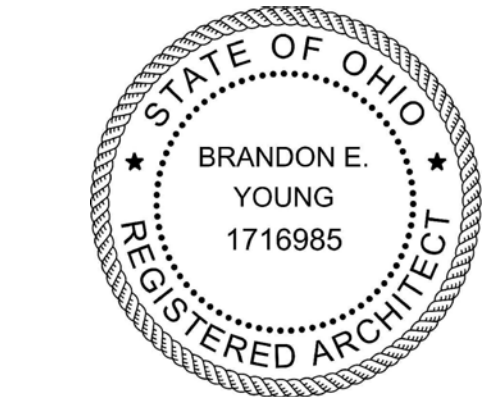
File Name:



B
OVERALL BUILDING SECTION
SCALE: 1/4" = 1'-0"

A
OVERALL BUILDING SECTION
SCALE: 1/4" = 1'-0"

Seal:



General Notes:

ISSUES:	DATE:
REVIEW	02-16-24
REVIEW	03-06-24
PERMIT	03-08-24
REVIEW	03-21-24
OWNER REVISIONS	03-29-24

YOUNG DESIGN STUDIO
 15614 Detroit Ave.
 Lakewood, OH 44107
 www.youngdesignstudio.com
 p. 216.616.9212
 Architecture | Interiors | Urban Design

Ross - Dasch Residence

1047 Kirtland Ln.
Lakewood, Ohio 44107

Drawing Title:

WALL SECTIONS

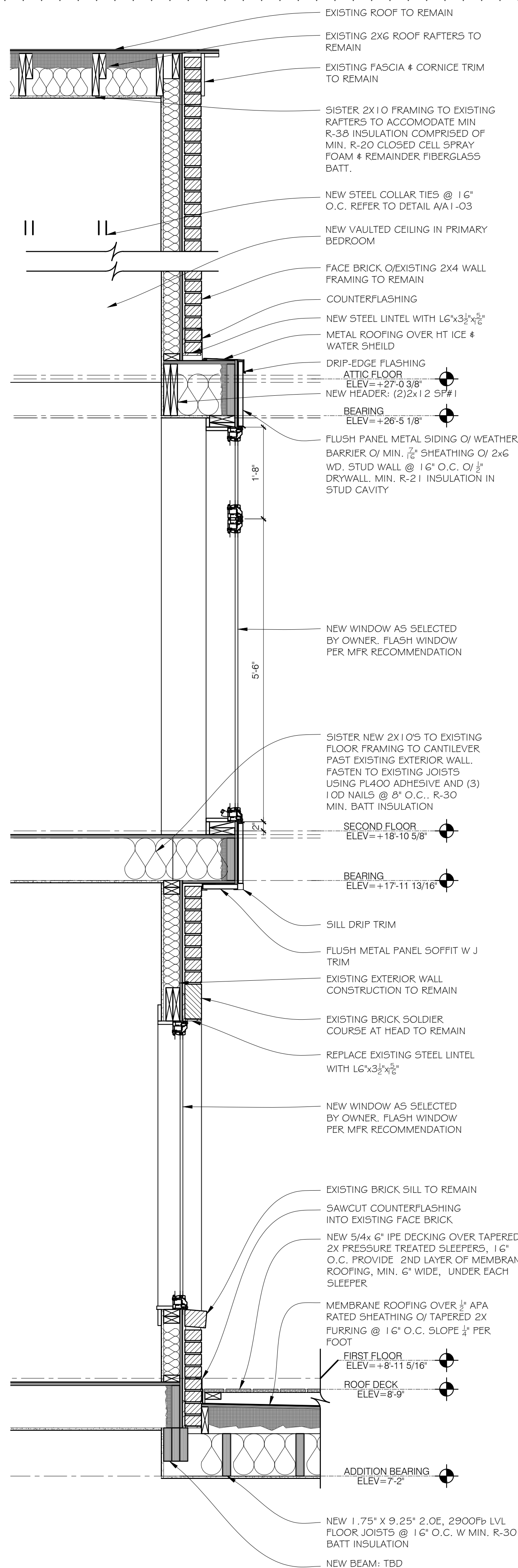
Drawn by: BEY/MBY Date: 02-16-2024

Checked by: Drawing Number:

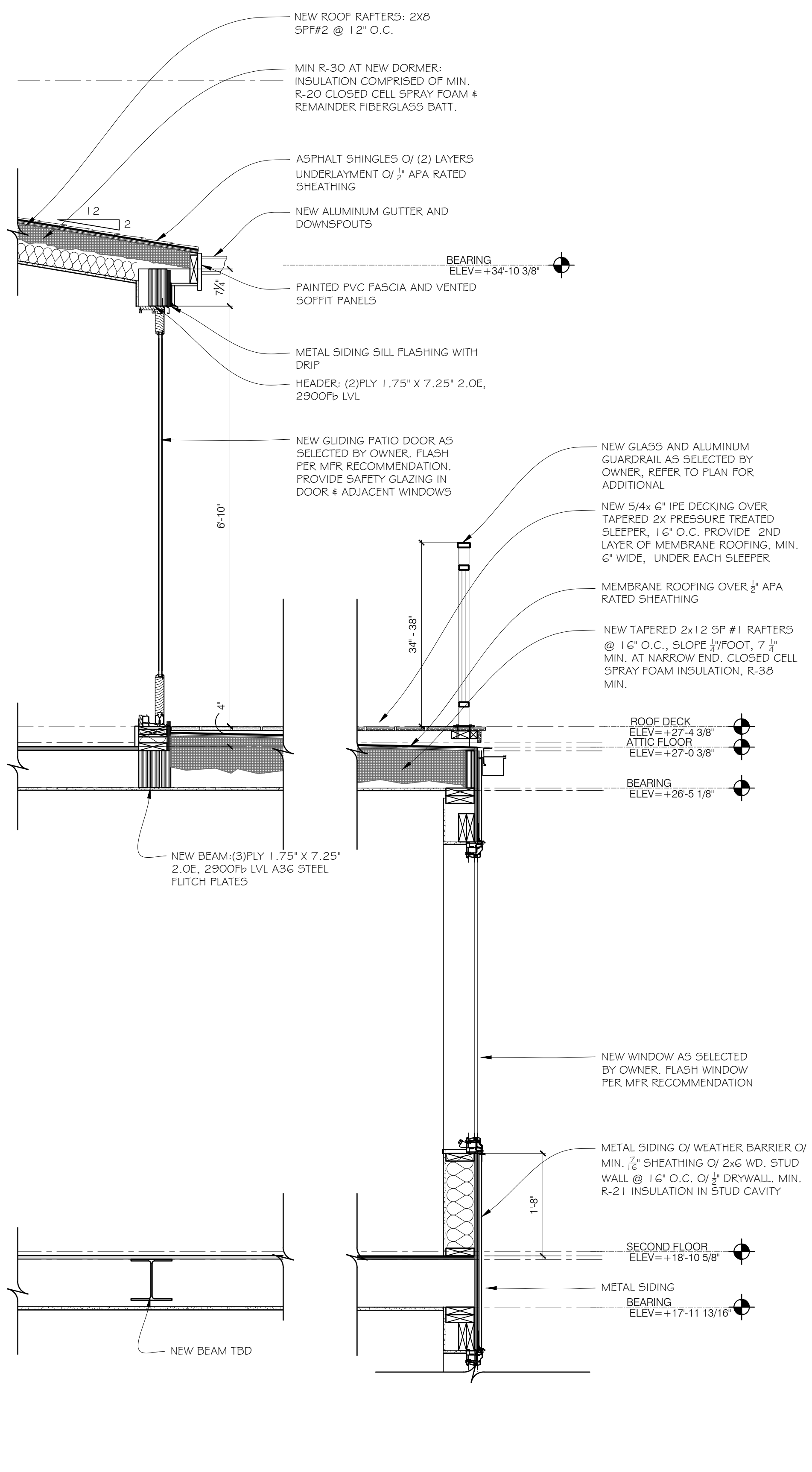
Approved:

Job Number: **A3-01**

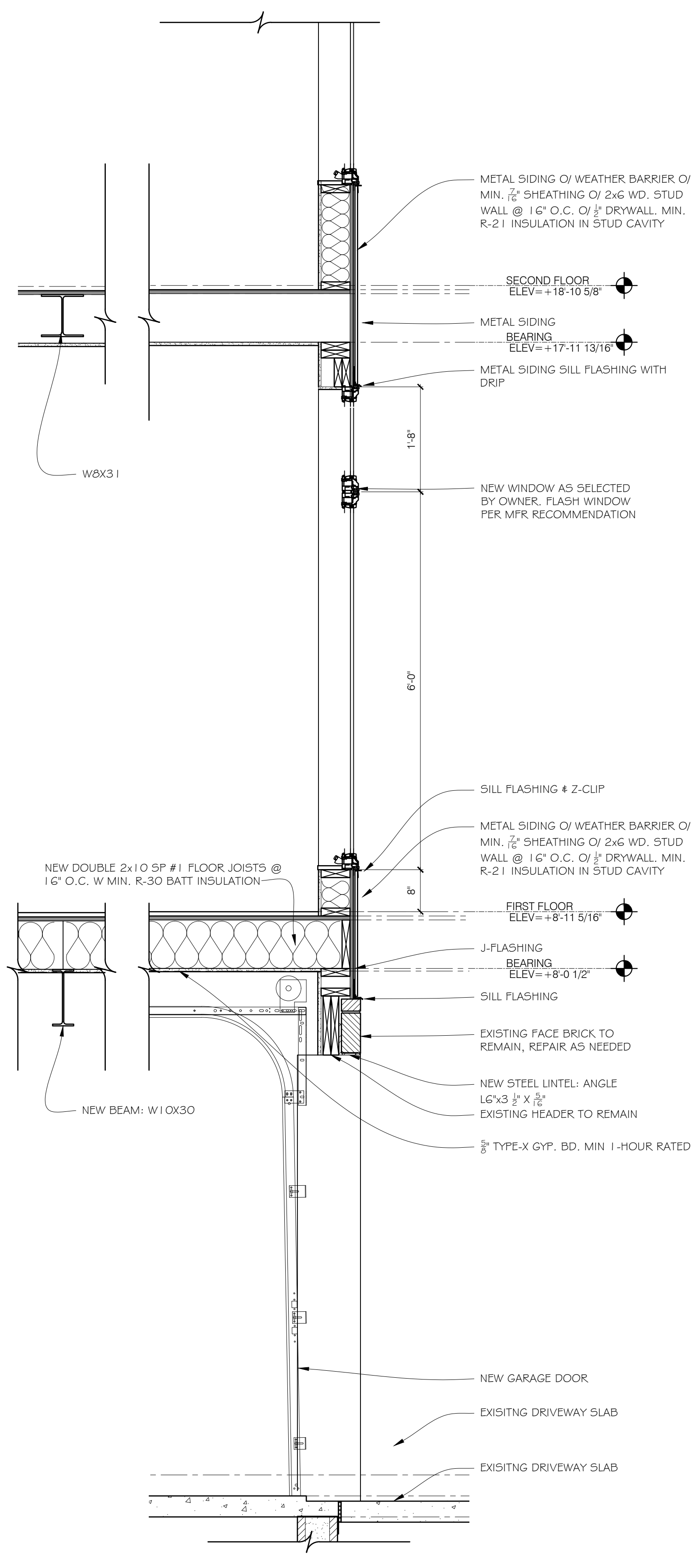
File Name:



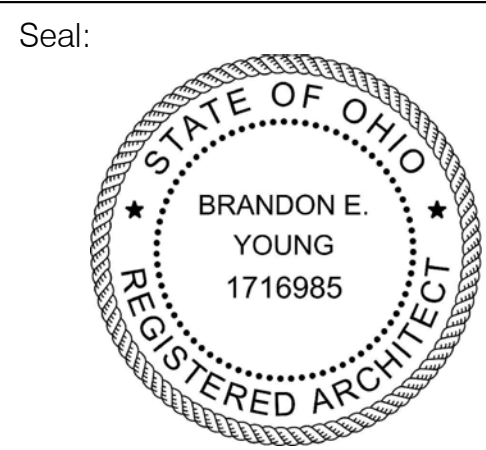
2 WALL SECTION
SCALE: 3/4" = 1'-0"



1 SECOND FLOOR & THIRD FLOOR WALL SECTION
SCALE: 3/4" = 1'-0"



1 LOWER LEVEL & FIRST FLOOR WALL SECTION
SCALE: 3/4" = 1'-0"



General Notes:

ISSUES:	DATE:
REVIEW	o 02-16-24
REVIEW	o 03-06-24
PERMIT	o 03-08-24
REVIEW	o 03-21-24
OWNER REVISIONS	o 03-29-24



15614 Detroit Ave.
Lakewood, OH 44107
www.youngdesignstudio.com
p. 216.616.9212

Ross - Dasch
Residence

1047 Kirtland Ln.
Lakewood, Ohio 44107

Drawing Title:

WALL SECTIONS

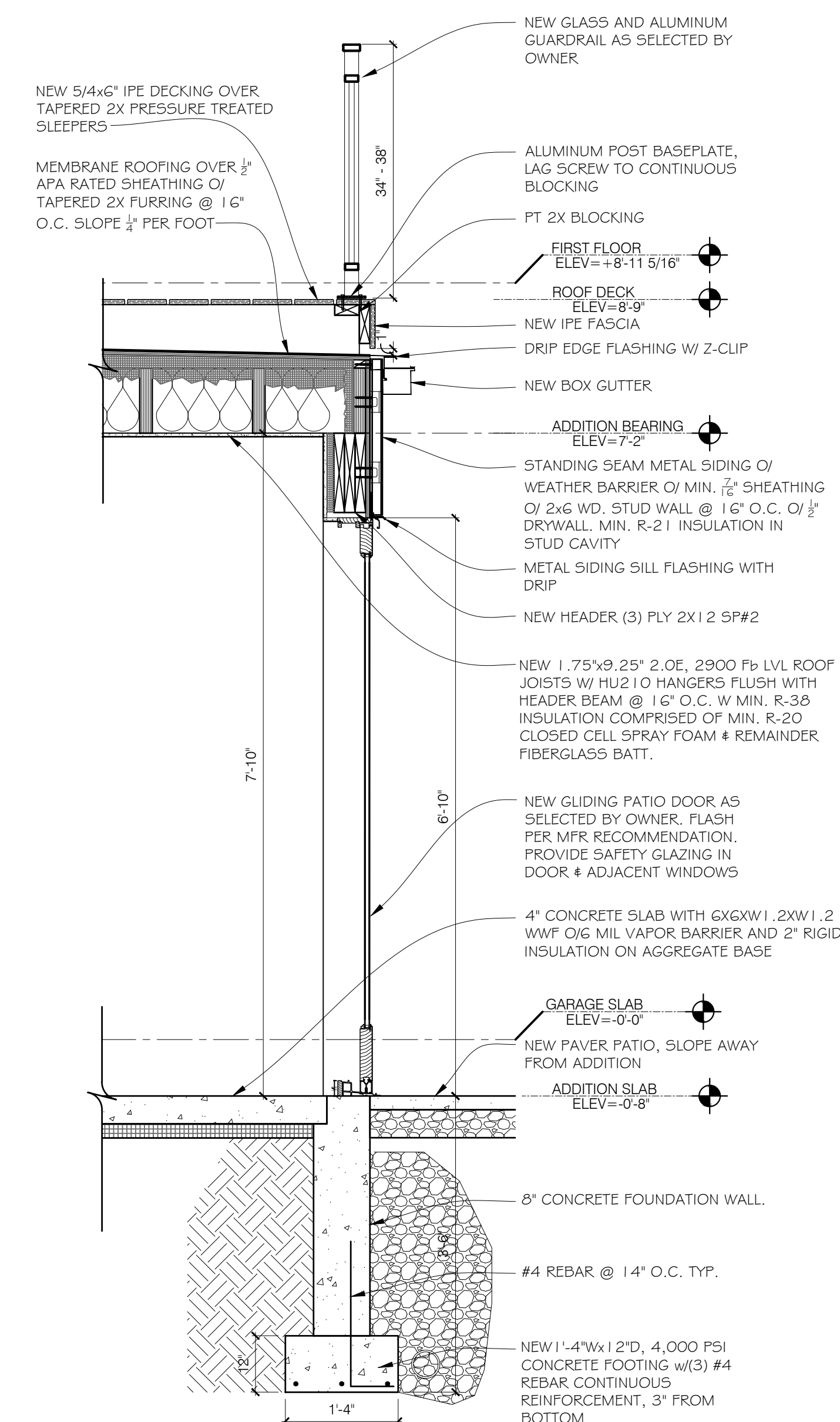
Drawn by: BEY/MBY Date: 02-16-2024

Checked by: Drawing Number:

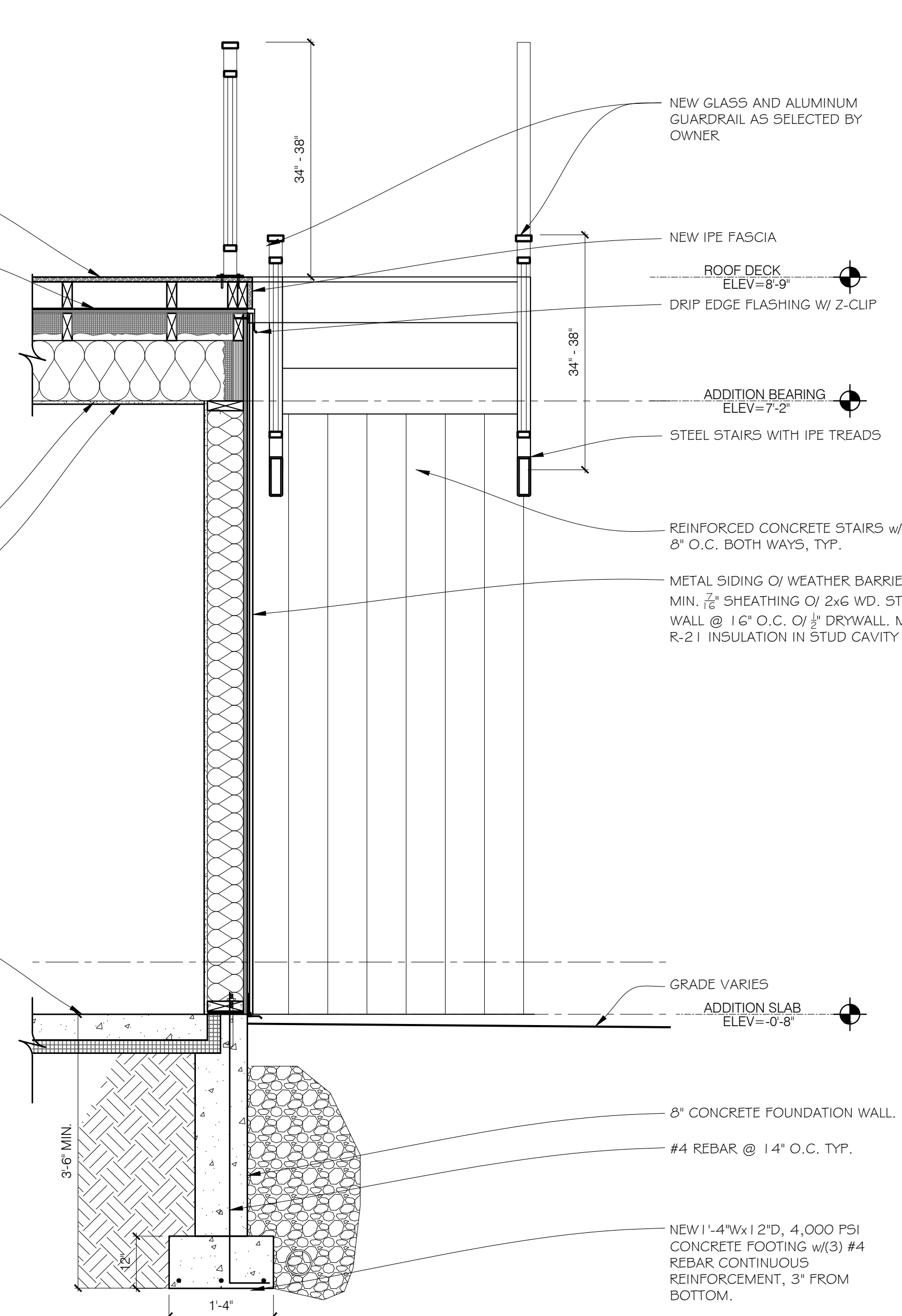
Approved: **A3-02**

Job Number:

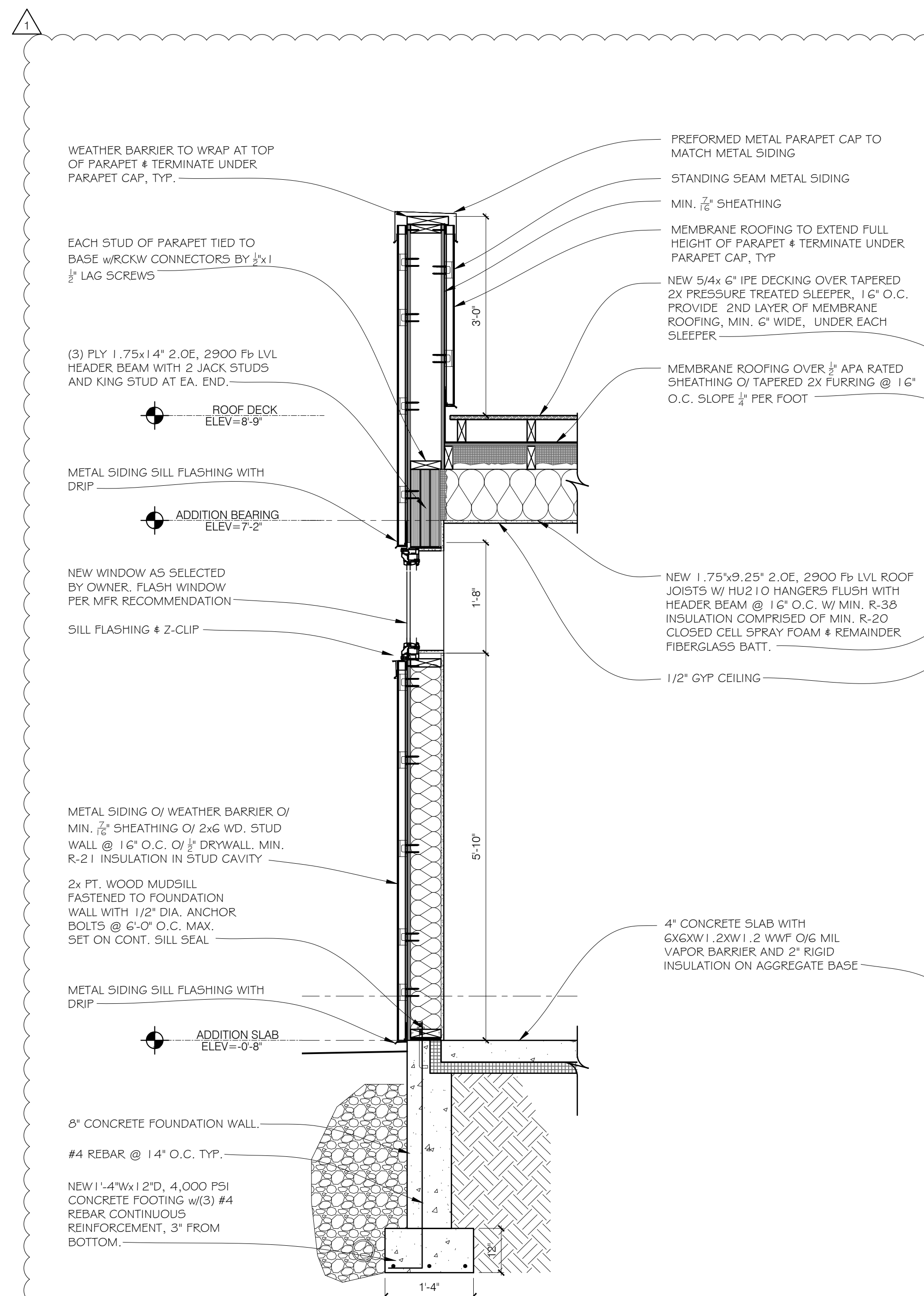
File Name:



3 WALL SECTION
SCALE: 3/4" = 1'-0"



4 WALL SECTION
SCALE: 3/4" = 1'-0"



5 WALL SECTION
SCALE: 3/4" = 1'-0"

Seal:



General Notes:

ISSUES:	DATE:
REVIEW	o 02-16-24
REVIEW	o 03-06-24
PERMIT	o 03-08-24
REVIEW	o 03-21-24
OWNER REVISIONS	o 03-29-24
	o
	o
	o
	o



15614 Detroit Ave.
Lakewood, OH 44107
www.youngdesignstudio.com
p. 216.616.9212
Architecture | Interiors | Urban Design

Ross - Dasch
Residence

1047 Kirtland Ln.
Lakewood, Ohio 44107

Drawing Title:

WALL SECTIONS

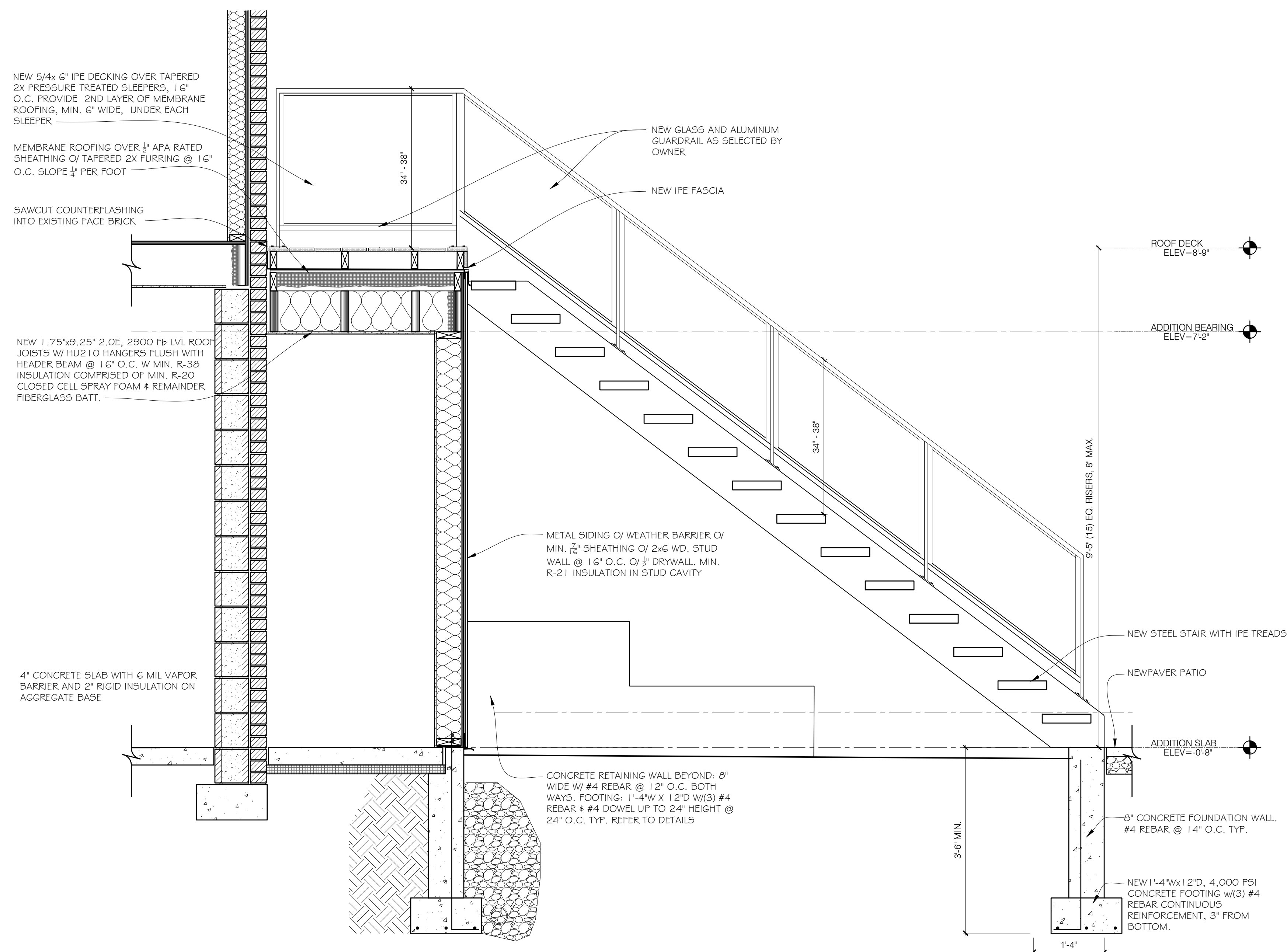
Drawn by: BEY/MBY Date: 02-16-2024

Checked by: Drawing Number:

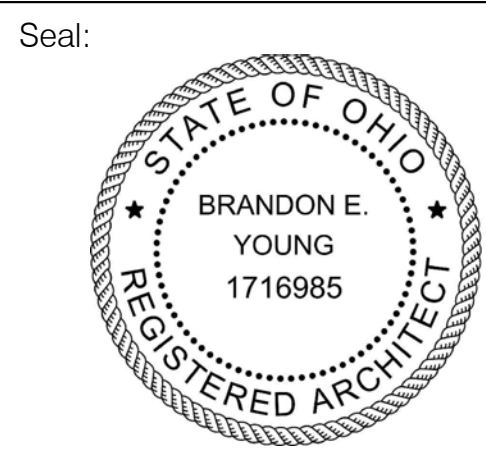
Approved: **A3-03**

Job Number:

File Name:



6 WALL SECTION
A3-02 SCALE: 3/4" = 1'-0"



General Notes:

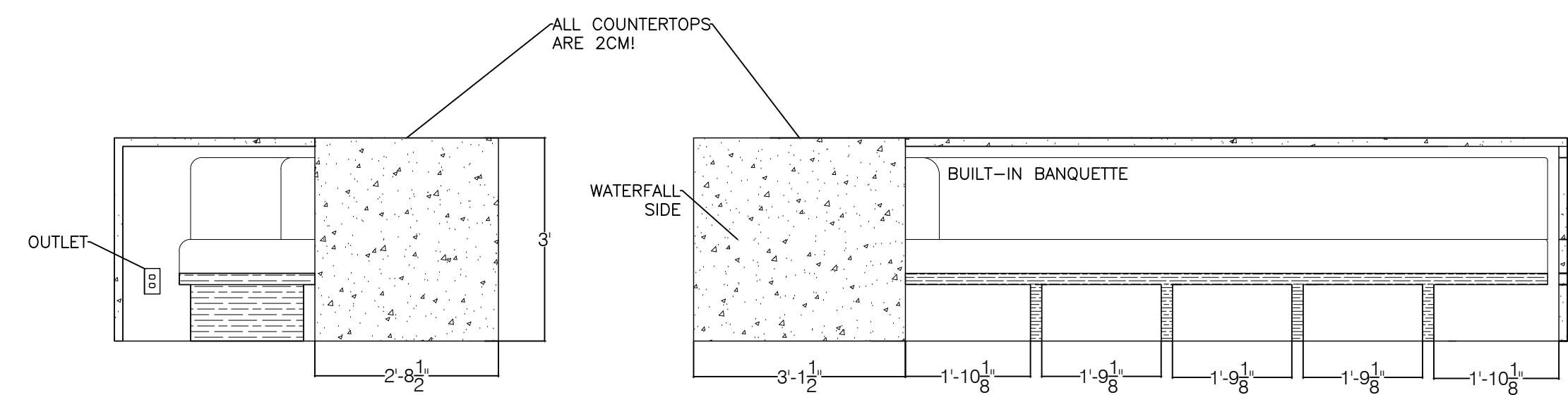
ISSUES:	DATE:
REVIEW	02-16-24
REVIEW	03-06-24
PERMIT	03-08-24
REVIEW	03-21-24
OWNER REVISIONS	03-29-24

YOUNG DESIGN STUDIO
 15614 Detroit Ave.
 Lakewood, OH 44107
 www.youngdesignstudio.com
 p. 216.616.9212
 Architecture | Interiors | Urban Design

Ross - Dasch Residence
 1047 Kirtland Ln.
 Lakewood, Ohio 44107

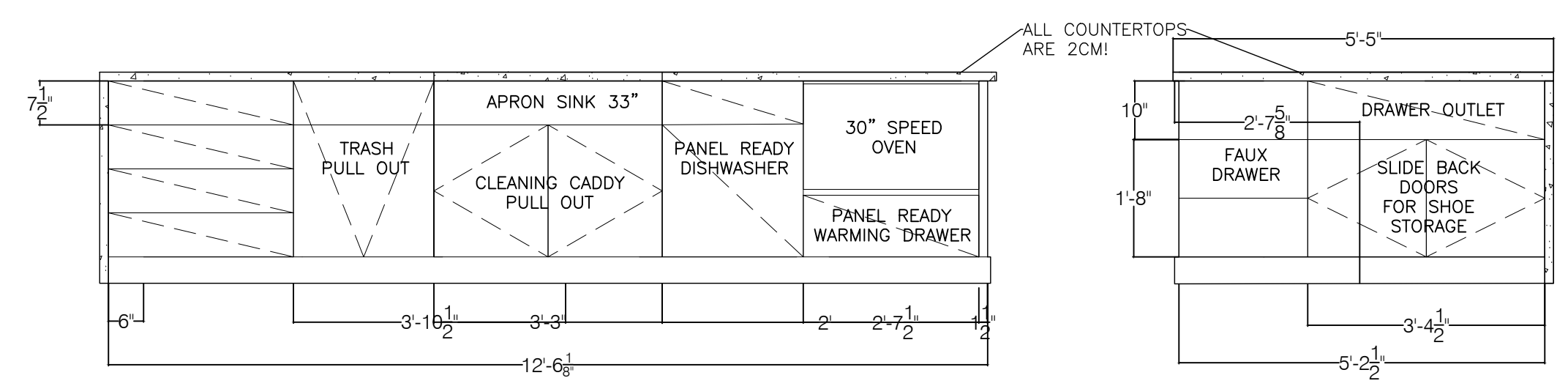
Drawing Title:
INTERIOR ELEVATIONS

Drawn by: BEY/MBY	Date: 02-16-2024
Checked by:	Drawing Number:
Approved:	A4-01
Job Number:	



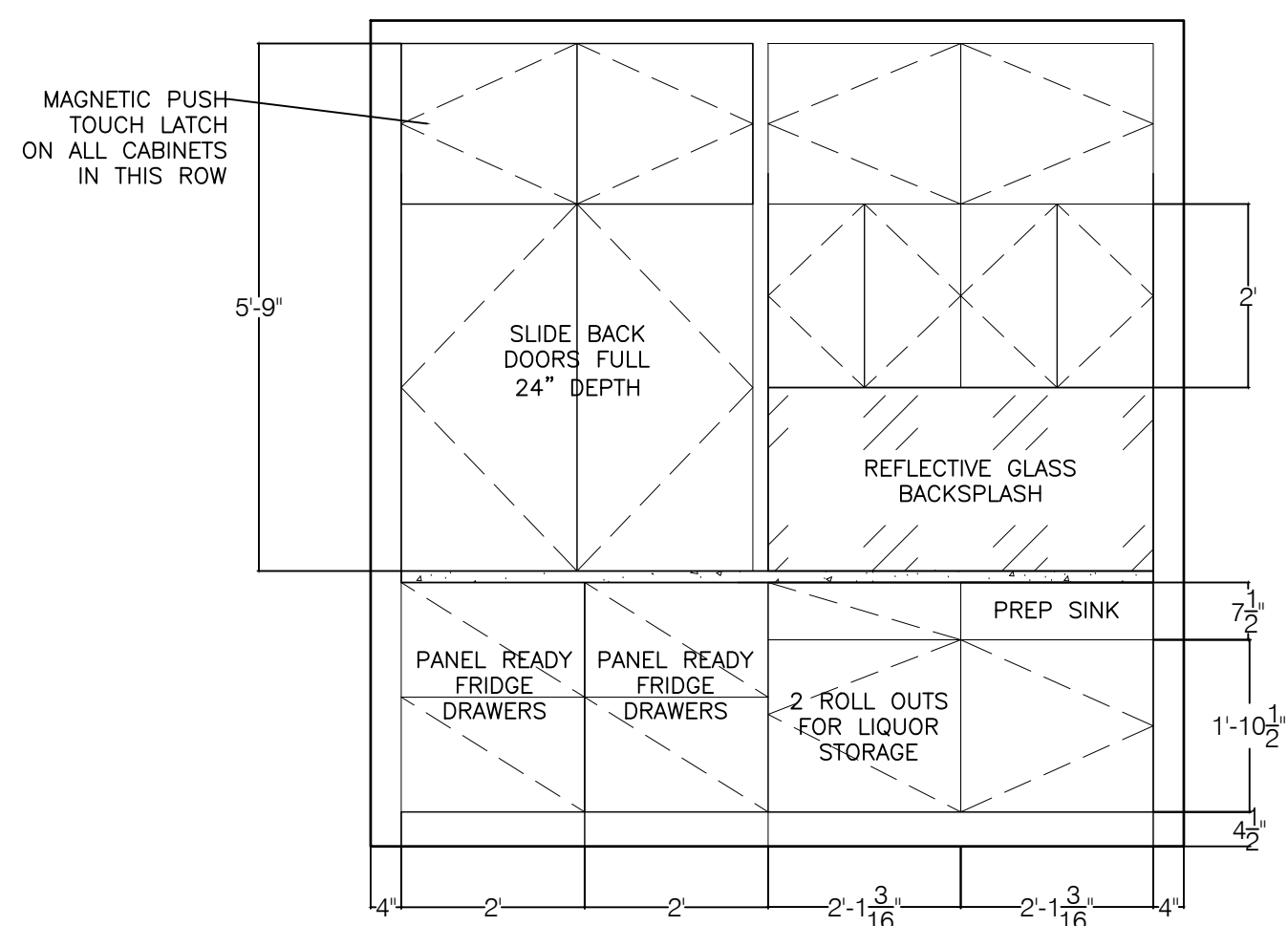
9 SIDE INTERIOR ELEVATION ISLAND
 SCALE: 1/2" = 1'-0"
 A4-01

8 BACK INTERIOR ELEVATION ISLAND
 SCALE: 1/2" = 1'-0"
 A4-01

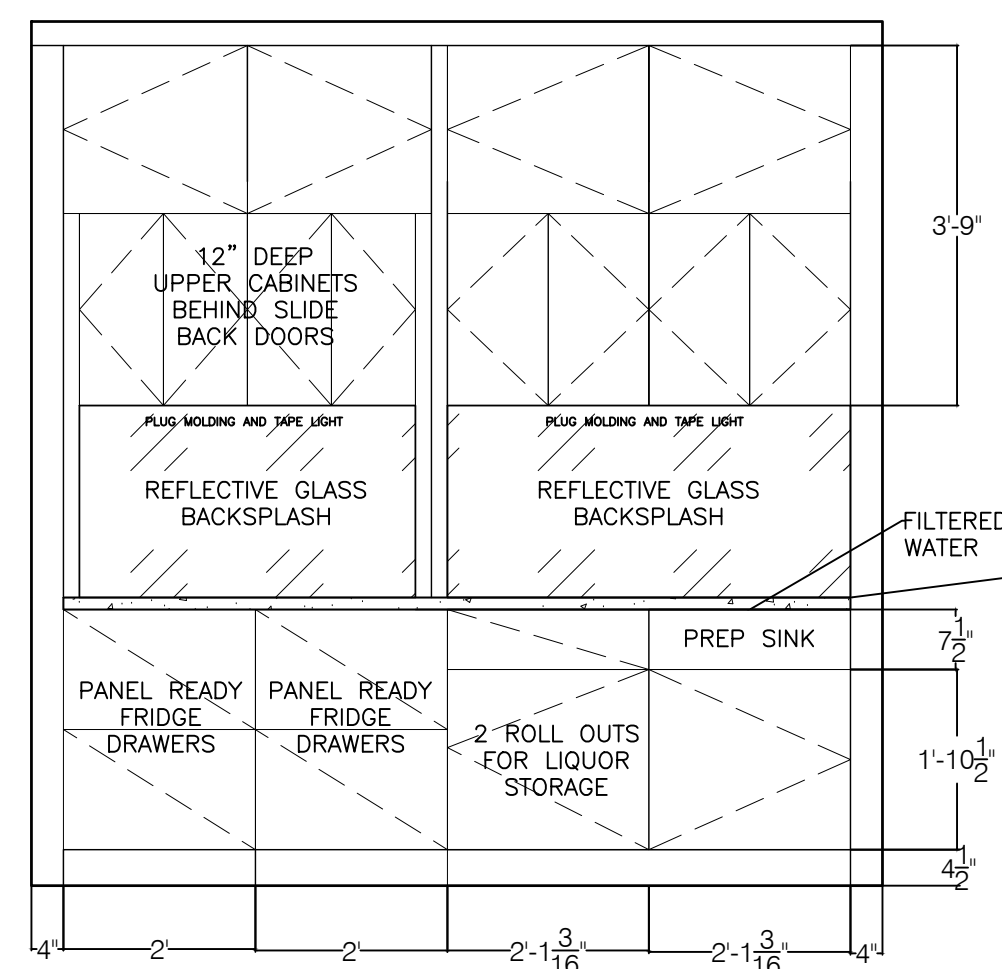


7 FRONT INTERIOR ELEVATION ISLAND
 SCALE: 1/2" = 1'-0"
 A4-01

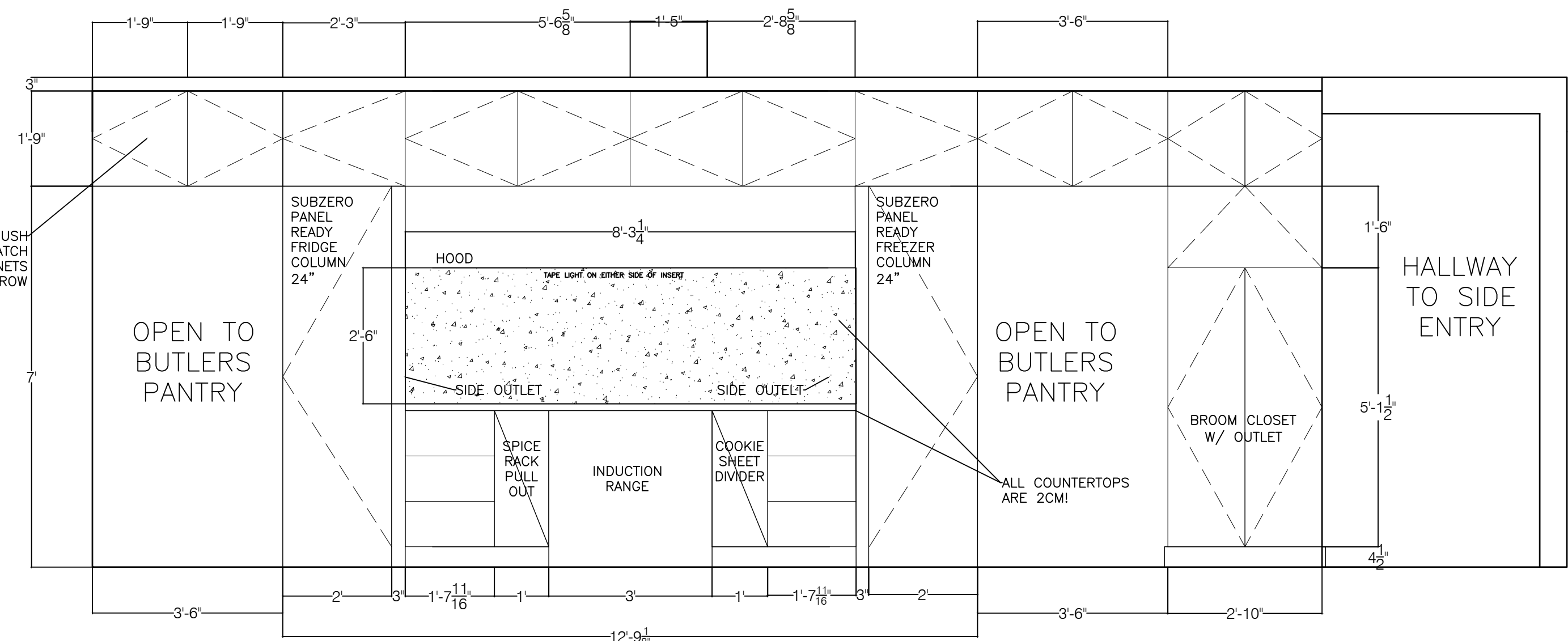
6 SIDE INTERIOR ELEVATION ISLAND
 SCALE: 1/2" = 1'-0"
 A4-01



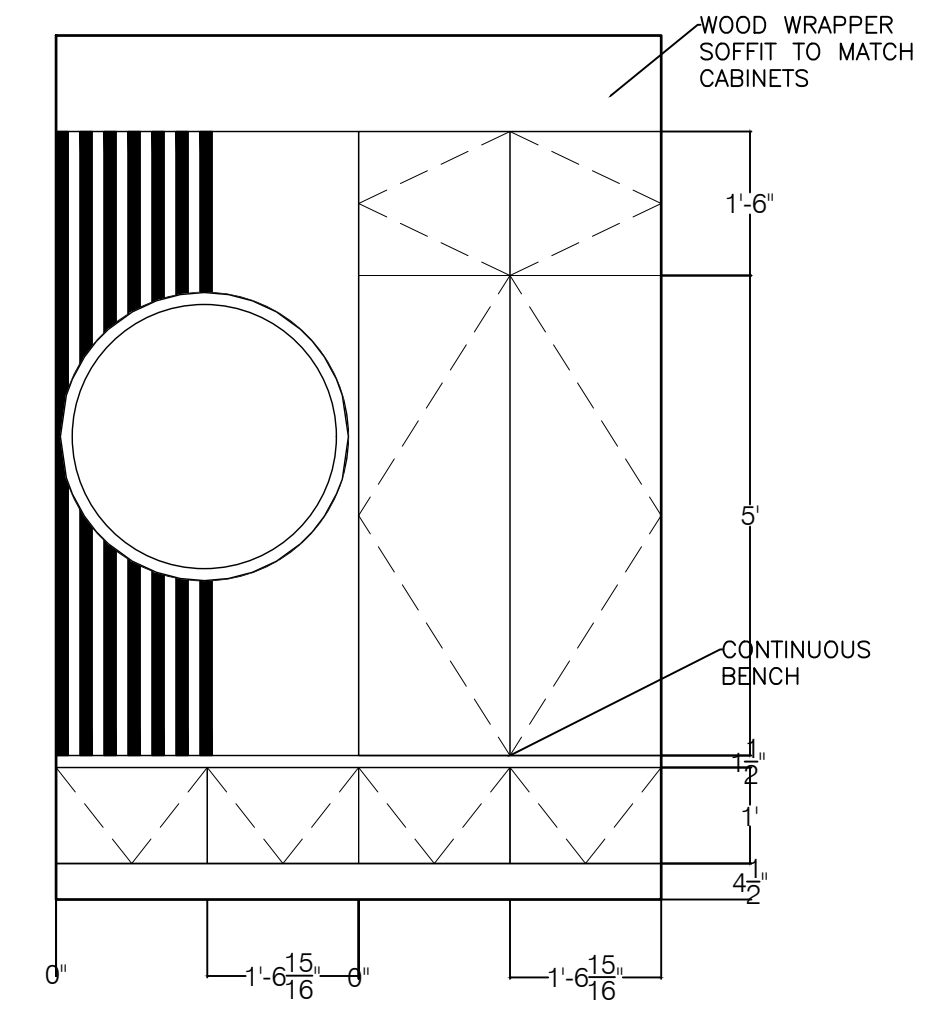
5 BAR WALL INTERIOR ELEVATION KITCHEN
 SCALE: 1/2" = 1'-0"
 A4-01



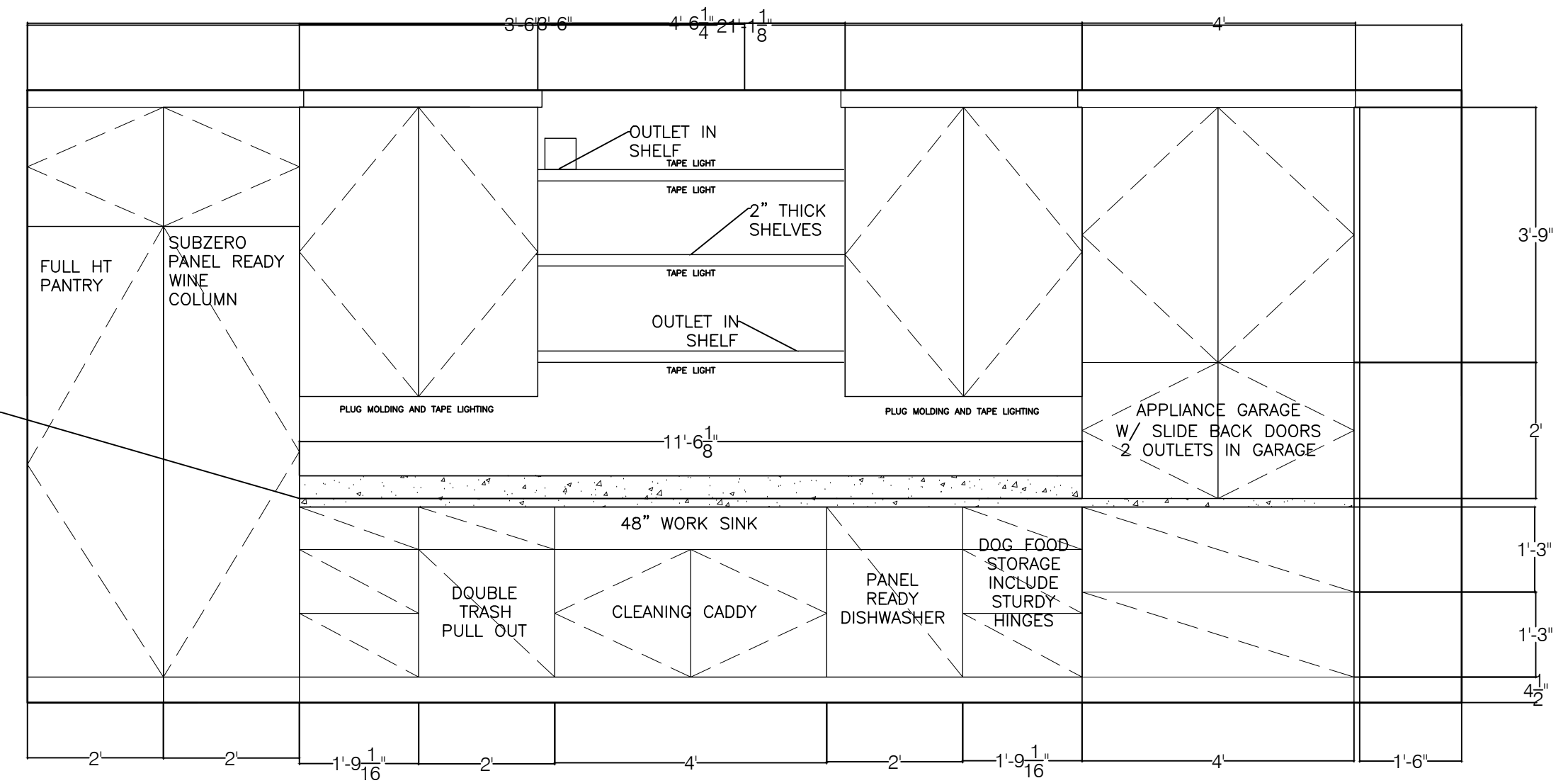
OPEN



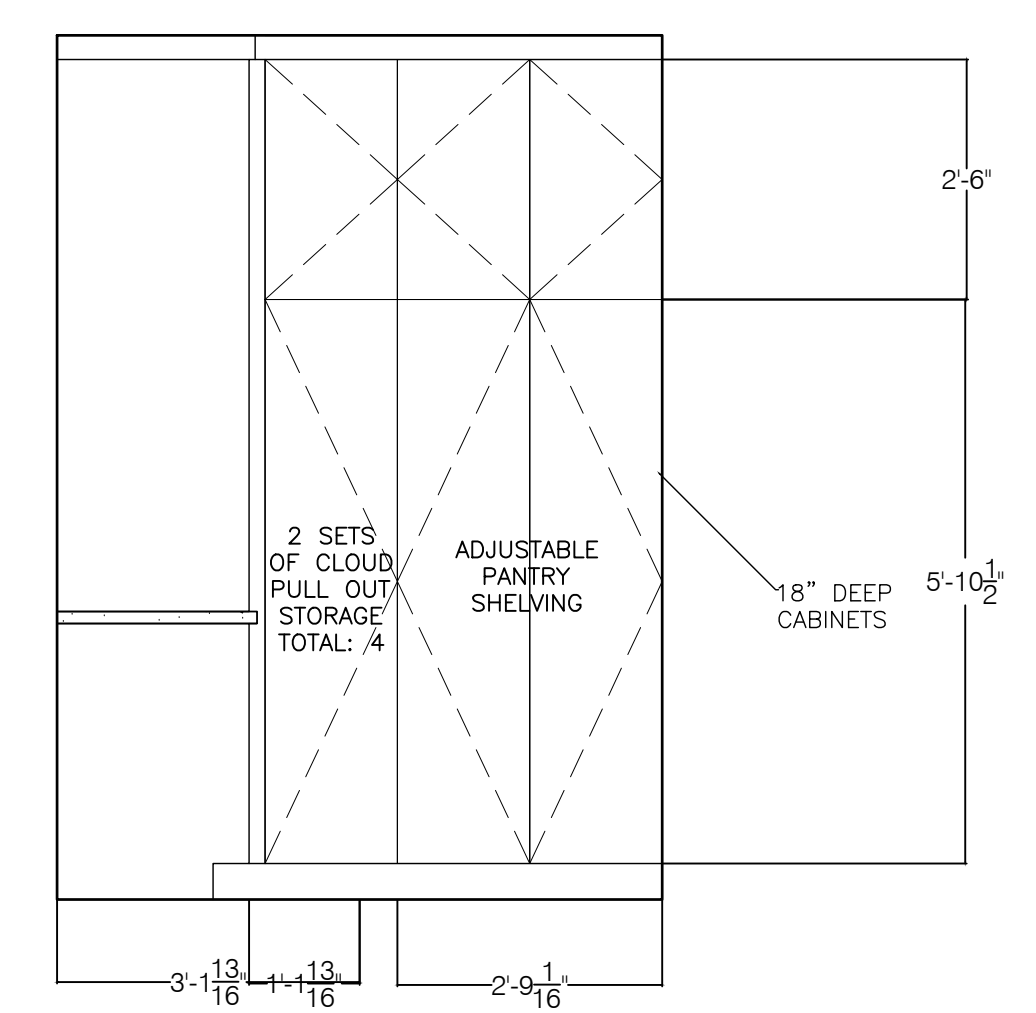
4 RANGE WALL INTERIOR ELEVATION KITCHEN
 SCALE: 1/2" = 1'-0"
 A4-01



3 INTERIOR ELEVATION MUD ROOM
 SCALE: 1/2" = 1'-0"
 A4-01



2 BACK WALL INTERIOR ELEVATION BUTLER'S PANTRY
 SCALE: 1/2" = 1'-0"
 A4-01



1 SIDE WALL INTERIOR ELEVATION BUTLER'S PANTRY
 SCALE: 1/2" = 1'-0"
 A4-01

General Scope of Work Notes

1. Upgrade existing electrical service to 400 Amps.
2. Existing receptacle locations to remain unless noted otherwise, update all wiring and devices. Provide GCFI protected devices where required.
3. New Electric Heat Pump units in lower level and third floor.

ELECTRICAL AND REFLECTED CEILING PLAN LEGEND

ALL ELECTRICAL TO BE COMPLIANT WITH THE NFPA 70 ELECTRICAL CODE & UL LISTED
ALL FIXTURES ABOVE SHOWERS/ BATHTUBS TO BE DAMP LOCATION LISTED PER NEC 410.10(D)

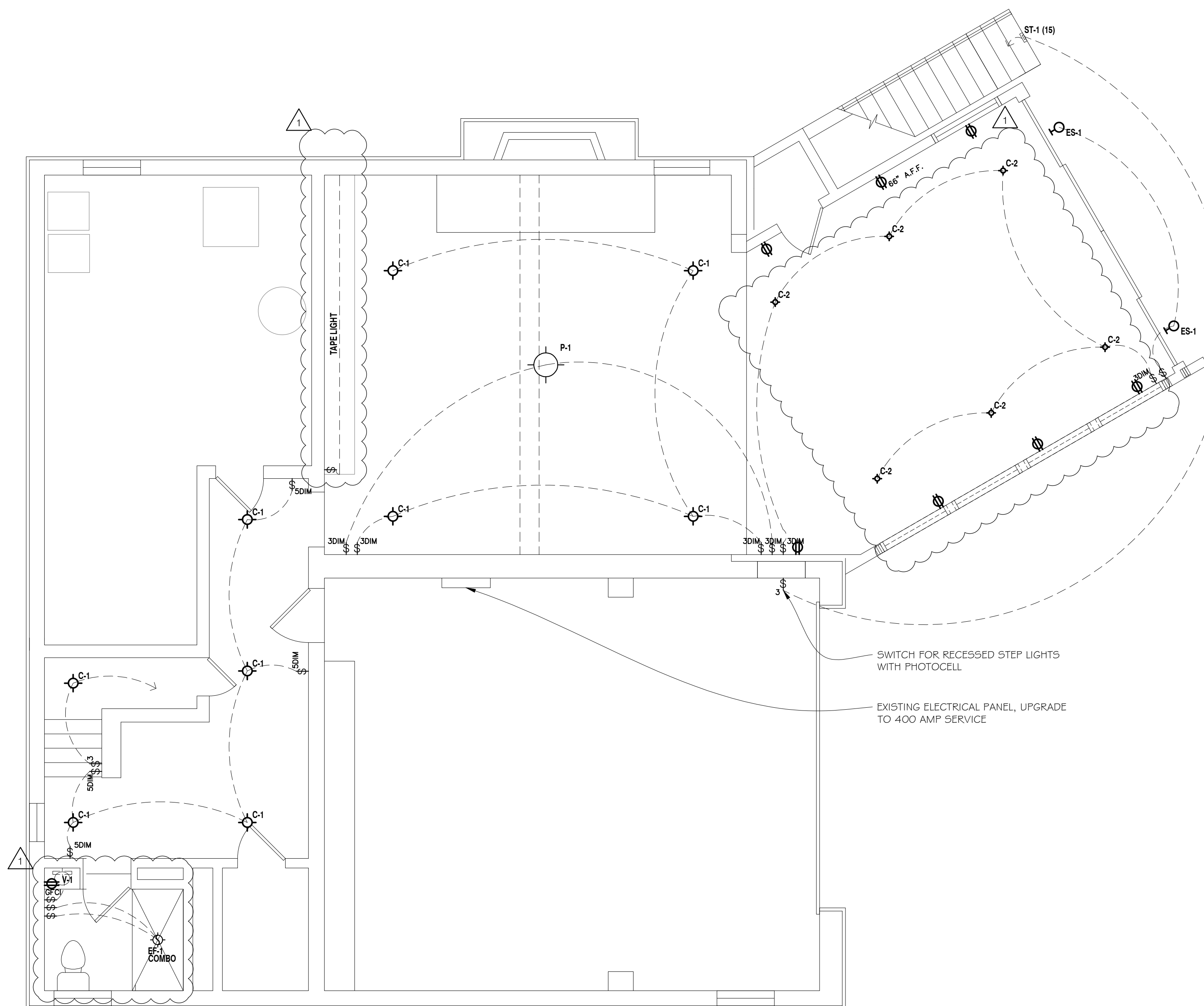
SYMBOL	DESCRIPTION		
	CF-# SUSP. CEILING FAN		PHONE JACK (VERIFY SYSTEM)
	UC-# UNDERCABINET LIGHTING		TELEVISION PORT (VERIFY SYSTEM)
	P-# DECORATIVE CEILING FIXTURE		HARDWIRED INTERCONNECTED SMOKE DETECTOR WITH BATT. BACK UP, COMBINATION IONIZATION AND PHOTOELECTRIC SMOKE/CARBON MONOXIDE ALARM
	C-# CAN CEILING FIXTURE *INDICATES WET LOCATION		WALL MTD. LIGHT SWITCH MTD 48" A.F.F.
	ST-# RECESSED STEP LIGHT		3-WAY WALL MTD. LIGHT SWITCH; MTD. 48" A.F.F.
	ES-# WALL MOUNTED WEATHER PROOF FIXTURE		ELECTRICAL OUTLET / GROUND FAULT INTERRUPTER
	EF-# EXHAUST FAN WITH LIGHT		DUPLIX OUTLET MTD. 18" A.F.F OR AS NOTED ON PLAN
	EF-# EXHAUST FAN WITHOUT LIGHT		220v RECEPTACLE OUTLET
	V-# WALL MOUNTED VANITY FIXTURE		FLOOR MOUNTED RECEPTACLE
	CHANNEL LIGHTING - REQUIRES 3/8" GYP.		PANEL CIRCUIT DESIGNATION
	SP-# SPOT LIGHT FIXTURE		
	H-# HEADER FIXTURE		
	SC-# WALL MOUNTED FIXTURE		

Seal:



General Notes:

ISSUES:	DATE:
REVIEW	o 02-16-24
REVIEW	o 03-06-24
PERMIT	o 03-08-24
REVIEW	o 03-21-24
OWNER REVISIONS	o 03-29-24



YOUNG DESIGN STUDIO
 15614 Detroit Ave.
 Lakewood, OH 44107
 www.youngdesignstudio.com
 p. 216.616.9212
 Architecture | Interiors | Urban Design

Ross - Dasch
 Residence
 1047 Kirtland Ln.
 Lakewood, Ohio 44107

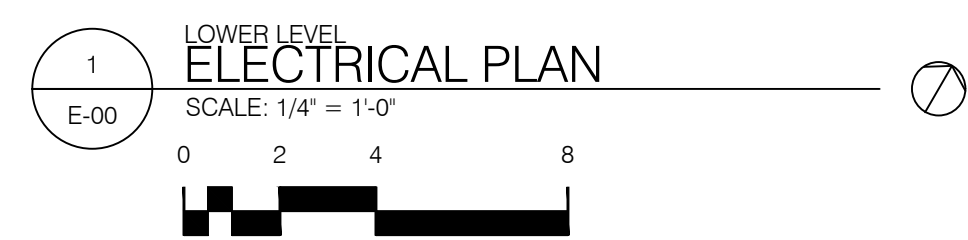
Drawing Title:
ELECTRICAL PLANS

Drawn by: BEY/MBY Date: 02-16-2024

Checked by: Drawing Number:

Approved: **E-00**

Job Number:



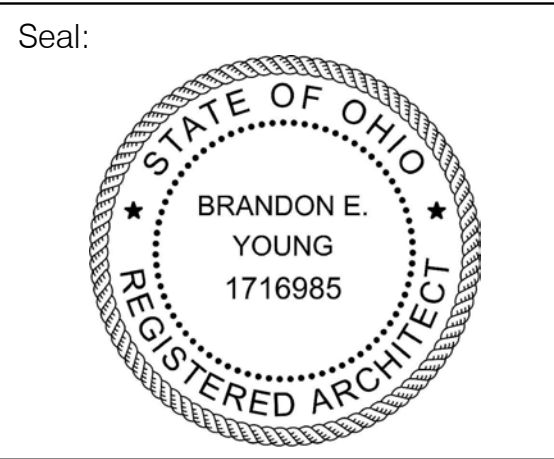
General Scope of Work Notes

1. Upgrade existing electrical service to 400 Amps.
2. Existing receptacle locations to remain unless noted otherwise, update all wiring and devices. Provide GFCI protected devices where required.
3. New Electric Heat Pump units in lower level and third floor.

ELECTRICAL AND REFLECTED CEILING PLAN LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	CF-# SUSP. CEILING FAN		PHONE JACK (VERIFY SYSTEM)
	UC-# UNDERCABINET LIGHTING		TELEVISION PORT (VERIFY SYSTEM)
	P-# DECORATIVE CEILING FIXTURE		HARDWIRED INTERCONNECTED SMOKE DETECTOR WITH BATT. BACK UP, COMBINATION IONIZATION AND PHOTOELECTRIC SMOKE/CARBON MONOXIDE ALARM
	C-# CAN CEILING FIXTURE *INDICATES WET LOCATION		WALL MTD. LIGHT SWITCH MTD 48" A.F.F.
	ST-# RECESSED STEP LIGHT		3-WAY WALL MTD. LIGHT SWITCH; MTD. 48" A.F.F.
	ES-# WALL MOUNTED WEATHER PROOF FIXTURE		ELECTRICAL OUTLET / GROUND FAULT INTERRUPTER
	EF-# EXHAUST FAN WITH LIGHT		DUPLEX OUTLET MTD. 18" A.F.F OR AS NOTED ON PLAN
	EF-# EXHAUST FAN WITHOUT LIGHT		220v RECEPTACLE OUTLET
	V-# WALL MOUNTED VANITY FIXTURE		FLOOR MOUNTED RECEPTACLE
	CHANNEL LIGHTING - REQUIRES GYP.		PANEL CIRCUIT DESIGNATION
	SP-# SPOT LIGHT FIXTURE		
	H-# HEADER FIXTURE		
	SC-# WALL MOUNTED FIXTURE		

ALL ELECTRICAL TO BE COMPLIANT WITH THE NFPA 70 ELECTRICAL CODE & UL LISTED
ALL FIXTURES ABOVE SHOWERS/ BATH-TUBS TO BE DAMP LOCATION LISTED PER NEC 410.10(D)



General Notes:

ISSUES:	DATE:
REVIEW	02-16-24
REVIEW	03-06-24
PERMIT	03-08-24
REVIEW	03-21-24
OWNER REVISIONS	03-29-24

YOUNG DESIGN STUDIO
15614 Detroit Ave.
Lakewood, OH 44107
www.youngdesignstudio.com
p. 216.616.9212
Architecture | Interiors | Urban Design

Ross - Dasch Residence

1047 Kirtland Ln.
Lakewood, Ohio 44107

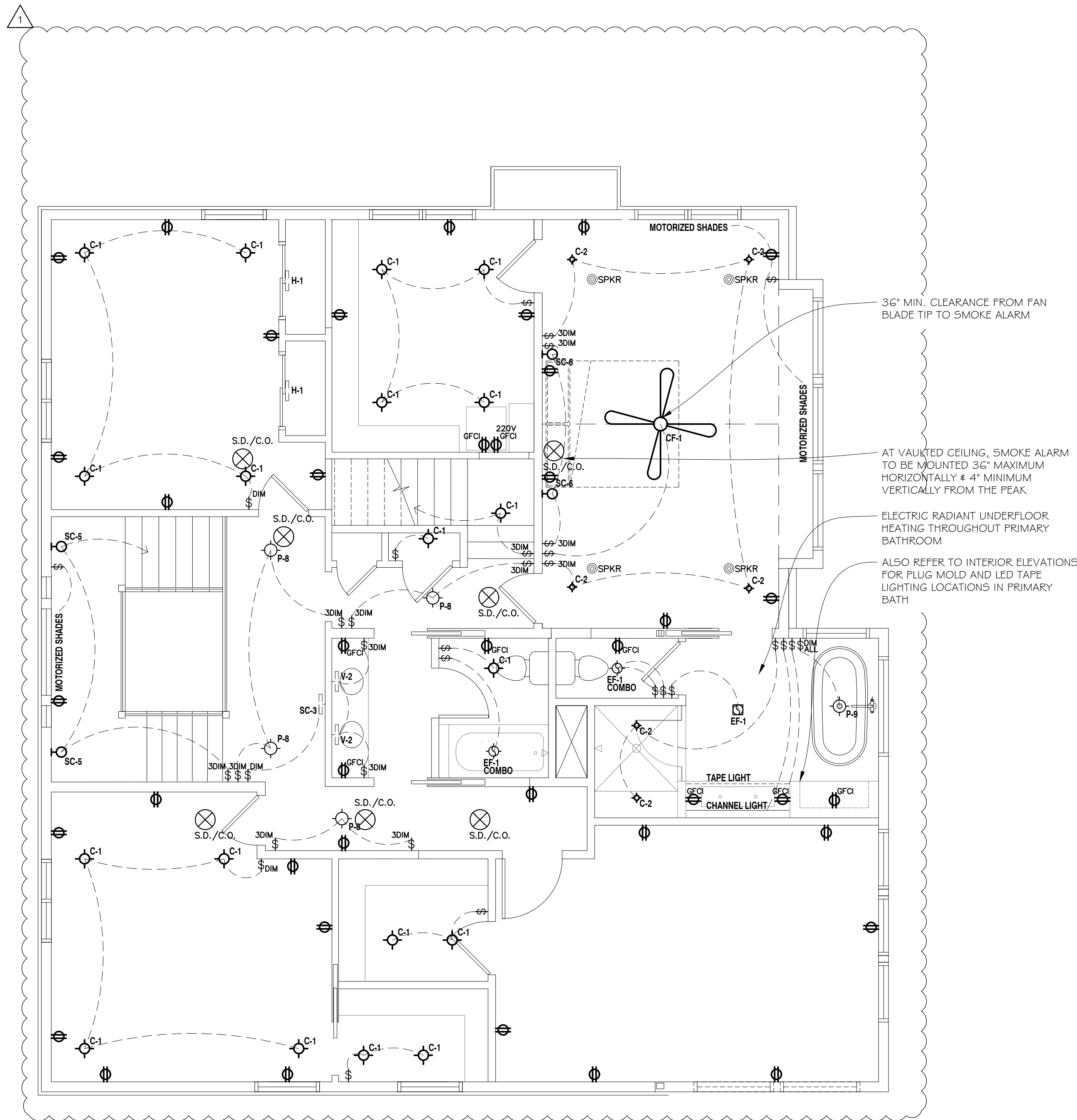
Drawing Title:
ELECTRICAL PLANS

Drawn by: BEY/MBY Date: 02-16-2024

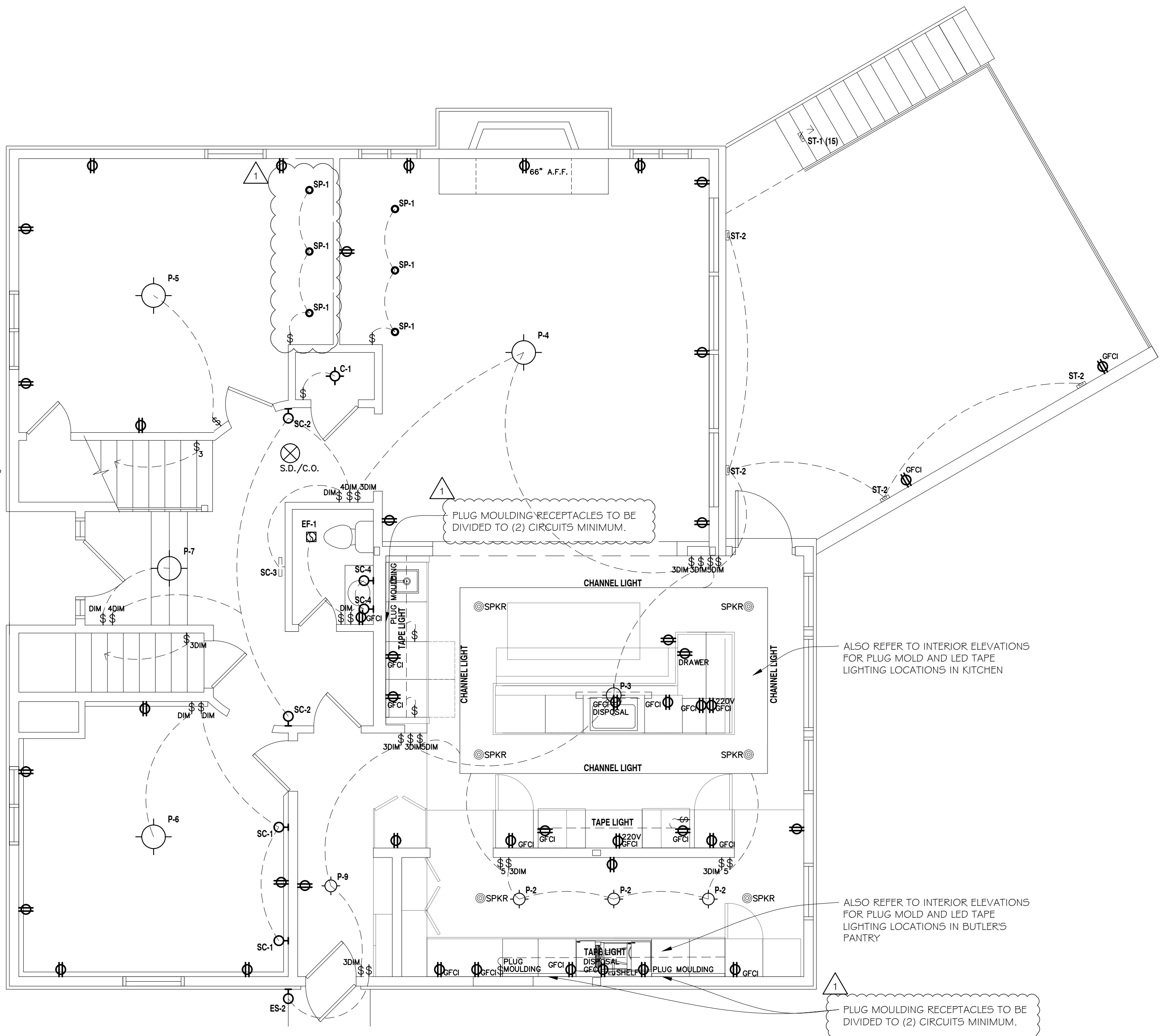
Checked by: Drawing Number:

Approved: **E-01**

Job Number:



2 SECOND FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"
E-01



1 FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"
E-01

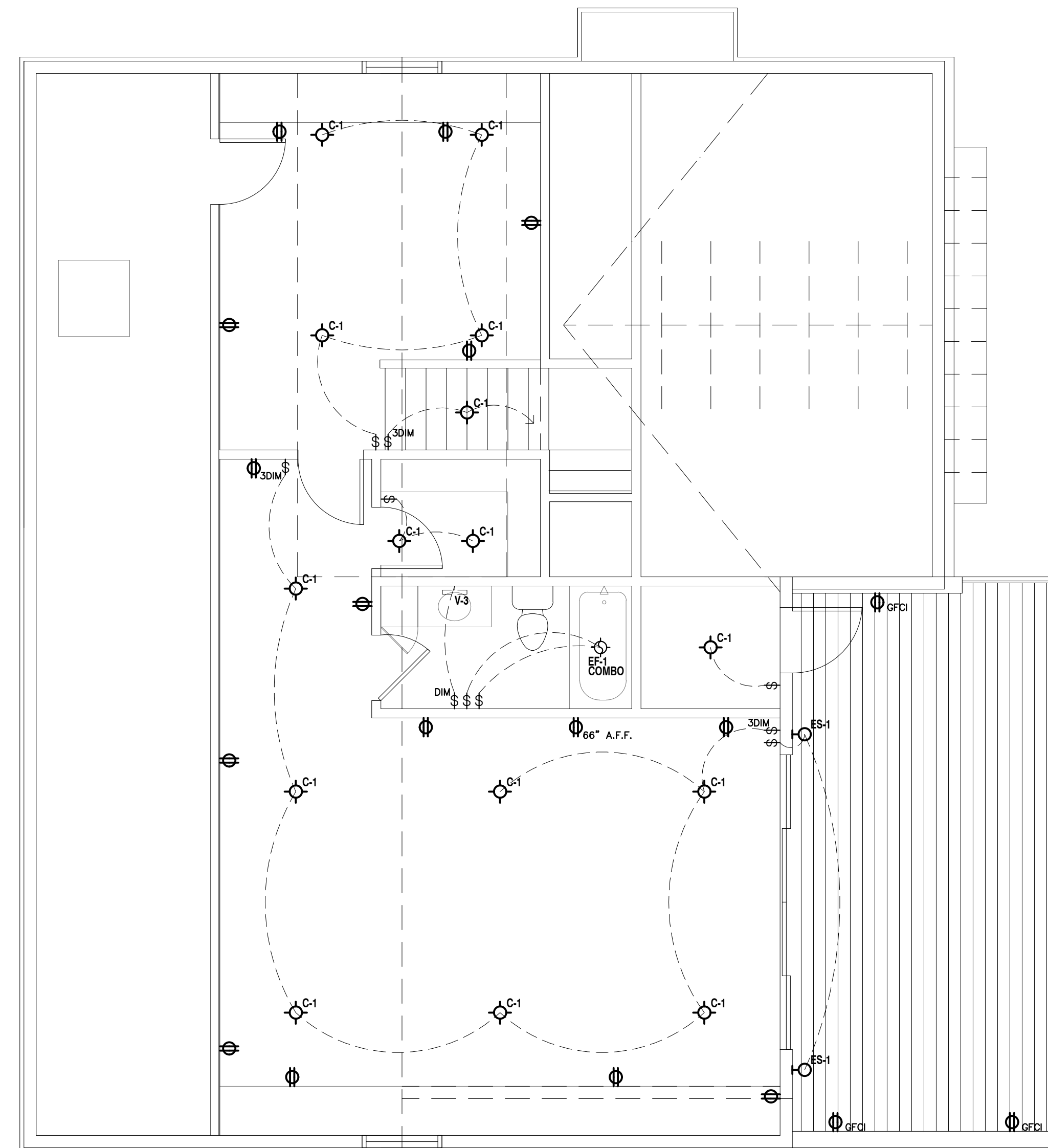
General Scope of Work Notes

1. Upgrade existing electrical service to 400 Amps.
2. Existing receptacle locations to remain unless noted otherwise, update all wiring and devices. Provide GCFI protected devices where required.
3. New Electric Heat Pump units in lower level and third floor.

ELECTRICAL AND REFLECTED CEILING PLAN LEGEND

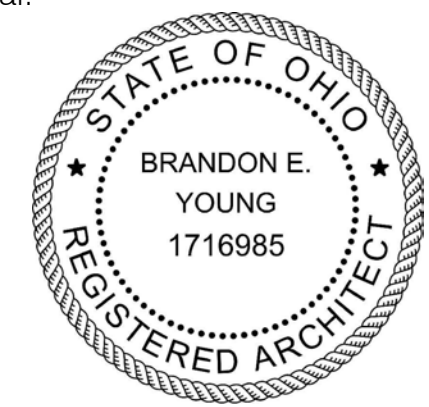
SYMBOL	DESCRIPTION		
	CF-# SUSP. CEILING FAN		PHONE JACK (VERIFY SYSTEM)
	UC-# UNDERCABINET LIGHTING		TELEVISION PORT (VERIFY SYSTEM)
	P-# DECORATIVE CEILING FIXTURE		HARDWIRED INTERCONNECTED SMOKE DETECTOR WITH BATT. BACK UP, COMBINATION IONIZATION AND PHOTOELECTRIC SMOKE/CARBON MONOXIDE ALARM
	C-# CAN CEILING FIXTURE *INDICATES WET LOCATION		WALL MTD. LIGHT SWITCH MTD 48" A.F.F.
	ST-# RECESSED STEP LIGHT		3-WAY WALL MTD. LIGHT SWITCH; MTD. 48" A.F.F.
	ES-# WALL MOUNTED WEATHER PROOF FIXTURE		ELECTRICAL OUTLET / GROUND FAULT INTERRUPTER
	EF-# EXHAUST FAN WITH LIGHT		DUPLEX OUTLET MTD. 18" A.F.F OR AS NOTED ON PLAN
	EF-# EXHAUST FAN WITHOUT LIGHT		220v RECEPTACLE OUTLET
	V-# WALL MOUNTED VANITY FIXTURE		FLOOR MOUNTED RECEPTACLE
	CHANNEL LIGHTING - REQUIRES 1/2" GYP.		P-1-1 PANEL CIRCUIT DESIGNATION
	SP-# SPOT LIGHT FIXTURE		
	H-# HEADER FIXTURE		
	SC-# WALL MOUNTED FIXTURE		

1 ALL ELECTRICAL TO BE COMPLIANT WITH THE NFPA 70 ELECTRICAL CODE & UL LISTED
ALL FIXTURES ABOVE SHOWERS/ BATHTUBS TO BE DAMP LOCATION LISTED PER NEC 410.10(D)



1
E-02
THIRD FLOOR
ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"
0 2 4 8

Seal:



General Notes:

ISSUES:	DATE:
REVIEW	o 02-16-24
REVIEW	o 03-06-24
PERMIT	o 03-08-24
REVIEW	o 03-21-24
OWNER REVISIONS	o 03-29-24



15614 Detroit Ave.
Lakewood, OH 44107
www.youngdesignstudio.com
p. 216.616.9212
Architecture | Interiors | Urban Design

Ross - Dasch
Residence

1047 Kirtland Ln.
Lakewood, Ohio 44107

Drawing Title:

ELECTRICAL PLANS

Drawn by: BEY/MBY Date: 02-16-2024

Checked by: Drawing Number:

Approved: **E-02**

Job Number:



