

**AGENDA
BOARD OF ZONING APPEALS
CITY OF LAKEWOOD
12650 DETROIT AVENUE
MAY 18, 2023**

**PRE-REVIEW MEETING
6:00 P.M.
EAST CONFERENCE ROOM**

**REVIEW MEETING
6:30 P.M.**

- 1. ROLL CALL**
- 2. APPROVE MINUTES OF THE APRIL 20, 2023 MEETING**
- 3. OPENING REMARKS**

OLD BUSINESS

- 4. Docket No. 12-32-22
1655 Roosevelt Ave.**

Applicant and property owner Christopher Walling proposes the construction of a new garage on the previously demolished garage site. The proposed garage has a calculated height of 17 feet, permitted maximum is 15 feet. The property is in the R1H, Single Family High-Density District. (Page 4)

- Variance 1: Request a variance to exceed the maximum permitted height of an accessory structure. The permitted accessory structure height is 15 feet calculated. The proposed garage height is calculated at 17 feet. Request a variance to exceed the permitted maximum height by 4 feet, as proposed. Pursuant to section 1121.05(b) Height Regulations (Ord. 91-95. Passed 10-7-1996.)

- 5. Docket No. 04-06-23
1077 Wilbert Rd.
***DEFERRED**

Applicants Susan Broadwater and Paul Beegan of Beegan Architectural Design, for property owners Ben and Laurie Manti, propose the demolition of the existing garage and the construction of a new garage that exceeds the allowable height. The property is located in the R1M Single-Family Medium Density Residential District. (Page 7)

- Variance 1: Request a variance to exceed the maximum height of an accessory structure. The maximum permitted accessory structure height is 15 feet, a height which is pursuant to 1103.01(q). The proposed height of the new garage is calculated as 19 feet, 3 ½ inches. Request a variance to exceed the permitted accessory structure height by 4 feet, 3 ½ inches, as proposed. Pursuant to Section 1121.05(b) Height Regulations (Ord. 91-95. Passed 10-7-1996.)

NEW BUSINESS

6. Docket No. 05-08-23 1464 Riverside Dr.

Applicant Gary Fischer of Fischer and Associates Architects for property owner Linda Fredrickson of Jude Home LLC proposes the demolition of the existing primary construction, and the construction of a primary structure attached to the existing detached garage. The property is a through lot with no rear yard, and frontage on both Graber Ave. and Riverside Dr.. The proposal exceeds permitted maximum primary area coverage, reduces the side and combined side yard setbacks and reduces the front setback on Graber Ave. The property is located in the R2 Single- and Two-Family Residential District. (Page 9)

- Variance 1: Request a variance to reduce the setback of the primary structure. The existing garage is 3 feet, 4 inches from the closest side yard, and when connected to the new primary structure is required to meet side yard requirements. Request a variance to place primary structure 3 feet, 4 inches from the side property line, as proposed. Pursuant to Schedule 1121.07 Minimum Yard Requirements (Ord. 91-95. Passed 10-7-1996.)
- Variance 2: Request a variance to reduce the front yard setback of the of the primary structure on the Graber Ave. frontage, as proposed the primary structure is placed 7 ft, 7 inches from the public right of way . The requirement is a 12 ft. minimum from the public right of way. Request a variance to reduce the front yard by 4 feet, 5 inches from the side property line, as proposed. Pursuant to Schedule 1123.07 Minimum Yard Requirements (Ord. 91-95. Passed 10-7-1996.)
- Variance 3: Request a variance to reduce the combined total side yard setbacks. A total of 15 feet combined side yards is required, 12 ft, 4 inches is proposed. Request a variance to reduce the required combined side yard setbacks by 2 ft, 8 inches, as proposed Pursuant to Schedule 1121.07 Minimum Yard Requirements (Ord. 91-95. Passed 10-7-1996.)
- Variance 4: Request a variance to exceed maximum allowable primary lot coverage. The requirement is a maximum of 25%. The lot is 5,698 sq. ft., and the proposed primary lot coverage is 2,186 sq. ft. , or 45.3% primary lot coverage. Request a variance to exceed primary lot coverage by 20.3%, as proposed. Pursuant to Section 1121.09 (Ord. 08-2021. Passed 5-17-21.)

7. Docket No. 05-09-23 17514 Detroit Ave. St. James School

Applicant Gabriel Fey of HSB Architects for property owner Jess Oster proposes the renovation and conversion of a commercial building on the St James property to a multi-family use. The proposal includes the addition of a rooftop patio with an enclosed vestibule and unroofed patio deck. The requirement for unroofed patio decks to be higher in elevation than 42 inches and no greater in area than 300 sq. ft., the parcel is a through lot without a rear yard. The proposal is for a 1,155 sq. ft. unroofed patio deck at 40 feet, 10 inches above grade. The property is located in the C2 Retail Commercial District. (Page 17)

- Variance 1: Request a variance to exceed the allowable permitted height and area of an unroofed patio deck. Request a variance to place 1,155 sq. ft of unroofed patio deck at a height of 40 feet 10 inches above grade. Pursuant to Section 1127.03(d) Fence Placement and Types) Height Regulations (Ord. 91-95. Passed 10-7-96.)

**8. Docket No. 05-10-23
17909 Lake Rd.**

Applicant Jill Brandt of Brandt Architecture for property owner Matt Vesperman proposes the construction of a breezeway connecting the primary structure to a new attached garage. The property is a wedge shape, and due to the shape of the lot any primary structure will fail to meet the rear yard setback requirement. The proposal does not meet the rear yard setback requirement or the combined side yard setback requirement. The rear yard must be a minimum of 40 feet and the combined side yard total must be 25 feet. The property is located in the R1L Single-Family Low-Density District Single- and Two-Family Residential District. (Page 42)

- Variance 1: Request a variance to reduce the rear setback on a wedge-shaped lot. The requirement is for a 40-foot setback from the rear property line. Request a variance to place a new attached garage and breezeway approximately 10 feet, 1 inch from the rear property line, as proposed. Pursuant to Section 1121.07 Minimum Yard Requirements for Principal Buildings (Ord. 15-15. Passed 9-21-2015.)
- Variance 2: Request a variance to reduce the combined setback total. The requirement is for each side setback to be a minimum of 10 feet and in some combination when combined total a minimum of 25 feet. One side is an existing 5-foot, 9-inch setback, and the other side is proposed at approximately 14 feet, for a combined total of 20 feet, 9 inches. Request a variance to reduce the combined side yard setback to 20 feet 9 inches, as proposed. Pursuant to Section 1121.07 Minimum Yard Requirements for Principal Buildings (Ord. 15-15. Passed 9-21-2015.)

ADJOURN

“Individuals with disabilities, who require accommodations for participation in meetings, must request accommodations at least 3 business days ahead of the scheduled meeting. Contact Michelle Nochtka at (216) 529-5906 michelle.nochtka@lakewoodoh.net .”



BOARD OF ZONING APPEALS

12650 Detroit Avenue • 44107 • (216) 529-6630 • FAX (216) 529-5907
www.lakewoodoh.gov

Application Cover Page

Docket No.: 12-32-22

Reference No.: BZA22-000052, BZA23-000004

Applicant Name: Christopher Walling

Project Address: 1655 Roosevelt Ave.

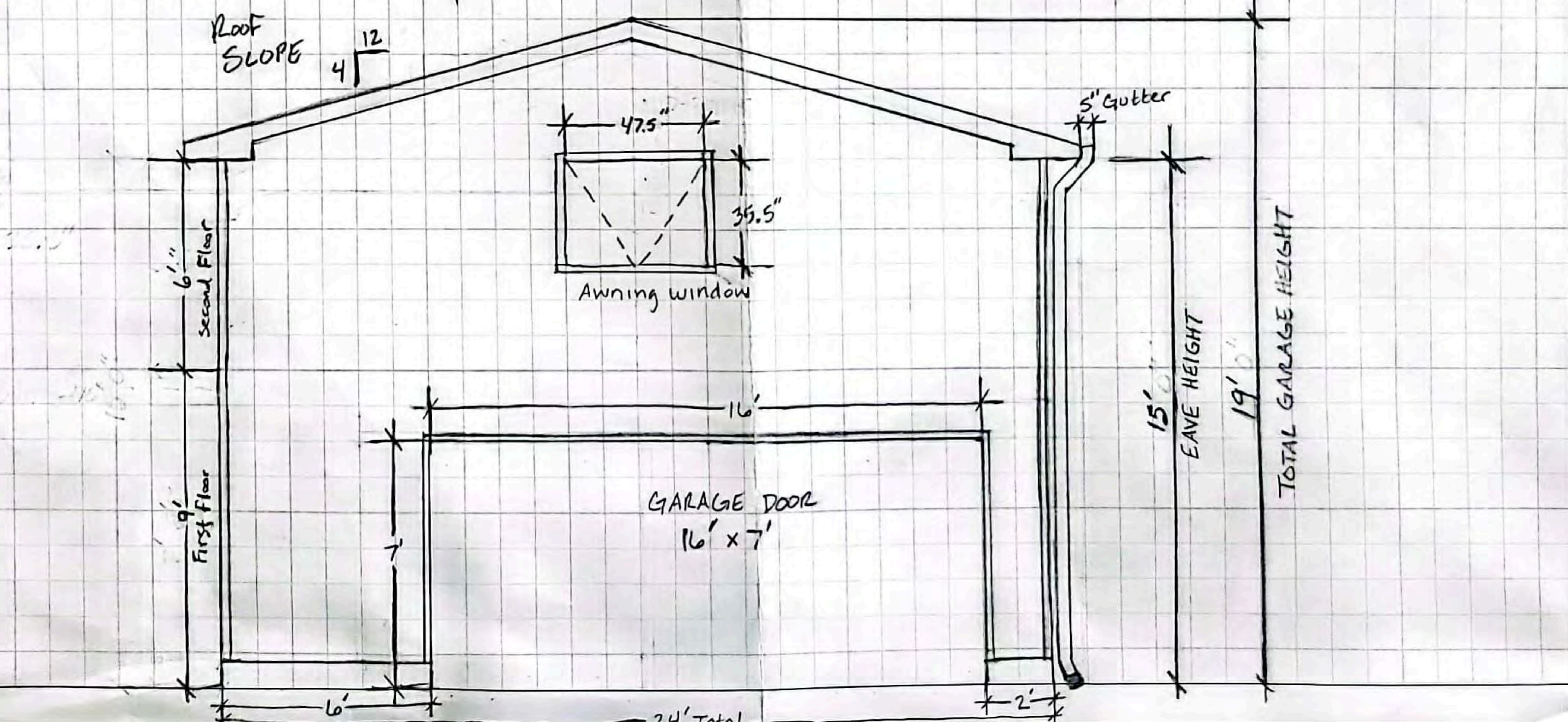
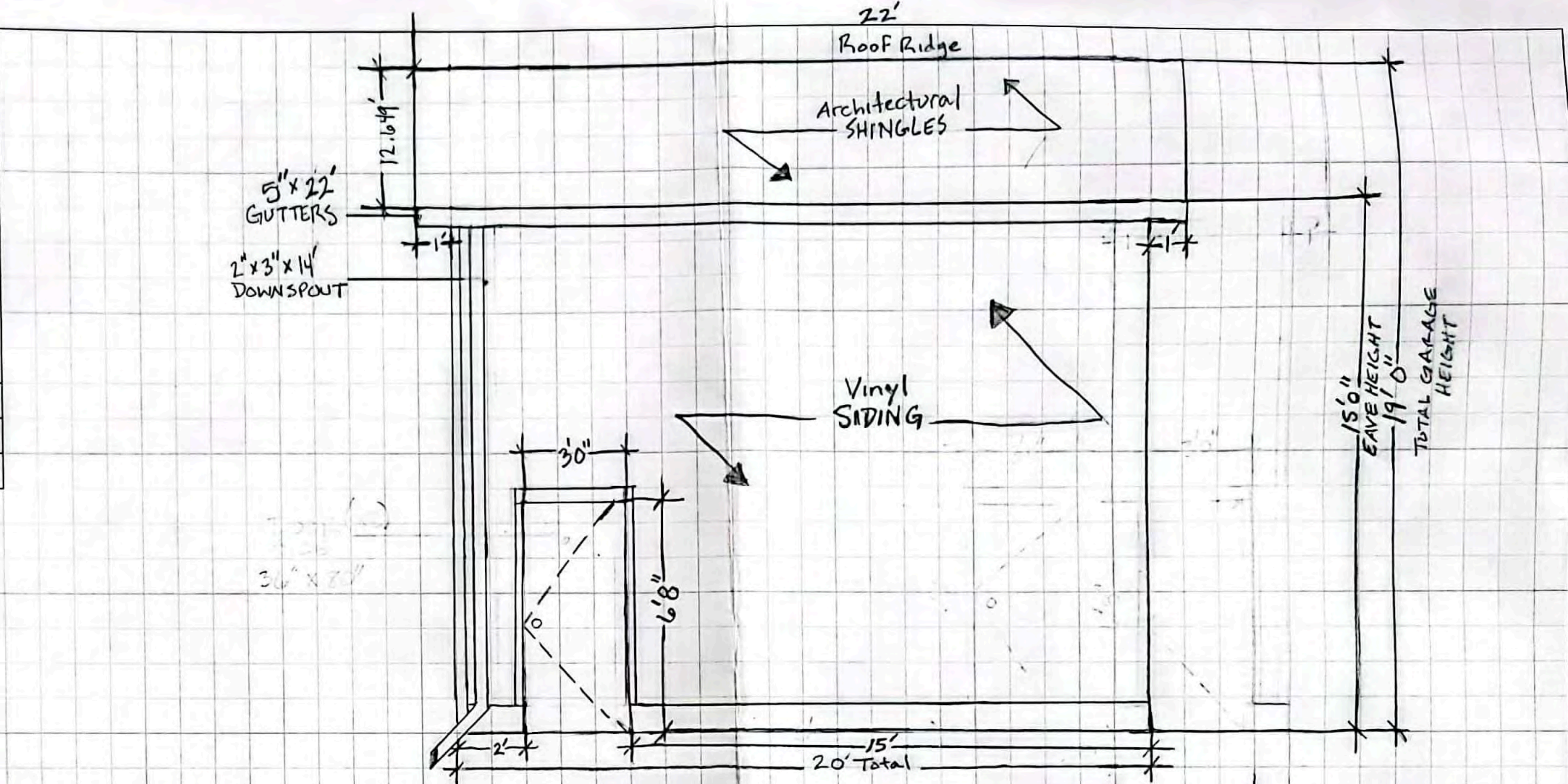
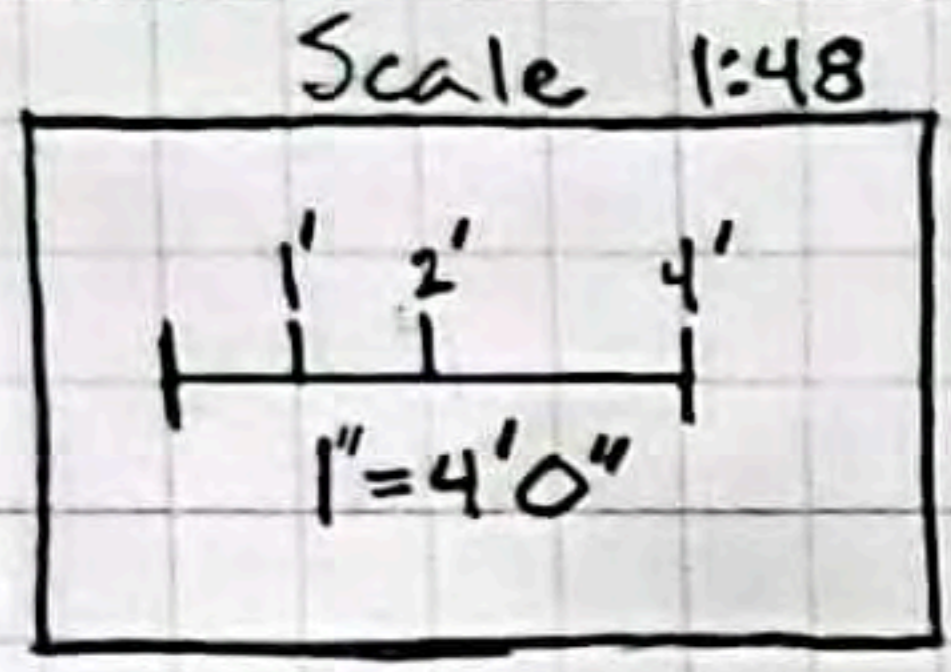
Project Name:

Proposal: The construction of a new garage on the previously demolished garage site. The proposed garage has a calculated height of 17 feet, permitted maximum is 15 feet. The property is in the R1H, Single Family High-Density District.



THE CONTRACTOR OF CHOICE®

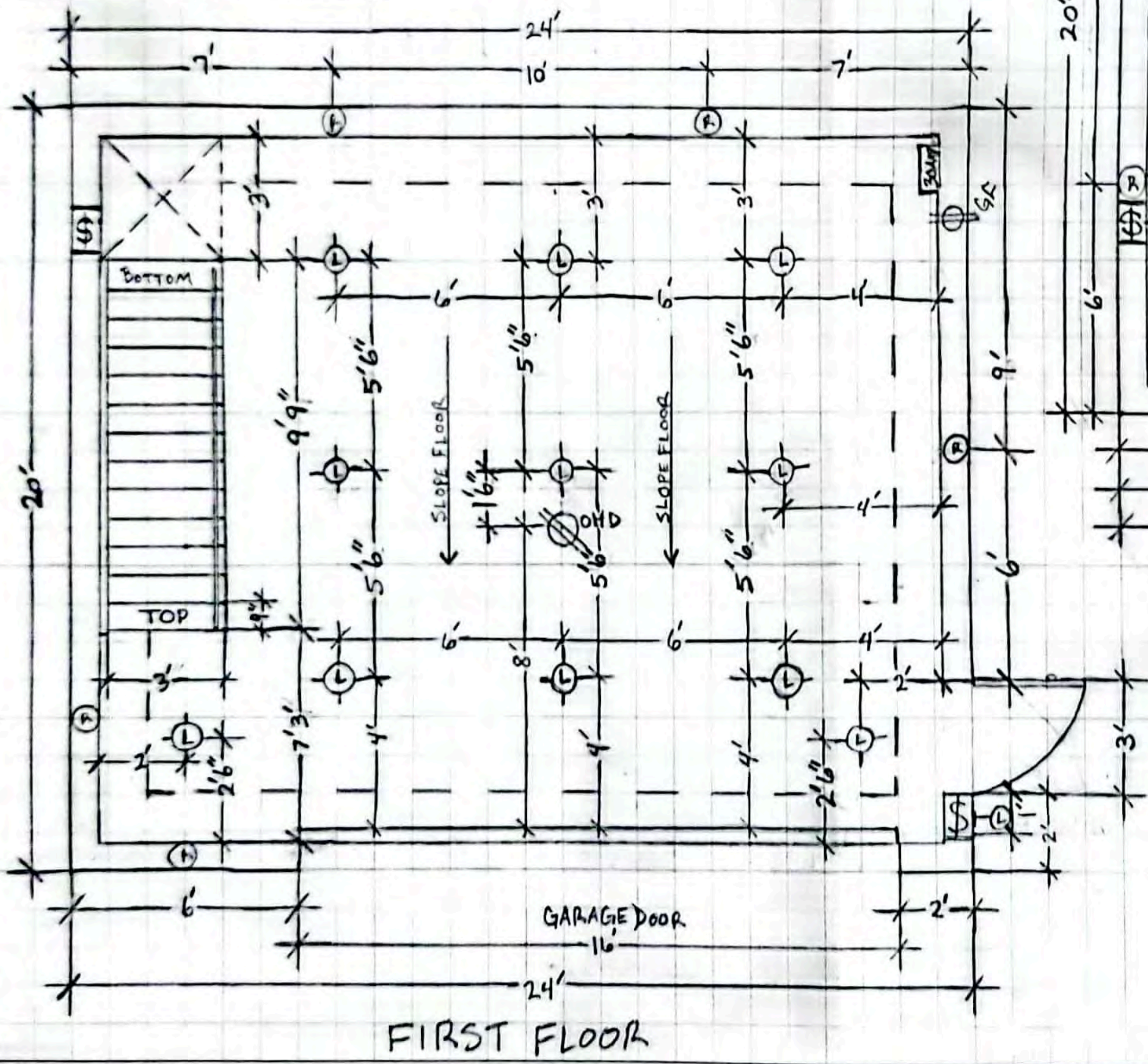
Date	
Project	
Item of Work	1 sq = 1/4" = 1'0" 1" = 4 sq = 4' Scale 1:48
Needed By	
Completed By	
Cell Phone #	



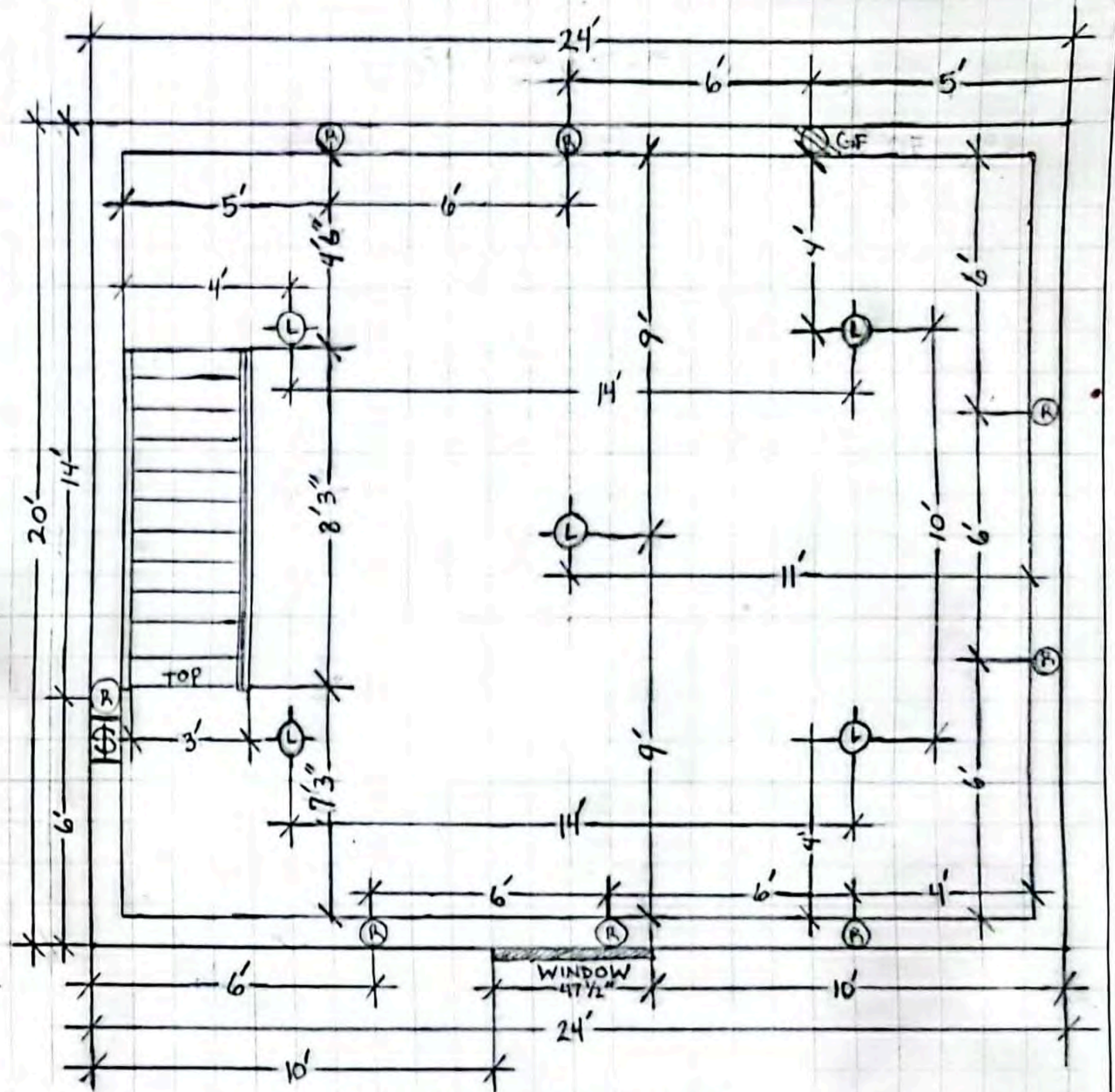


THE CONTRACTOR OF CHOICE®

Date	
Project	Garage - Interior - first floor + second floor
Item of Work	
Needed By	
Completed By	
Cell Phone #	



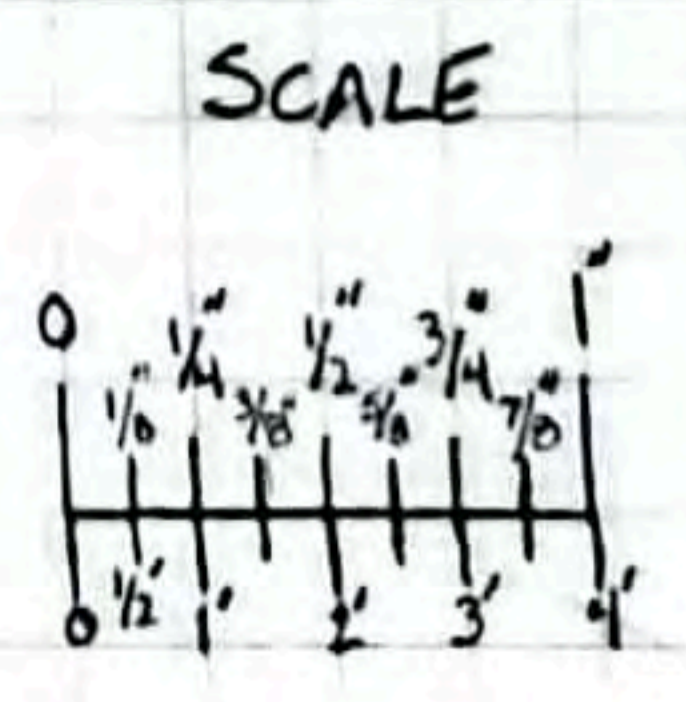
FIRST FLOOR



SECOND FLOOR

KEY

- = Light switch
- = Receptacle
- : Lights: Recessed, Surface mount, wall mount
- 30 AMP** : Sub-Panel with Disconnect Rating
- : 110V Duplex ceiling mounted door operator receptacle





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Application Cover Page

Docket No.: 04-06-23

Reference No.: BZA23-000010

Applicant Name: Susan Broadwater and Paul Beegan of Beegan Architectural Design

Project Address: 1077 Wilbert Rd.

Project Name:

Proposal: The demolition of the existing garage and the construction of a new garage which exceeds the allowable height. Property is located in the R1M Single Family Medium Density Residential District.

*****This request is DEFERRED until the August 17, 2023 meeting.**

Johanna Schwarz

From: susan beegan-ad.com <susan@beegan-ad.com>
Sent: Tuesday, May 9, 2023 2:28 PM
To: Michelle Nochta
Cc: Johanna Schwarz
Subject: RE: 1077 Wilbert- BZA May 18-DEFERRED to August 17, 2023

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Thank you Michelle,

We will have revised plans to you on or before 8/2.

Susan Broadwater

Beegan Architectural Design
15703 Madison Ave
Lakewood, Ohio 44107
216-521-9000

From: Michelle Nochta <Michelle.Nochta@lakewoodoh.net>
Sent: Tuesday, May 9, 2023 2:18 PM
To: susan [beegan-ad.com](mailto:susan@beegan-ad.com) <susan@beegan-ad.com>
Cc: Johanna Schwarz <Johanna.Schwarz@lakewoodoh.net>
Subject: Re: 1077 Wilbert- BZA May 18-DEFERRED to August 17, 2023

Thank you - we will defer this case to the August 17, 2023 meeting

Michelle Nochta, AICP

Senior Planner and ADA Coordinator- Planning & Development

City of Lakewood

Department of Planning & Development

12650 Detroit Avenue

Lakewood, Ohio 44107

(216) 529-6630 main

(216) 529-5906 direct



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Application Cover Page

Docket No.: 05-08-23

Reference No.: BZA23-000015

Applicant Name: Gary Fischer, Fischer Associates Architects

Project Address: 1464 Riverside Dr.

Project Name:

Proposal: The demolition of the existing primary construction, and the construction of a primary structure attached to the existing detached garage. The property is a through lot with no rear yard, and frontage on both Graber Ave. and Riverside Dr.. The proposal exceeds permitted maximum primary area coverage, reduces the side and combined side yard setbacks and reduces the front setback on Graber Ave. The property is located in the R2 Single- and Two-Family Residential District.

Re: 1464 Riverside Drive

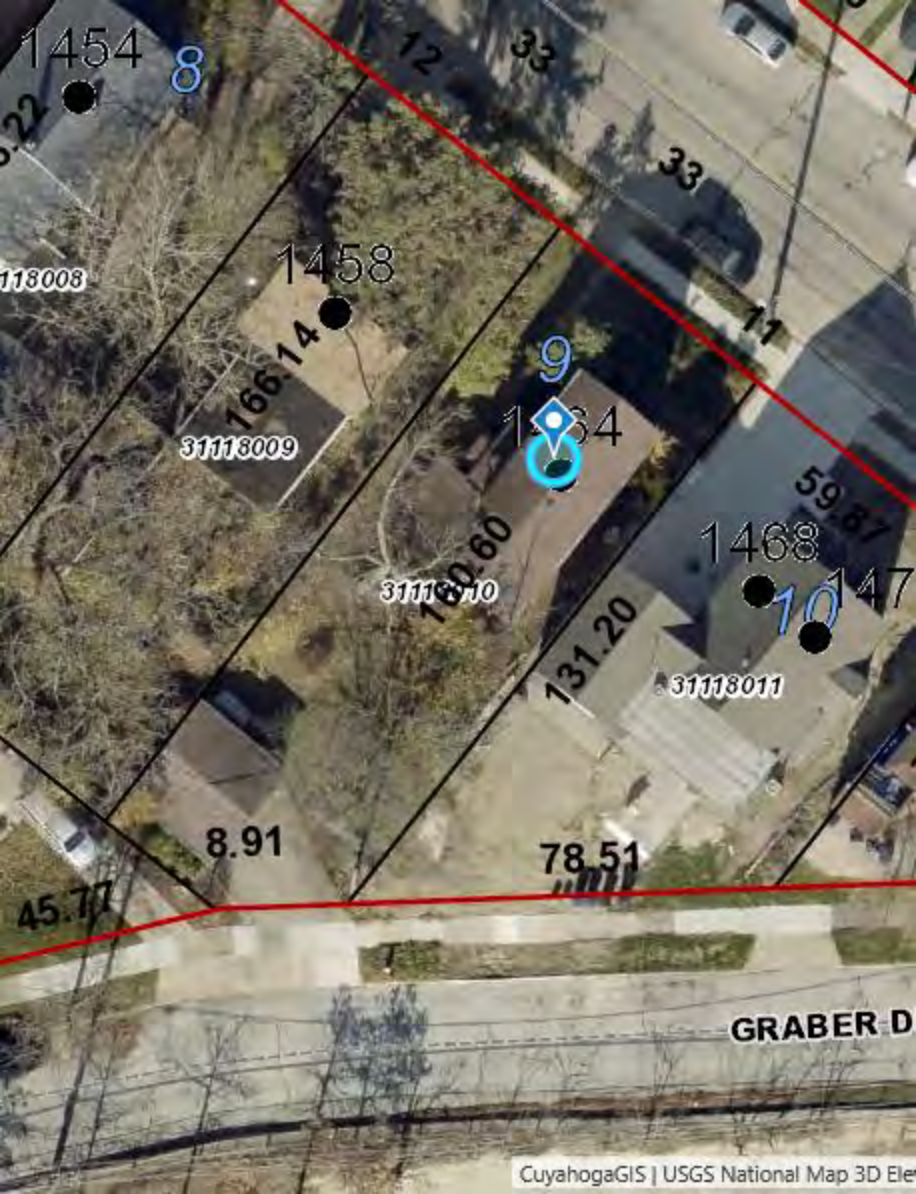
To Whom it may concern:

This document provides consent for Gary Fischer to act on my behalf as Agent for the Design review for the property located at 1464 Riverside Drive

Respectfully:

Linda Fredrickson.





1454

8

12

33

33

31118008

1458

31118009

166.14

9

1334

31118010

160.60

131.20

1468

10

147

31118011

8.91

78.51

45.77

GRABER D

1464 RIVERSIDE DRIVE

(New Duplex)

1464 Riverside Drive – Lakewood, Ohio 44107

GENERAL NOTES:

THE CONTRACTOR(S) WARRANTS THAT ALL CONSTRUCTION AND INSTALLATION WORK FOR THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL THE REQUIREMENTS OF LOCAL, STATE & FEDERAL LAWS AND AUTHORITIES HAVING JURISDICTION.

GOVERNING CODE: LATEST (R.C.O. 2019 RESIDENTIAL BUILDING CODE INCLUDING AMENDMENTS GROUPS AND ALL APPLICABLE STATE & LOCAL APPLICABLE STATE OF OHIO AND LOCAL CODES AND ORDINANCES.

IT IS THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS. ANY VARIATIONS BETWEEN ACTUAL CONDITIONS AND THOSE SHOWN ON THE CONTRACT DOCUMENT DRAWINGS SHALL BE PRESENTED TO THE ARCHITECT PRIOR TO SUBMITTING ANY BID. NO EXTRAS OR CONSIDERATIONS WILL BE GIVEN FOR CONFLICTS BETWEEN ACTUAL CONDITIONS AND THOSE SHOWN ON THE CONSTRUCTION DOCUMENT DRAWINGS.

ANY SUBSTITUTIONS, CHANGES OR DELETIONS OF MATERIALS, TECHNIQUES OR LOCATIONS SHALL BE PRESENTED TO THE ARCHITECT FOR APPROVAL PRIOR TO SUBMITTING ANY BID/S; OTHERWISE WORK SHALL BE BID AND CONSTRUCTED AS SHOWN IN THE CONTRACT CONSTRUCTION DOCUMENT DRAWINGS.

THE CONTRACT CONSTRUCTION DOCUMENTS ARE INTENDED TO BE EXPLANATORY. SHOULD ANY DISCREPANCIES COME ABOUT, OR ANY MISUNDERSTANDING/S APPEAR AS TO THE IMPORTANCE OF ANYTHING CONTAINED IN THE CONSTRUCTION DOCUMENT DRAWINGS, THE EXPLANATION FROM THE ARCHITECT SHALL BE FINAL AND BINDING UPON THE CONTRACTOR/S.

THE CONTRACT DOCUMENTS, IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED OR DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

ALL WORK AND MATERIALS NORMALLY REQUIRED PER INDUSTRY STANDARDS TO COMPLETE THE WORK, ALTHOUGH NOT INDICATED SPECIFICALLY, SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR AS IF SHOWN ON THE CONSTRUCTION DOCUMENT DRAWINGS. FAILURE TO SHOW OR INDICATE MINUTE DETAILS SHALL NOT WARRANT OMISSION OF NECESSARY WORK FOR THE PROPER COMPLETION OF THE PROJECT.

VISUAL CONTACT WITH THESE CONSTRUCTION DOCUMENT DRAWINGS AND/OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE REQUIREMENTS & RESTRICTIONS.

ALL INFORMATION RELATED TO EXISTING CONDITIONS HAS BEEN PROVIDED BY OWNER. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF ANY WORK.

USE WRITTEN DIMENSIONS ONLY (DO NOT SCALE DRAWINGS) DIMENSIONS INDICATED WITH A (+) MUST BE FIELD VERIFIED.

THE CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL MECHANICAL & ELECTRICAL INSTALLATIONS WITH THE STRUCTURAL SYSTEM TO ASSURE PROPER CLEARANCES CAN BE ACHIEVED PRIOR TO FINAL SELECTION AND FABRICATION OF ANY SYSTEMS.

REPORT ALL DISCREPANCIES OR CONFLICTS IN DIMENSIONS, CODE COMPLIANCE AND/OR OTHER TO ARCHITECT PRIOR TO PROCEEDING WITH THE PROJECT WORK OR ORDERING ANY MATERIALS.

IF CONDITIONS AT THE PROJECT JOB SITE ARE DIFFERENT THAN THOSE INDICATED IN THE CONTRACT CONSTRUCTION DOCUMENTS, CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IN WRITTEN FORM.

THE CONTRACTOR SHALL VERIFY DIMENSIONS PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR COORDINATING ROUGH OPENINGS AND DIMENSIONS IN THE FIELD FOR ALL TRADES.

DO NOT PROCEED WITH CHANGES TO THESE CONSTRUCTION DOCUMENT BASED ON VERBAL INSTRUCTIONS. WRITTEN AUTHORIZATION BY THE ARCHITECT FOR CHANGES MUST BE RECEIVED PRIOR TO MAKING ANY CHANGES AND ORDERING MATERIALS.

IT IS EACH CONTRACTORS RESPONSIBILITY TO CHECK MODEL NUMBERS OF ALL COMPONENTS SPECIFIED FOR THIS PROJECT WITH DESCRIPTION OF PRODUCT FOR CONFORMANCE WITH DESIGN INTENT. NOTIFY ARCHITECT OF ANY DISCREPANCIES DISCOVERED PRIOR TO ORDERING OF MATERIALS.

PROVIDE PENETRATIONS, OPENINGS AND SLEEVES FOR MECHANICAL AND ELECTRICAL WORK AS REQUIRED BY THE CONSTRUCTION DOCUMENT DRAWINGS, OR IF NOT SHOWN, FOLLOW APPLICABLE INDUSTRY STANDARD.

DEMOLITION:

PROVIDE ALL DEMOLITION AS INDICATED ON DRAWINGS AND AS REQUIRED TO COMPLETE THE WORK. PROVIDE REQUIRED TEMPORARY BRACING. SECURE ALL WORK TO REMAIN. ALL DEMOLITION IS SHOWN DASHED UNLESS OTHERWISE INDICATED. REF. DEMO. PLAN & NOTES/G-100.

PROVIDE ALL CUTTING AND PATCHING OF EXISTING FLOORS, WALLS AND CEILINGS AS REQUIRED TO ACCOMMODATE NEW LAYOUT, WHERE APPLICABLE. PATCH, AS REQUIRED AND INDICATED, TO MATCH EXISTING AND/OR NEW ADJACENT WALLS, FLOORS AND CEILINGS IN A MANOR TO ACHIEVE A SMOOTH EVEN AND UNIFORM APPEARANCE UNLESS OTHERWISE INDICATED.

STRUCTURAL NOTES: (GENERAL)

- THE STRUCTURE IS DESIGNED TO BE AND REMAIN SELF-SUPPORTING AND STABLE AFTER THE INDICATED PROJECT WORK IS FULLY COMPLETED. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE AND TO INSURE THE SAFETY OF THE BUILDING/S AND ALL ITS COMPONENT PARTS DURING ERECTION. THIS INCLUDES THE ADDITION OF WHATEVER TEMPORARY BRACING, SHORING, SHEETING, GUYS AND TIE DOWNS WHICH MAY BE NECESSARY. ALL SUCH MATERIAL SHALL REMAIN THE CONTRACTORS PROPERTY AFTER THE PROJECT IS COMPLETED.
- SHOULD ANY OF THE DETAILED INSTRUCTIONS SHOWN ON THE CONSTRUCTION DOCUMENTS CONFLICT WITH THE GENERAL STRUCTURAL NOTES, STRUCTURAL SPECIFICATIONS, OR WITH EACH OTHER, THE STRICTEST PROVISION SHALL GOVERN.
- IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.

DESIGN CRITERIA:

- DEAD LOAD 1ST. FLOOR – 10 PSF LIVE LOAD FLOOR – 40 PSF
- DEAD LOAD 2ND. FLOOR/PORCH – 10 PSF LIVE LOAD FLOOR – 30 PSF
- DEAD LOAD ROOF – 20 PSF LIVE LOAD ROOF – 25 PSF
- WIND LOAD 115 MPH EXPOSURE B
- GROUND SNOW LOAD – 30 PSF
- SEISMIC – SITE CLASSIFICATION (C) USE GROUP (1) DESIGN (A) (WIND LOAD GOVERNS)

CONCRETE AND MASONRY

- CAST IN PLACE CONCRETE TO BE MIN. 4000 PSI STRENGTH.
- CAST IN PLACE CONC. FOOTINGS TO BE SET ON MIN. 1,500 PSF SOIL BEARING.
- EXTERIOR CONC. FOOTINGS & PIERS SHALL BE SET A MIN. DEPTH OF 3'-6" BELOW FINISHED GRADE.
- ALL REINFORCING SHALL BE A.S.T.M. A-36.
- CONC. BLOCK: ASTM C90 (HOLLOW) ASTM C145 (SOLID).
- MORTAR: TYPE S, MIN. COMPRESSIVE STRENGTH: 1,800 PSI.
- CORE FILL: ASTM C476, COARSE TYPE.
- JOINT REINFORCING: STANDARD DURAWALL, MILL GALVANIZED FINISH.
- ALL C.M.U. SHALL BE MADE USING DRY BLOCK.
- PROVIDE UNITS OF SIZE INDICATED AND IN SPECIAL SHAPES FOR APPLICATION WHERE FORMS, SIZE OR FINISH CANNOT BE PRODUCED FROM STANDARD SHAPES. TYPICAL ALL BRICK VENEER THROUGHOUT, WHERE APPLICABLE.

ROUGH CARPENTRY

- SPECIFICATIONS: UNLESS SPECIFICALLY SHOWN OTHERWISE, DESIGN, FABRICATION AND ERECTION SHALL BE GOVERNED BY THE LATEST REVISIONS OF:
 - NATIONAL DESIGN SPECIFICATION FOR WOOD & METAL FRAME CONSTRUCTION.
 - U.S. PRODUCT STANDARDS PS-1 FOR CONSTRUCTION & INDUSTRIAL PLYWOOD.
 - APA CONSTRUCTION GUIDE – RESIDENTIAL.
- CONNECTIONS:
 - PLYWOOD TO RAFTERS/JOISTS ROOFS & FLOORS – USE BD NAILS @ 6" O.C. @ PANEL EDGES AND 12" O.C. @ INTERMEDIATE SUPPORTS.

ROUGH CARPENTRY (CONTINUED)

- ALL CONNECTIONS OF STRUCTURAL BEAMS & RIDGE MEMBERS SHALL BE MADE UTILIZING HIGH STRENGTH (MIN. 14 GA.) HURRICANE STRENGTH, METAL FRAMING HANGERS/CONNECTORS WITH NAILING AT ALL HOLES.
- ANY LUMBER EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE AND/OR MASONRY MUST BE TREATED. ALL FASTENERS MUST BE COMPATIBLE WITH SELECTED WOOD OR METAL TREATMENT MATERIAL UTILIZED USING HDC. OR SS WHERE APPLICABLE.
- CORNER BRACING TO BE METAL T STRIP DIAGONAL BRACING, SIMPSON TWB OR EQUAL. LOCATE AT ALL BUILDING CORNERS AND UNINTERRUPTED SPANS OF 8'-0" OR GREATER.
- ALL EXTERIOR DOOR AND WINDOW OPENINGS SHALL UTILIZE MIN. 3Ø 2"x8" HEADER WITH 2Ø 2"x6" JAMB BLOCKING EACH END OF OPENING UNLESS OTHERWISE INDICATED. ALL INTERIOR DOOR, DOORWAY, WINDOW AND PASS THRU OPENINGS SHALL UTILIZE MIN. 2Ø 2"x6" HEADER WITH 2Ø 2"x4" BLOCKING EACH END OF OPENING. TYPICAL UNLESS OTHERWISE INDICATED.
- ALL SOLID BLOCKING, (S.B.) AT EXTERIOR OPENINGS, BEARING POINTS AND EXTERIOR CORNERS AS REQUIRED AND SHOWN ON DRAWINGS SHALL BE 3Ø2" x 6", FOR INTERIOR 3Ø2x4 WALLS, STRUCT. SET ALL ON SOLID BEARING. SOLID BLOCKING AT BEARING POINTS HIDDEN IN WALLS SHALL HAVE 2x4 LATERAL BRACING TO NEXT STUDS Ø2'-0" O.C. HORIZONTAL.
- PROVIDE ALL NECESSARY MISCELLANEOUS BLOCKING AND FRAMING AS REQUIRED FOR PROPER INSTALLATION OF EQUIPMENT AND ACCESSORIES INCLUDING BUT NOT LIMITED TO WINDOWS, DOORS AND HARDWARE, CABINETS, COUNTERS AND KITCHEN, LAUNDRY ROOM AND ACCESSORIES.
- DOUBLE JOISTS UNDER PARTITIONS, AT FLOOR OPENINGS IN A MANOR TO AFFORD STRUCTURAL INTEGRITY.
- ALL NEW INTERIOR AND EXTERIOR STAIRS AND STEPS SHALL HAVE MAX. 8.25" RISERS AND MIN. 10" TREADS, TYP. U.O.N.. V.I.F. ALL ELEVATION CHANGES PRIOR TO START OF ANY WORK.
- ALL NEW EXTERIOR WALL INSULATION SHALL BE MIN. R-20. ALL NEW EXTERIOR ROOF INSULATION SHALL BE MIN R-49. FLOOR ABOVE CRAWL SPACE & BELOW GARAGE SHALL BE R-30. TYP. IN A MANOR COMPLETE BUILDING ENVELOPE.
- WHERE BEAMS MAY END ON OPEN POCKET, PROVIDE BEAM ATTACHMENT BY WELDING OR BOLTED CLIP ANGLE EACH SIDE W/ NOT LESS THAN ONE ½" BEAM BOLT AND ONE ½" WALL ANCHOR PER ANGLE, AS REQUIRED FOR ADEQUATE STRUCT. SUPPORT, WHERE MAY BE APPLICABLE.

FINISHES

- ALL FINISH MATERIALS AND COLORS, EXTERIOR AND INTERIOR, NOT SPECIFIED SHALL BE TO MATCH EXISTING OR SELECTION BY OWNER.
- ALL WINDOWS ARE SHOWN WITH NOMINAL DESIGNATIONS. MATCH EXISTING OR COORDINATE WITH OWNER FOR MANUF. AND ACCESSORIES.
- ALL MATERIALS AND FINISHES SHALL BE AS SPECIFIED OR ARCHITECT APPROVED EQUIVALENT. ANY SUBSTITUTIONS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO FINAL SELECTION.

CUSTOM FINISH SPECIAL NOTES:

- ALL INTERIOR FLOOR FINISH SHALL BE T.M.E. OR SELECTION BY OWNER.
- ALL INTERIOR TRIM SHALL BE FINISH WOOD INCLUDING BUT NOT LIMITED TO BASE, DOOR TRIM AND WINDOW TRIM T.M.E. OR SELECTION BY OWNER.
- ALL COUNTER TOPS SHALL BE PER OWNERS SELECTION.
- ALL KITCHEN & OTHER CABINETS/VANITIES SHALL BE FULL CUSTOM.
- ALL EXTERIOR WINDOWS AND DOORS SHALL BE INSUL. & T.M.E., OR AS SELECTED BY OWNER
- ALL EXTERIOR FINISHES SHALL BE NEW TO REPLACE EXT'G. SELECTED BY OWNER INCLUDING BUT NOT LIMITED TO SIDING, TRIM, DECKING & ROOFING U.O.N..
- COORDINATE ALL WITH OWNER, U.O.N..

SHOP DRAWINGS

- MIN. 4 COPIES SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO FABRICATION FOR THE ITEMS LISTED BELOW INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
- MASONRY UNITS, MORTAR, GROUT, REINFORCEMENT & ACCESSORIES
 - WINDOWS, DOORS AND HARDWARE
 - CABINETS & COUNTERS PER OWNERS SELECTION
 - MECHANICAL & ELECTRICAL FIXTURES, EQUIPMENT & ACCESSORIES
 - KITCHEN COUNTERS, CABINETS, FIXTURES & ACCESSORIES
 - STAIRS, RAILING, GUARD & HAND RAILS.
 - FLASHING, CAULKING & SEALANTS
 - INTERIOR AND EXTERIOR TRIM/MOLDED MILLWORK
 - EXTERIOR FINISHES.
 - ROOFING, ROOFING MATERIALS, GUTTERS & DOWNSPOUTS

GENERAL CONSTRUCTION NOTES:

- FIELD VERIFY ALL EXISTING CONDITIONS/DIMENSIONS PRIOR TO START OF WORK.
- NEW WET AREAS. USE MOISTURE RESISTANT G.W.B. AT ALL NEW WET WALLS ON THE SIDE OF THE WALL THAT RECEIVES A FIXTURE WITH A WATER HOOKUP.
 - ALL DIMENSIONS REFERENCE FROM CONCRETE/MASONRY WALLS ARE FROM FACE OF MASONRY AND NOT FROM FURRED GYP. BD.
 - BRACE ALL INTERIOR PARTITIONS TO STRUCT. OF ADJACENT WALLS, FLOOR BELOW, CEILING &/OR ROOF ABOVE CEILING AS REQUIRED TO PREVENT WALLS FROM FLEXING.
 - ALL NEW DOOR & WINDOW HEADS SHALL BE AT 6"-8" A.F.F. U.O.N..
 - ALL NEW DOOR OPENINGS ARE TO BE LOCATED 4" FROM THE INTERIOR CORNER OF THE WALL UNLESS INDICATED OTHERWISE.
 - FRAMING CONTRACTORS SHALL PROVIDE SOLID BLOCKING CONCEALED IN WALLS AND ROUGH OPENINGS, AS REQUIRED, FOR ALL ACCESSORIES INCLUDING BUT NOT LIMITED TO DOORS, WINDOWS, CLOSET SHELVING/RODS, BATHROOM FIXTURES & ACCESSORIES, ETC..
 - CABINET/MILLWORK CONTRACTOR SHALL VERIFY ARCHITECTS OPENING DIMENSIONS FOR REFRIGERATORS, MICROWAVES, CABINETS, FURNITURE AND OTHER EQUIPMENT TO ENSURE ADEQUATE FIT, CLEARANCE AND VENTILATION.
 - VERIFY ALL ROUGH OPENINGS OF ALL NEW DOORS AND WINDOWS WITH THE SELECTED MANUFACTURER'S REQUIREMENTS.
 - IN AREAS WHERE EXISTING FLOORING MATERIALS ARE TO BE REMOVED. PREP FLOORS TO RECEIVE NEW FINISHES IN A MANOR TO MAINTAIN LEVEL UNIFORM TRANSITION.

ENGINEERING COORDINATION

PLUMBING:

COORD. WITH FLOOR PLANS/A-100 FOR SCHEMATIC PLUMBING FIXTURE LOCATIONS. REFERENCE SPECS. & RISER DIAGRAMS /MPE-100.

H.V.A.C.:

PROVIDE H.V.A.C. ADDITIONS & ALTERATIONS AS REQUIRED TO ACCOMMODATE BUILDING RENOVATION LAYOUT. INSTALL PER SELECTED MANUF. SPECS. & INSTALLATION INSTRUCTIONS. COORD. WITH OWNER FOR NUMBER AND LOCATION OF ZONES. REF. MECHANICAL SPECS/MPE-100. FILED UNDER SEPARATE PERMIT.

ELECTRICAL:

COORDINATE WITH FLOOR PLANS/A-100 FOR SCHEMATIC ELECTRICAL FIXTURE LOCATIONS & ELECTRICAL ENGINEERING SPECS. & SCHEDULE/MPE-100.

SPECIAL CONTRACTORS NOTE:

ARCHITECT IS RESPONSIBLE FOR ARCHITECTURAL DESIGN AND DRAFTING ONLY. ALL INFORMATION SUPPLIED BY OWNER.

VERIFY ALL DETAILS INCLUDING BUT NOT LIMITED TO SITE CONDITIONS, CITY UTILITY REQUIREMENTS & STANDARDS, AND STRUCTURAL LOADS AND BEARING (WHERE APPLICABLE).

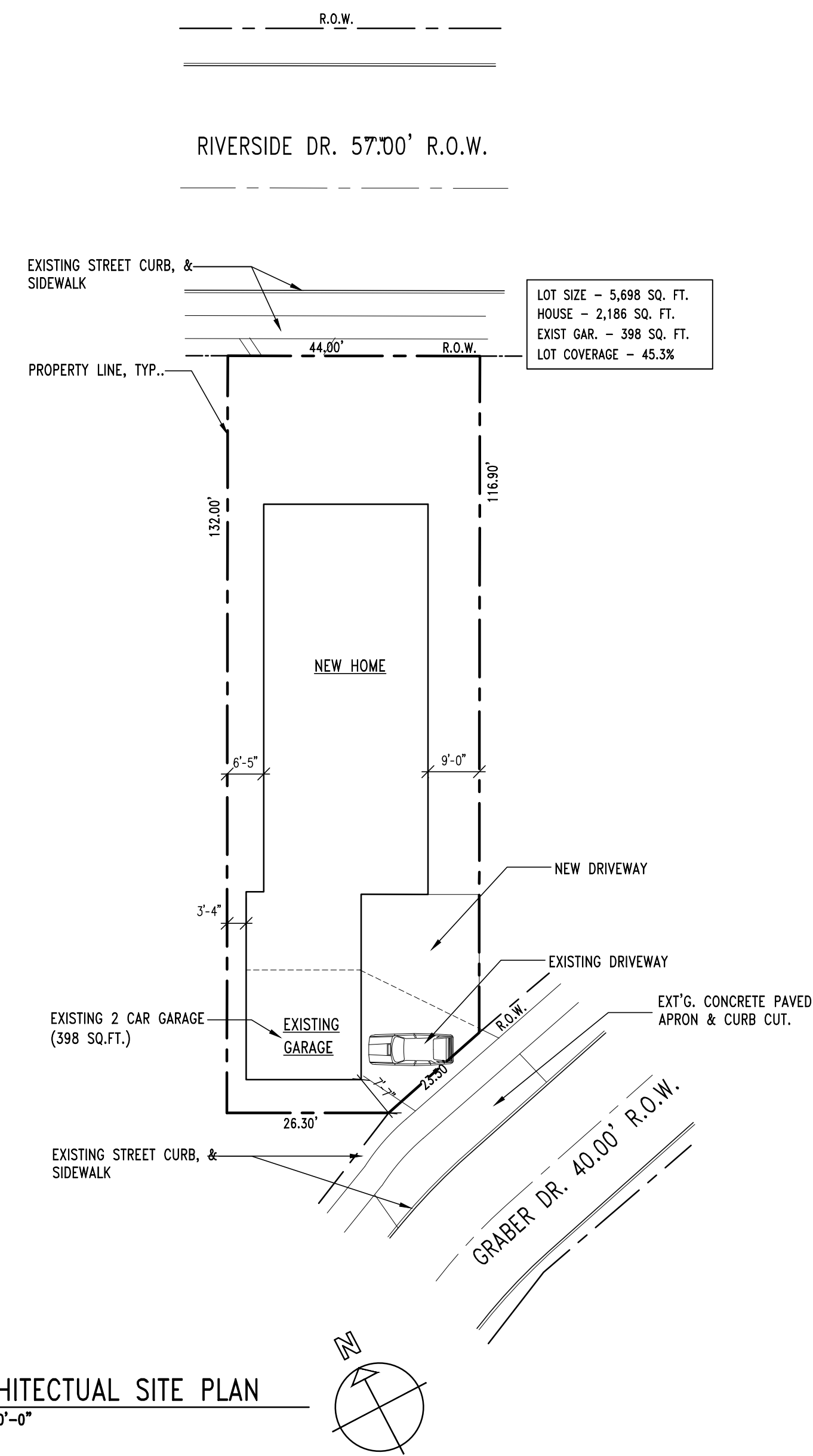
GENERAL DEMOLITION NOTES:

- ALL SAFEGUARDS FOR DEMOLITION SHALL FOLLOW O.B.C. CHAPTER 33.
- FIELD VERIFY ALL EXISTING CONDITIONS/DIMENSIONS PRIOR TO START OF WORK.
- ALL DEMOLITION DIMENSIONS ARE TO BE FIELD VERIFIED AND COORDINATED WITH FLOOR PLAN INFORMATION.
- COORDINATE ALL ASPECTS OF DEMOLITION WITH NEW FLOOR AND ENGINEERING PLANS, STRUCTURAL, PLUMBING, MECHANICAL AND ELECTRICAL DWGS.
- CONTRACTOR SHALL VISIT JOB SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS WHICH WILL AFFECT THE EXECUTION OF WORK. IF ADDITIONAL INTERPRETATION IS REQUIRED REGARDING THE SCOPE DEMOLITION INTENT, CONTACT THE ARCHITECT PRIOR TO START OF WORK. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR FAILURE TO OBTAIN THIS INFORMATION.
- PROVIDE ALL DEMOLITION AS INDICATED ON DRAWINGS AND AS REQUIRED TO COMPLETE THE RENOVATION WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTAINING FOLLOWING DURING WORK:
 - FIRE DETECTORS IN COMPLIANCE WITH LOCAL BUILDING CODE AND FIRE MARSHALL
 - DEBRIS DISPOSAL AND DUMPSTER
 - INTERIOR AND EXTERIOR DUST CONTROL/SANITARY SAFEGUARDS
 - EXISTING STRUCTURAL ELEMENTS
- PROVIDE SHORING/BRACING AS REQUIRED AT ALL AREAS OF DEMOLITION. STRUCTURE SHALL BE SELF-SUPPORTING AFTER DEMOLITION IS COMPLETE.
- INCLUDE ALL LABOR, MATERIALS, EQUIPMENT, SERVICES, AND PERMITS NECESSARY FOR COMPLETION OF THE DEMOLITION WORK. PROVIDE PROTECTION FOR ALL ADJACENT AREAS BEFORE, DURING AND AFTER EXECUTION OF THE DEMOLITION WORK.
- PROVIDE ALL CUTTING OF EXISTING WALLS, FLOORS & CEILINGS AS REQUIRED TO ACCOMMODATE EXISTING BUILDING NEW RENOVATION LAYOUT.
- CAP OFF OR DISCONNECT ALL UNUSED PLUMBING, HVAC & ELECTRICAL BEHIND WALLS, ABOVE CEILING OR UNDER FLOORS.
- CONTACTOR SHALL ENSURE THAT ALL EXTERIOR OPENINGS ARE CLOSED OFF AS REQUIRED TO SECURE AGAINST INTRUSION, WEATHER, ETC. DURING ALL PHASES OF THE DEMOLITION WORK.
- CONTRACTOR SHALL GIVE OWNER FIRST RIGHT TO SALVAGE ANY AND ALL EXISTING ITEMS, EQUIPMENT, MATERIALS, ETC. ALL ITEMS TO BE SALVAGED BY THE OWNER SHALL BE CAREFULLY REMOVED AND STORED ON SITE BY THE CONTRACTOR FOR SALVAGE BY THE OWNER. ALL OTHER MATERIALS, EQUIPMENT AND DEBRIS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE.
- IN THE REMOVAL OF ANY PART OF A DRAINAGE SYSTEM, DEAD ENDS SHALL BE PROHIBITED. CLEANOUT EXTENSIONS AND APPROVED FUTURE DRAINAGE SHALL NOT BE CONSIDERED AS DEAD ENDS PER OHIO PLUMBING CODE SECTION 704.5.
- COORDINATE UTILITY SERVICE OUTAGES WITH THE APPLICABLE LOCAL UTILITY COMPANIES.
- ALL ITEMS NOT INDICATED AS TO BE REMOVED OR RELOCATED SHALL REMAIN. PLEASE VERIFY WITH ARCHITECT PRIOR TO REMOVAL OF ANY ITEMS WHICH HAVE NOT BEEN IDENTIFIED ON ARCHITECTURAL, MECHANICAL OR ELECTRICAL DRAWINGS.



AERIAL SITE LOCATION MAP

1" = 30'-0"



SITE PLAN NOTES:

- ARCHITECTURAL SITE PLAN IS DIAGRAMMATICAL FOR REFERENCE ONLY AND SHOULD NOT BE CONSTRUED AS AN ACTUAL SURVEY.
- COORD. W/ LOCAL UTILITY COMPANIES FOR LOCATION OF ANY UNDERGROUND UTILITY LINES PRIOR TO ANY EXCAVATION. CALL (811)
- THE ALL NEW BUILDING UTILITY LINES TO EXISTING AND OR NEW HOUSE UTILITIES. COORDINATE WITH ENGINEERING DRAWINGS, LOCAL RESPECTIVE UTILITY COMPANIES AND LOCAL APPLICABLE CITY FOR REQUIREMENTS AND STANDARDS.
- CONTRACTOR RESPONSIBLE FOR ALL UTILITY COORDINATION AND INSTALLATION.
- ALL LANDSCAPING AND LAWNS SHOWN ARE EXISTING IN NATURE. ANY LAWN AND LANDSCAPING INSTALLATION SHALL BE BY OTHERS FILED UNDER SEPARATE PERMIT, WHERE APPLICABLE.
- COORDINATE WITH CIVIL DRAWINGS BY SELECTED CIVIL ENGINEER FOR ALL SITE RELATED INFO. INCLUDING BUT NOT LIMITED TO PAVING AND GRADING., WHERE APPLICABLE.

ARCHITECTURAL SITE PLAN

1" = 20'-0"

FISCHER & ASSOCIATES



ARCHITECTS INC.

554 West Ninth Street

Lorain, Ohio 44052

Tel: (440) 315-2300

E mail: andrea@fischerarch.com

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ISSUE: DATE:

NEW HOUSE PLAN PRELIM 03/28/23

NEW HOUSE ELEVATIONS PROGRESS 03/30/23

NEW HOUSE ELEV. & FLR. PLANS PROGRESS 04/05/23

NEW HOUSE, GAR. ADT. FINAL REVIEW 04/10/23

Client Name/Project Name/Address

1464 Riverside Drive
(NEW HOUSE & GARAGE ADDITION)

1464 Riverside Drive
Lakewood, Ohio 44107

Drawing Name

COVER SHEET-GENERAL NOTES-

ARCH. SITE PLAN-AERIAL SITE MAP

Fischer Project Number

21.046A

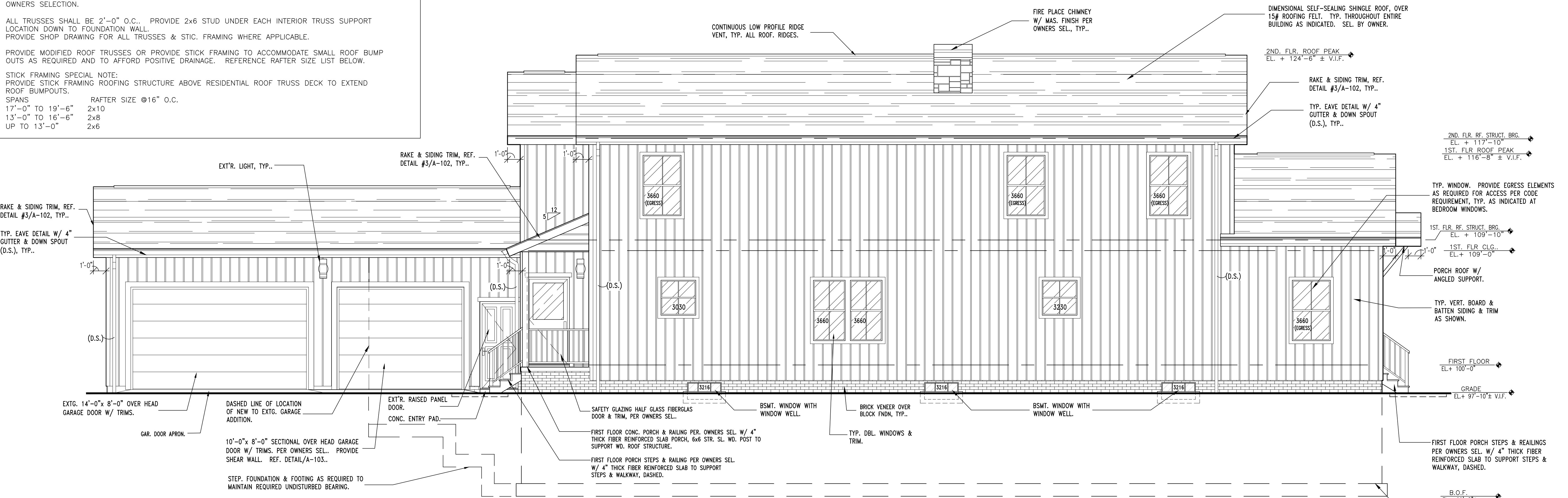
SHEET #

G-100

Seal

PRELIMINARY
NOT FOR
CONSTRUCTION

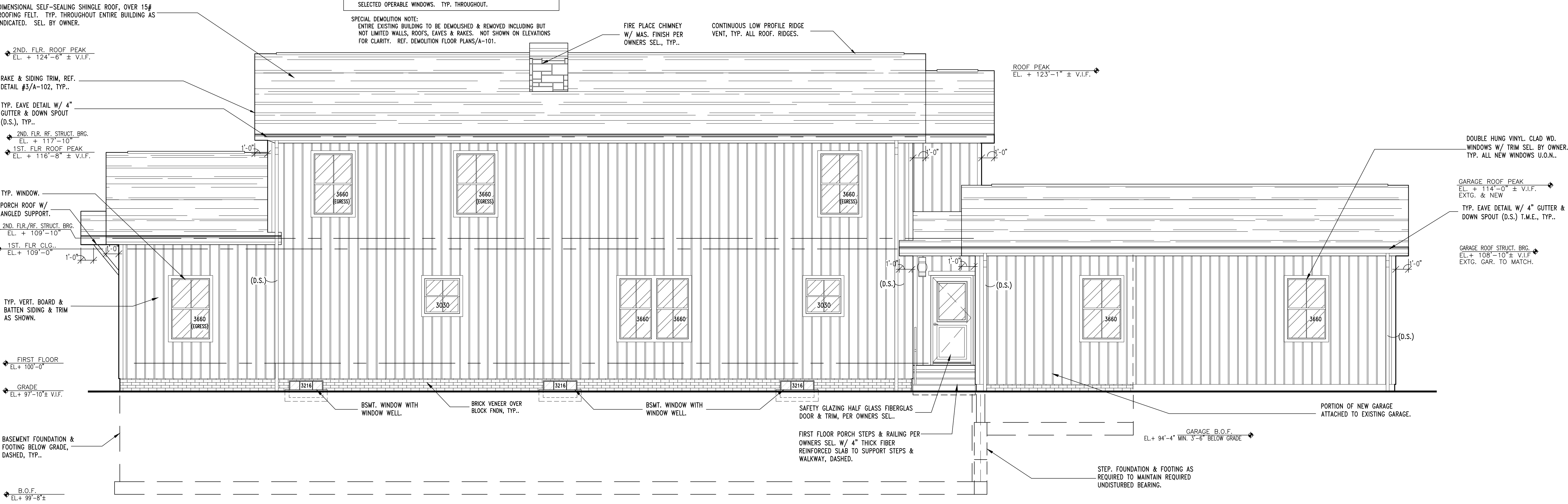
SPECIAL ROOF STRUCTURE NOTES:
 ALL ROOF TRUSSES SHALL BE FLAT CEILING TRUSSES, MODIFIED ATTIC TRUSSES OR SCISSOR TRUSS PER OWNERS SELECTION.
 ALL TRUSSES SHALL BE 2'-0" O.C.. PROVIDE 2x6 STUD UNDER EACH INTERIOR TRUSS SUPPORT LOCATION DOWN TO FOUNDATION WALL.
 PROVIDE SHOP DRAWING FOR ALL TRUSSES & STIC. FRAMING WHERE APPLICABLE.
 PROVIDE MODIFIED ROOF TRUSSES OR PROVIDE STICK FRAMING TO ACCOMMODATE SMALL ROOF BUMP OUTS AS REQUIRED AND TO AFFORD POSITIVE DRAINAGE. REFERENCE RAFTER SIZE LIST BELOW.
 STICK FRAMING SPECIAL NOTE:
 PROVIDE STICK FRAMING ROOFING STRUCTURE ABOVE RESIDENTIAL ROOF TRUSS DECK TO EXTEND ROOF BUMPOUTS.
 SPANS RAFTER SIZE @16" O.C.
 17'-0" TO 19'-6" 2x10
 13'-0" TO 16'-6" 2x8
 UP TO 13'-0" 2x6



SOUTH EAST ELEVATION
 1/4" = 1'-0"

SPECIAL WINDOW NOTES:
 1. ALL EXTERIOR WINDOWS MUST BE INSULATED.
 2. ALL WINDOW GLAZING 9'-0" SQ.FT. OR LARGER SHALL HAVE TEM. GLAZING.
 3. SELECTED WINDOW MANUFACTURER MUST VERIFY ANY WINDOWS REQUIRING TEMP. GLAZING PER APPLICABLE OHIO RESIDENTIAL CODE REQUIREMENTS.
 4. SELECTED WINDOW MANUFACTURER SHALL COORDINATE WITH OWNER FOR SELECTED OPERABLE WINDOWS. TYP. THROUGHOUT.

SPECIAL DEMOLITION NOTE:
 ENTIRE EXISTING BUILDING TO BE DEMOLISHED & REMOVED INCLUDING BUT NOT LIMITED WALLS, ROOFS, EAVES & RAKES. NOT SHOWN ON ELEVATIONS FOR CLARITY. REF. DEMOLITION FLOOR PLANS/A-101.



NORTH WEST ELEVATION
 1/4" = 1'-0"



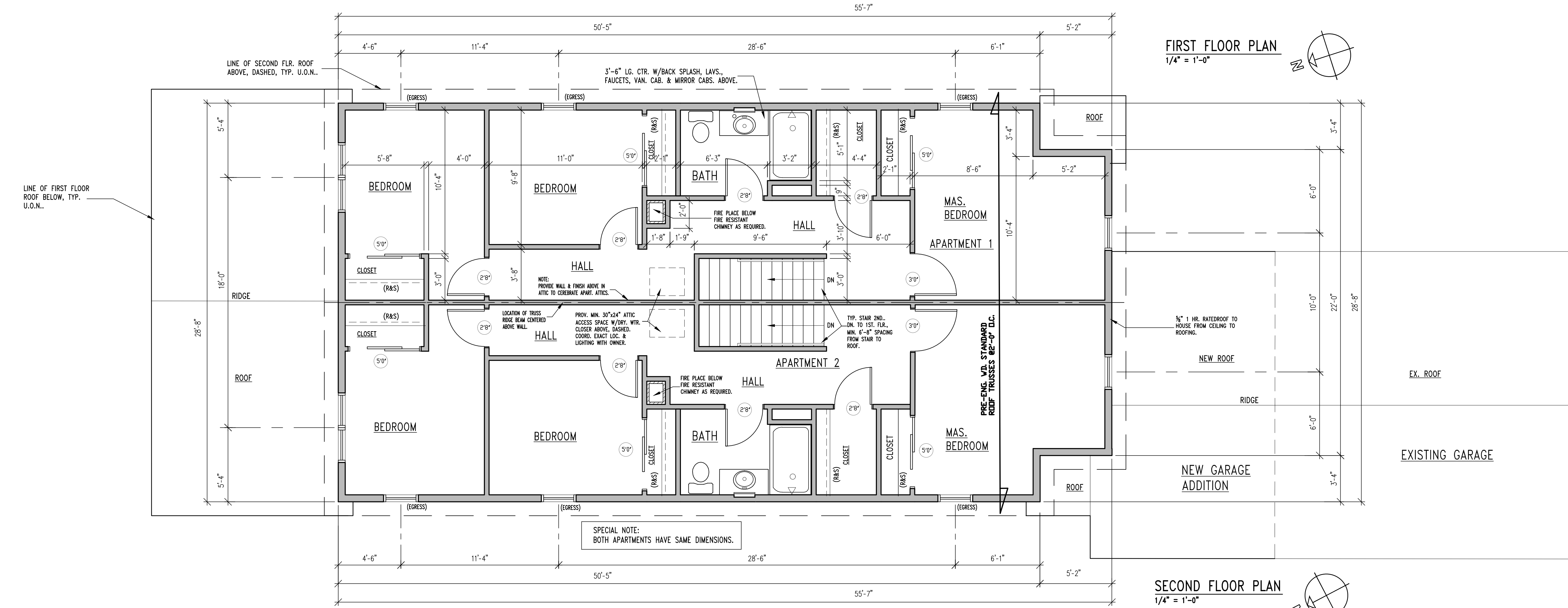
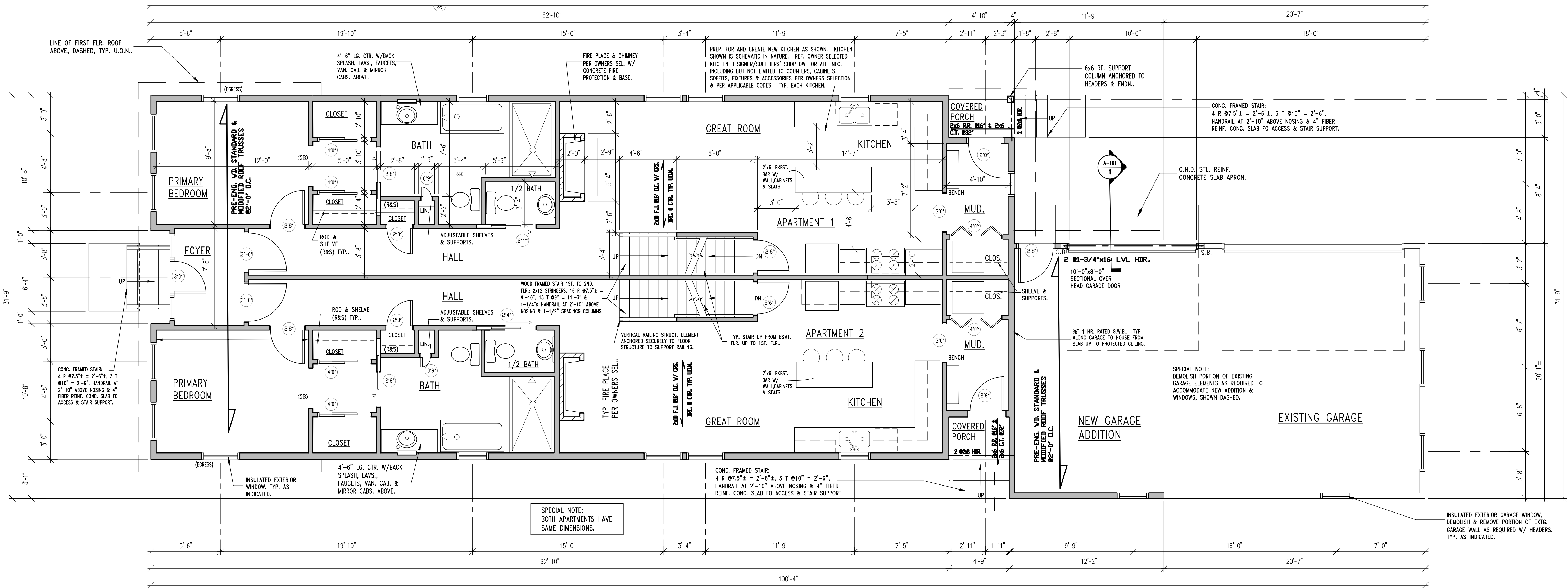
1464 Riverside Drive
 (NEW HOUSE & GARAGE ADDITION)
 1464 Riverside Drive
 Lakewood, Ohio 44107

PRELIMINARY
 NOT FOR
 CONSTRUCTION



NEW HOUSE PLAN PRELIM	03/28/23
NEW HOUSE ELEVATIONS PROGRESS	03/30/23
NEW HOUSE ELEV. & FLR. PLANS PROGRESS	04/05/23
NEW HOUSE, GAR. ADT. FINAL REVIEW	04/10/23

Client Name/Project Name/Address



1464 Riverside Drive
(NEW HOUSE & GARAGE ADDITION)

1464 Riverside Drive
Lakewood, Ohio 44107

Drawing Name
DEMOLITION FLOOR PLANS-
ADDITIONS & REVISIONS FIRST & SECOND
FLOOR PLANS

Fischer Project Number
21.046A
SHEET #

A-101

Seal

PRELIMINARY
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BOARD OF ZONING APPEALS

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Application Cover Page

Docket No.: 05-09-23

Reference No.: BZA23-000016

Applicant Name: Gabriel Fey, HSB Architects

Project Address: 17514 Detroit Ave.

Project Name: St. James School

Proposal: The renovation and conversion of a commercial building on the St James property to a multi-family use. The proposal includes the addition of a rooftop patio with an enclosed vestibule and unroofed patio deck. The requirement for unroofed patio decks to be higher in elevation than 42 inches and no greater in area than 300 sq. ft., the parcel is a through lot without a rear yard. The proposal is for a 1,155 sq. ft. unroofed patio deck at 40 feet, 10 inches above grade. The property is located in the C2 Retail Commercial District.

Gabe Fey

From: Jess Oster <jess@osterservices.com>
Sent: Tuesday, March 21, 2023 11:18 AM
To: Gabe Fey
Subject: Re: Lakewood, OH - ABR Owner Consent - Rooftop Patio

Hello Gabe,

I would like you to act on my behalf regarding this matter and all permit applications at St. James. Thank you for your time.

Jess Oster
Owner St. James

On Tue, Mar 21, 2023, 10:05 AM Gabe Fey <gfey@hsbarch.com> wrote:

Jess – as a part of the Lakewood ABR submission they need confirmation from the Owner that we are submitting the project on your behalf. Can you officially respond to this email confirming that you are in fact the Owner and approve of HSB submitting on your behalf?

I will then PDF and attach to our submission.

Thanks,

Gabriel Fey, AIA + NCARB
Principal

Cell: 513.702.2523

Hengst Streff Bajko

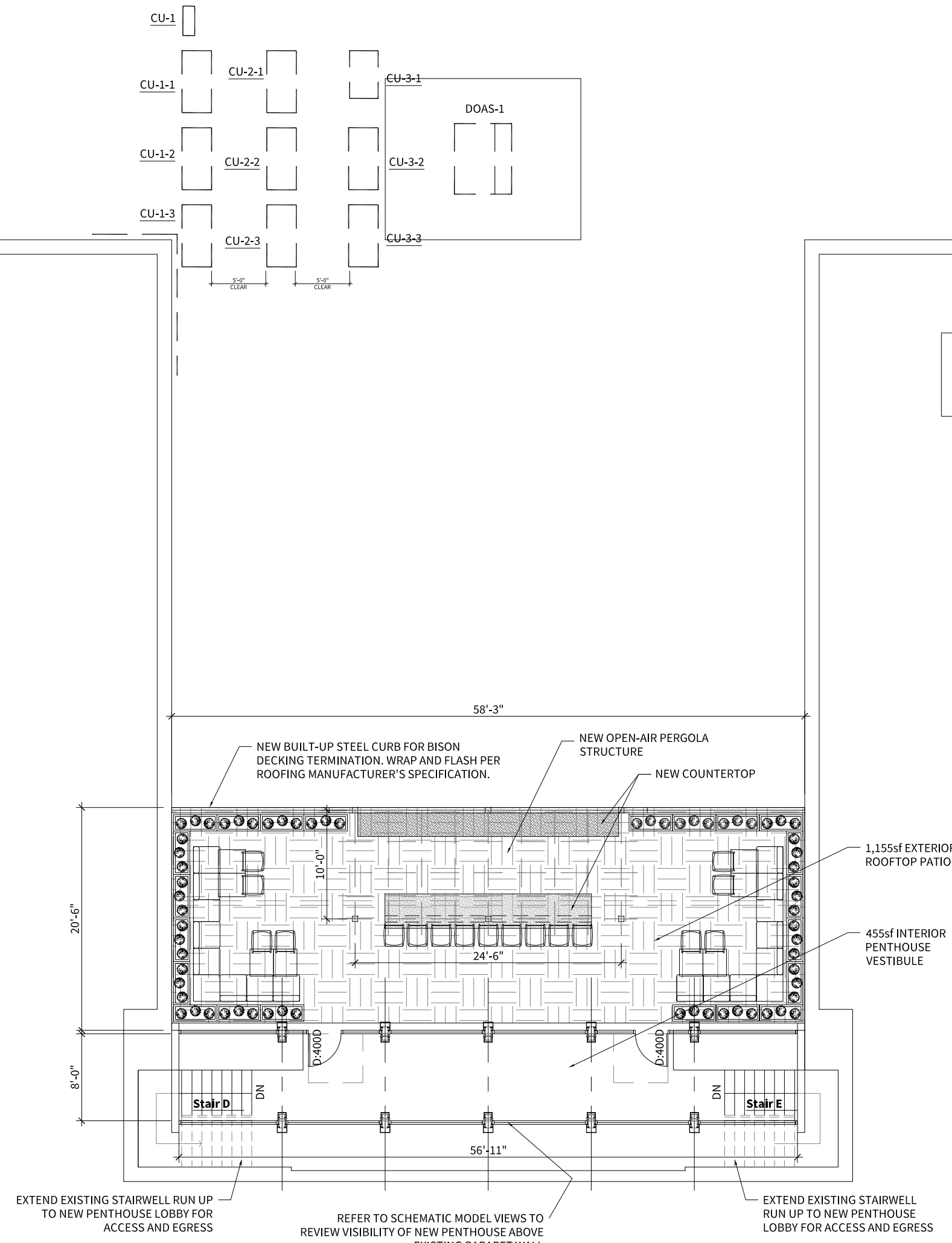
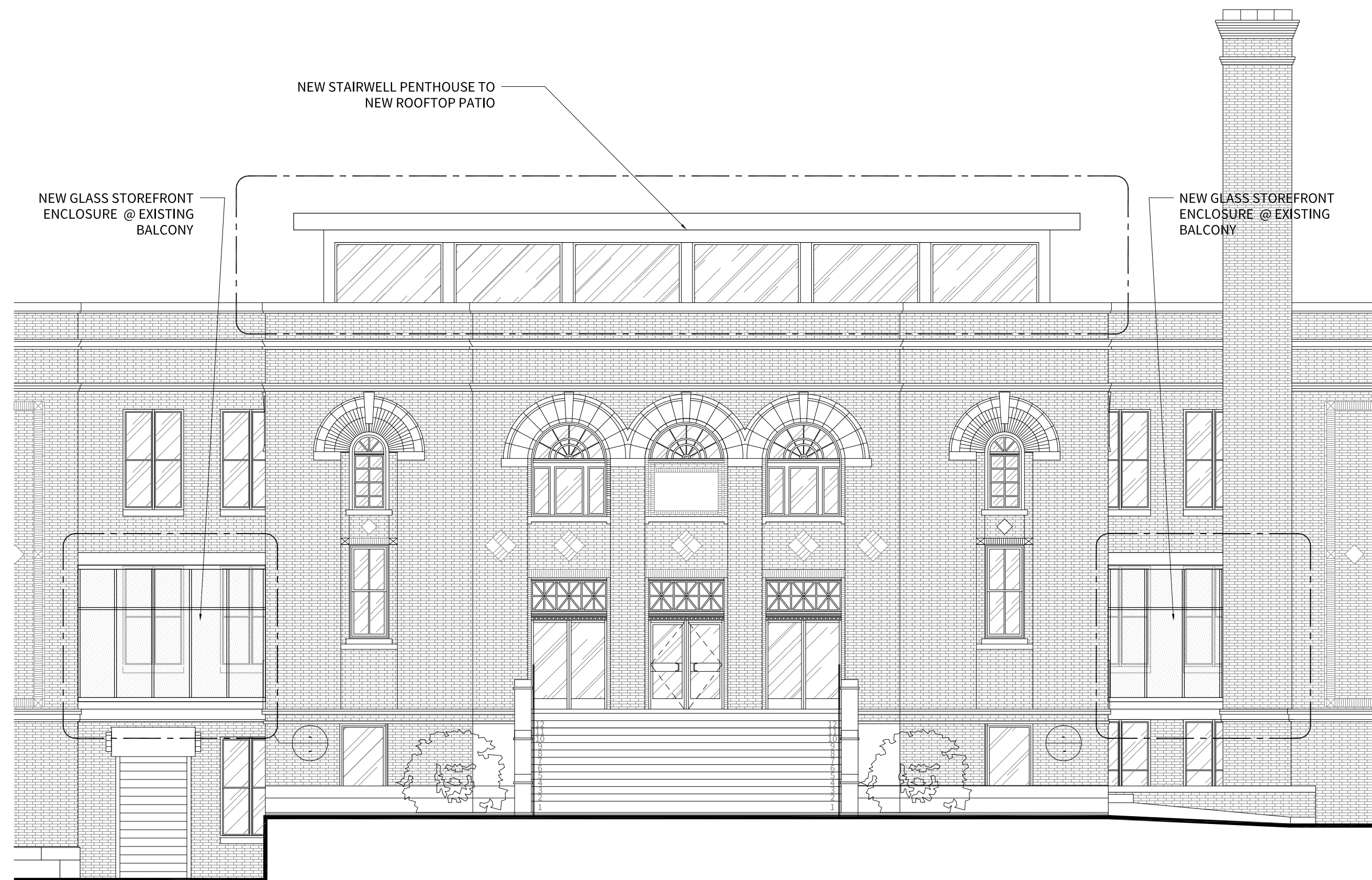
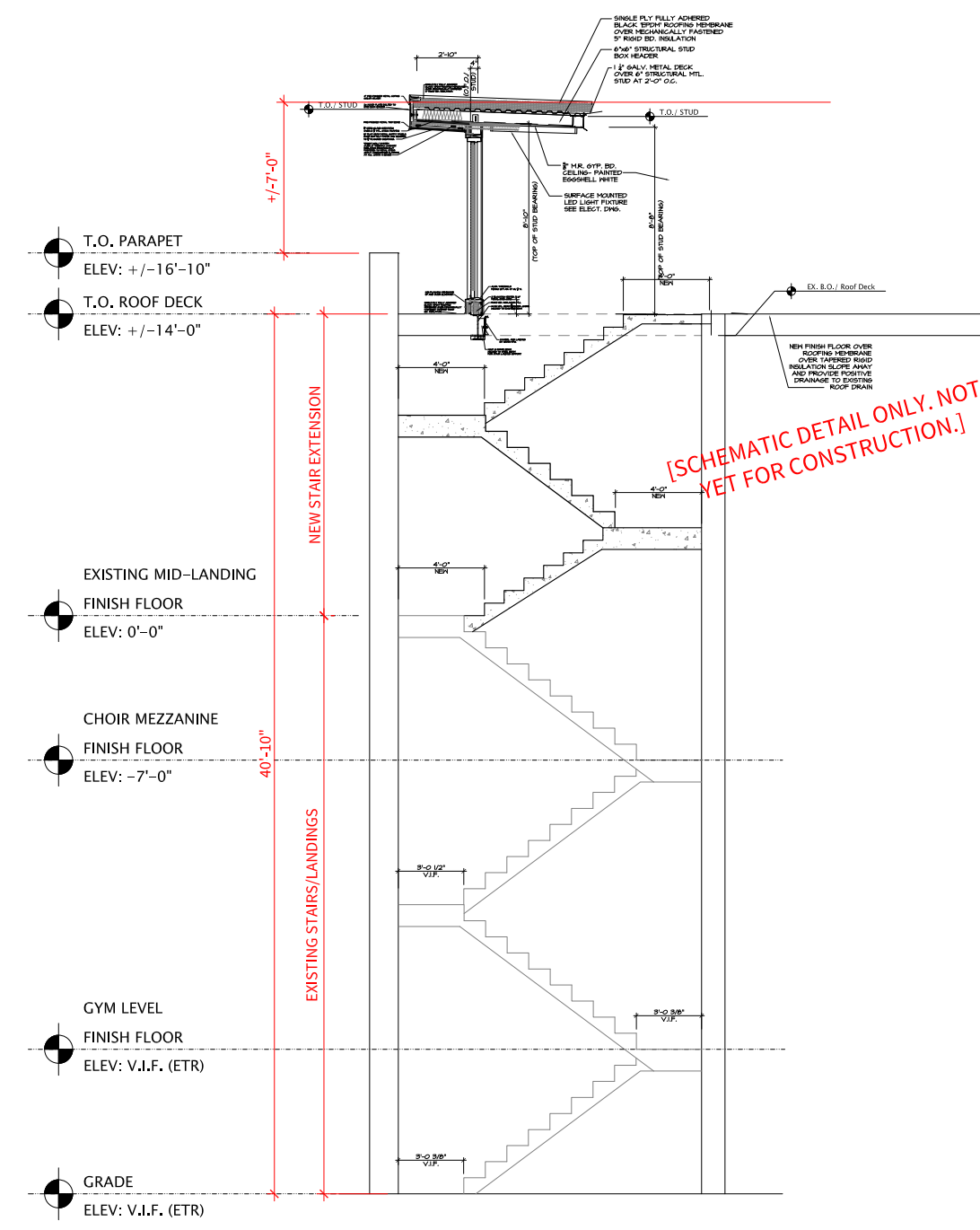
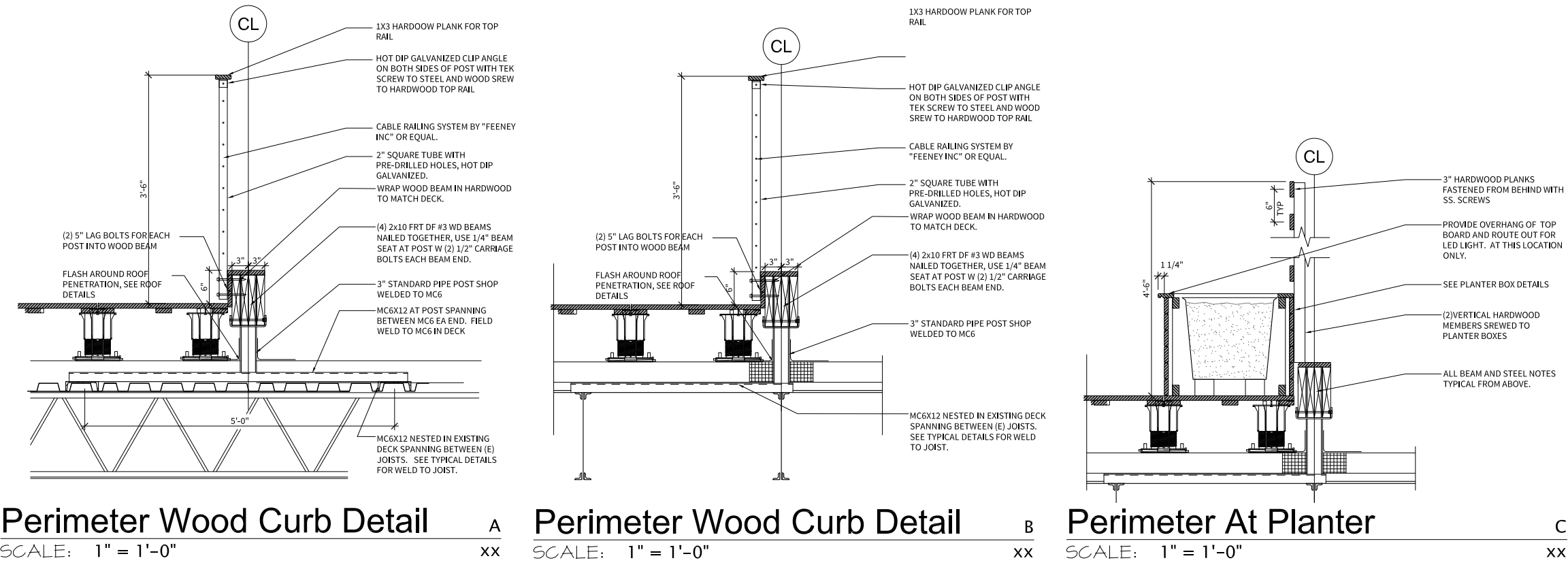
Architects+Engineers

1250 Old River Road, Suite 201

Cleveland, OH 44113-1243

www.hsbarch.com

OPTION A: PEDESTAL SYSTEM (BISON DECKING)



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HSB
ARCHITECTS + ENGINEERS
 1250 OLD RIVER ROAD, SUITE #201
 CLEVELAND, OHIO 44113
 WWW.HSBARCH.COM

GABRIEL FEY
 1717027

DATE	ISSUE
4/20/22	PRELIM REVIEW
7/27/22	CITY/PLANNING REVIEW
4/5/23	REV1-CITY/PLANNING REVIEW

DRAWN BY: GF
 JOB NO. 22104

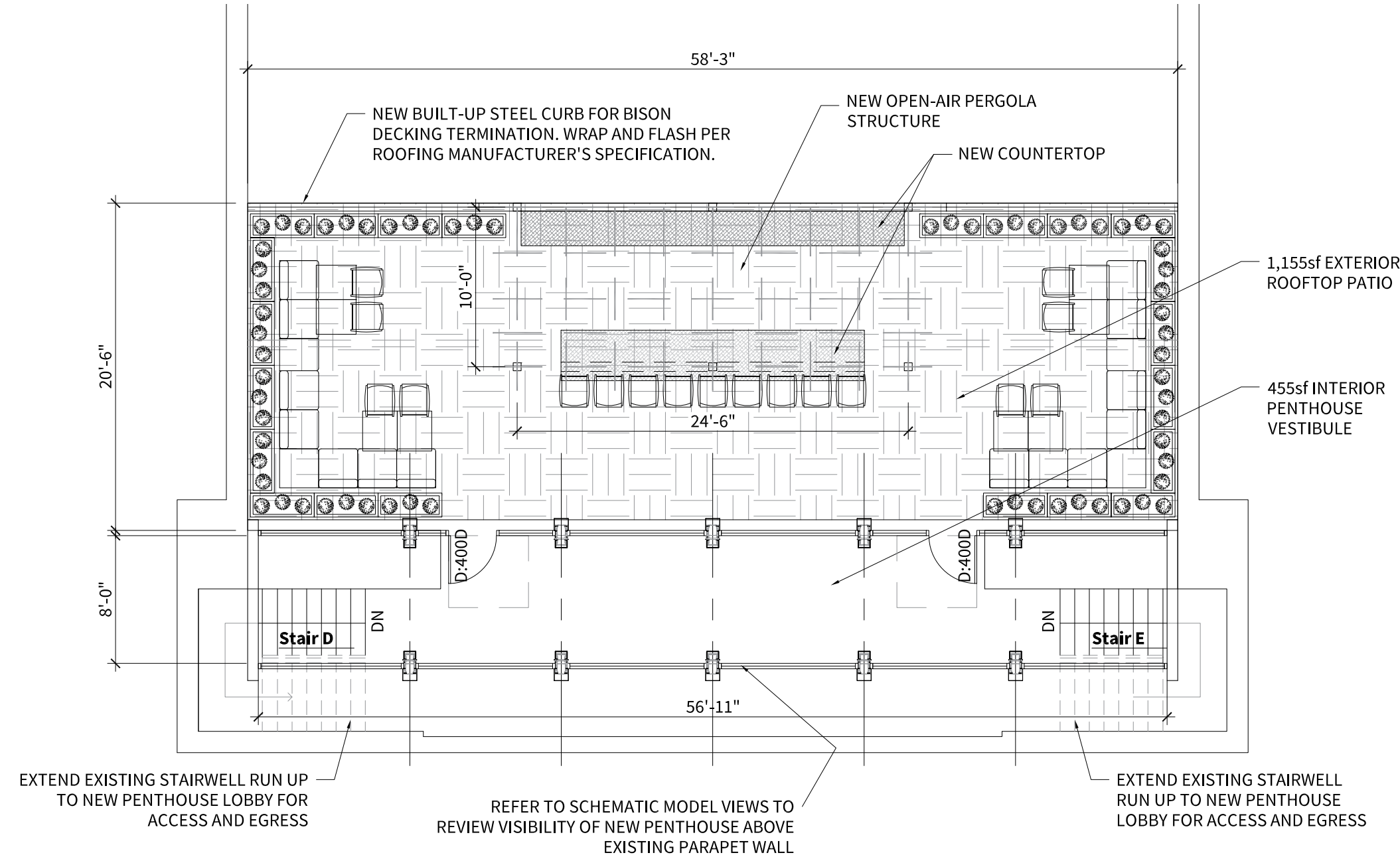
**ROOFTOP PATIO
 OSTER SERVICES
 LAKEWOOD, OH**
 17514 DETROIT AVE
 LAKEWOOD, OH 44107

PRELIMINARY ROOFTOP SCOPE REVIEW

SK-2

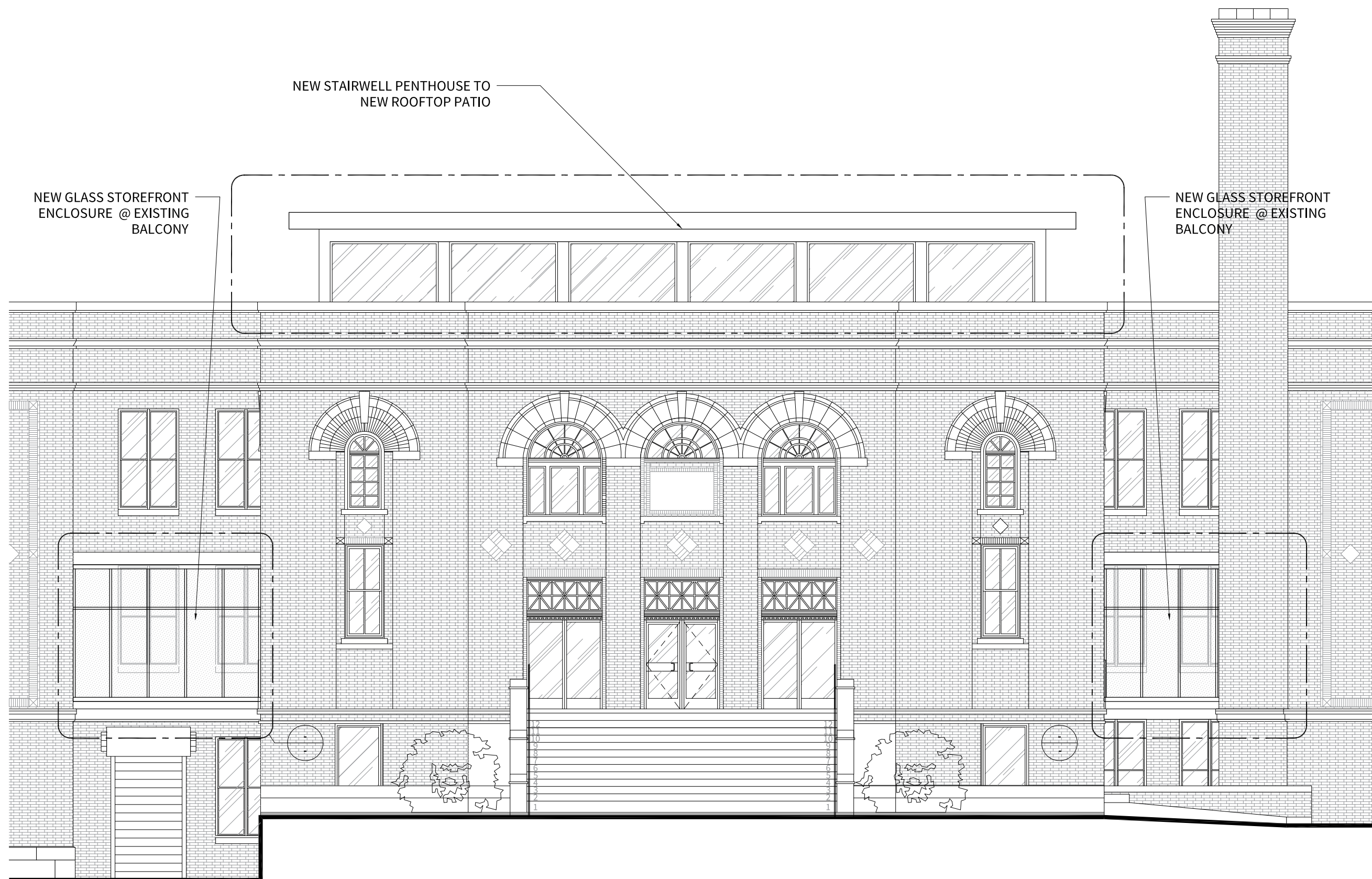


INSPIRATION + PRECEDENT IMAGES



ROOFTOP DECK FLOOR PLAN 'A'

SCALE: 3/32" = 1'-0" SK-1



SOUTH ELEVATION

SCALE: 1/8" = 1'-0" SK-1

1134.06 PROCEDURES FOR THE REVIEW OF PROPOSED ALTERATIONS, DEMOLITION AND NEW CONSTRUCTION AND FOR ISSUANCE OF APPROVAL TO PROCEED WITH WORK (CERTIFICATE OF APPROPRIATENESS).

(a) No person shall make any alteration or demolition with respect to any property designated historic that is situated in a determined HPD or has been determined an HP unless a certificate of appropriateness has been previously issued with respect to such property. With respect to any such alteration or demolition, the owner of the property to be altered or demolished shall first apply for and secure a certificate of appropriateness from the Architectural Board of Review. In addition, any improvements or changes undertaken within public rights-of-way within an HPD also require a certificate of appropriateness from the Architectural Board of Review.

(b) Unless the Commission has previously approved unique historic guidelines, the Architectural Board of Review when considering an application for a certificate of appropriateness shall determine whether the proposed construction, reconstruction, alteration or demolition is appropriate and shall refer to the Secretary of the Interior's Standards for Rehabilitation, as amended from time to time, and which on the date of the adoption of this chapter are as follows:

- (1) A property shall be used for its historic purpose or placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
- (2) The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- (3) Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
- (4) Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
- (5) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize an HP shall be preserved.
- (6) Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical or pictorial evidence.
- (7) Chemical or physical treatments, such as sandblasting, that cause damage to the historic materials and structures, if appropriate, shall be undertaken using the gentlest means possible.
- (8) Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
- (9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- (10) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and environment would be unimpaired.

(c) In the case of archeological properties, the Architectural Board of Review shall refer to the Advisory Council on Historic Preservation's Treatment of Archeological Properties: A Handbook or successor publication(s).

(d) **Approval Not Self-executing Where the Commission has Issued Unique Historic Guidelines:** When unique historic guidelines have been established, if the proposed construction, reconstruction, alteration or demolition is determined by the Architectural Board of Review to be appropriate, then the Architectural Board of Review shall approve the certificate of appropriateness, subject to a final additional review by the Commission.

(e) **Denial:** If the Architectural Board of Review determines that the proposed construction, reconstruction, alteration or demolition is inappropriate, then the Architectural Review Board shall deny the certificate of appropriateness.

(f) **Notice of Denial to Applicant:** In the event that the Architectural Board of Review denies an application for a certificate of appropriateness, the secretary of the Architectural Board of Review shall forthwith notify the applicant in writing and transmit to him/her a copy of the reasons for denial and recommendations, if any, of the Architectural Board of Review.

(g) **Effect of Denial:** Upon denying an application for a certificate of appropriateness, the Architectural Board of Review shall impose a waiting period of not exceed thirty (30) days from the date of disapproval during which the applicant may develop a compromise proposal. With respect to an application involving a demolition, the Architectural Board of Review may, at its discretion, extend the aforementioned waiting period a maximum of one (1) year from the date of disapproval. If both parties accept a compromise proposal, the Architectural Board of Review may henceforth approve a final certificate of appropriateness, unless unique historic guidelines have been adopted by the Commission and pertain, in which case any compromise must also be approved by the Commission.

(h) **Negotiations During Waiting Period for Demolition:** In the case of a denial of an application for a certificate of appropriateness for demolition:

RECENT 2021 - 2023 INTERIOR RENOVATIONS MAINTAINED (AND IMPROVED) THE HISTORIC CHARACTERISTICS OF THE BUILDING, WHILE CHANGING INTERIOR USE. THIS PROPOSED ROOFTOP PENTHOUSE AIMS TO HAVE THE SAME GOAL: MINIMAL IMPACT TO EXISTING CHARACTERISTICS OF THE BUILDING, WHILE ADDING NEW USE AT THE PENTHOUSE LEVEL.

INTENT IS TO RETAIN ALL EXISTING HISTORIC FEATURES AND MATERIALS. MAJOR IMPACT OF NEW PROPOSED WORK WOULD BE MODIFYING TPO ROOFING MATERIAL. ALL EXISTING PARAPETS, COPING, BRICK, AND ORNAMENTATION WOULD REMAIN. NEW PENTHOUSE TO BE ADDITIVE, NOT REDUCTIVE.

UPDATED PENTHOUSE DESIGN HAS BEEN MODIFIED TO AVOID MIMICRY OF ANY ORIGINAL ARCHITECTURAL FEATURES. IT ESTABLISHES A NEW SIMPLIFIED ARCHITECTURAL LANGUAGE THAT IS EASILY DISTINGUISHABLE FROM THE HISTORIC BUILDING, BUT REMAINS RESPECTFUL IN SCALE, SIZE AND MATERIALITY.

RELEVANT CODE AND ACCESSIBILTY DATA:

- SECTION 503.1.4 - OCCUPIED ROOF DOES NOT COUNT TOWARDS BUILDING HEIGHT OR AREA
- SECTIONS 1006.1, 1006.3, 1006.3.2 AND 1006.3.3 - PROPOSED DESIGN COMPLIES WITH NUMBER OF EXITS, EXIT CAPACITY WIDTH AND TRAVEL DISTANCES.
- SECTION 1009.1 - PROPOSED DESIGN PROVIDES TWO MEANS OF EGRESS VIA STAIRWAYS TO ROOF (SPRINKLED THREE STORY BUILDING). NO AREA OF REFUGE REQUIRES PER 1009.3.2 / 1009.3.3).
- SECTION 1104.4, EXCEPTION 1 - PROPOSED ROOFTOP PATIO IS LESS THAN 3,000SF. ELEVATOR NOT REQUIRED.



ST JAMES HALL

A. D.
1913

ST. JAMES HALL

A. D.
1913.

ST. JAMES SCHOOL
1913





ST. JAMES HALL

FOR GOD - MY HOME
ST. JAMES SCHOOL
1913
BY BENJAMIN B. BROWN

1913

LIFT



**PLAY LIKE
A CHAMPION
TODAY**























KOBALT

1012101 0000







STACK
COOLING - ELECTRIC







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Application Cover Page

Docket No.: 05-10-23

Reference No.: BZA23-000017

Applicant Name: Jill Brandt, Brandt Architecture

Project Address: 17909 Lake Rd.

Project Name:

Proposal: The construction of a breezeway connecting the primary structure to a new attached garage. The property is a wedge shape, and due to the shape of the lot any primary structure will fail to meet the rear yard setback requirement. The proposal does not meet the rear yard setback requirement or the combined side yard setback requirement. The rear yard must be a minimum of 40 feet and the combined side yard total must be 25 feet. The property is located in the R1L Single-Family Low-Density District Single- and Two-Family Residential District.

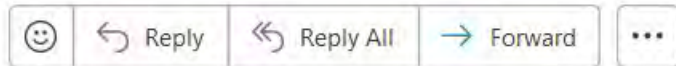
Re: FW: 17909 Lake Road




Matt Vesperman <mvesperman83@gmail.com>

To Michelle.Nohta@lakewoodoh.net

Cc Jill Brandt; Tiffany Pottmeyer



Thu 5/4/2023 8:57 AM

 You replied to this message on 5/4/2023 8:58 AM.

Good morning Michelle. We (the homeowners) consent to Jill Brant (architect) submitting the necessary documentation on our behalf.

Thank you.

-Matt Vesperman

VESPERMAN RESIDENCE

17909 LAKE ROAD

GENERAL NOTES AND SPECIFICATION

GENERAL CONDITIONS

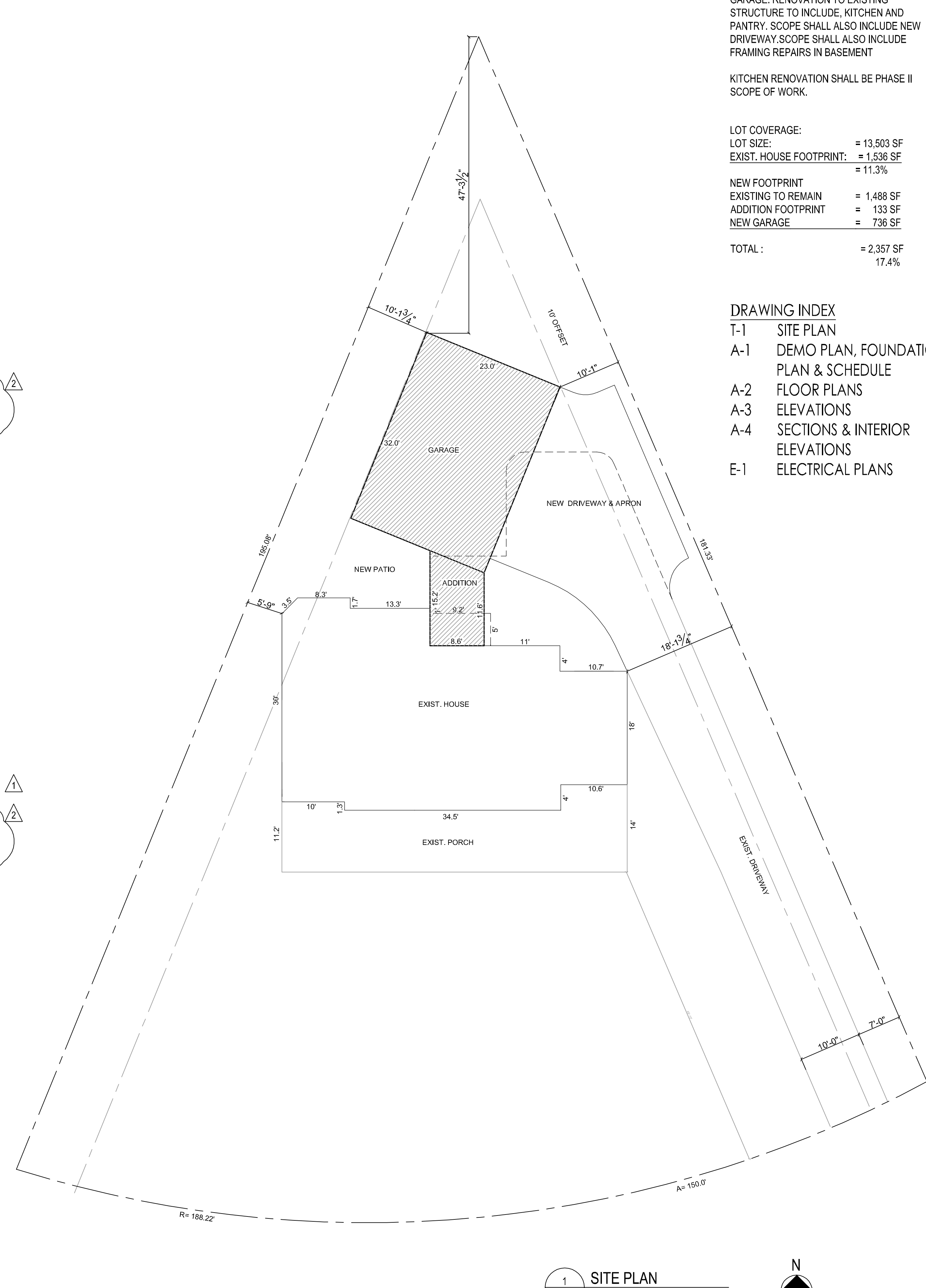
- Materials and methods of construction shall comply with all applicable local, state and federal building codes. Current issue code = RCO effective July 1, 2019.
 - Contractor to provide minimum 1 year warranty on material and labor as well as provide Owner with manufacturer's warranty where applicable.
 - All work shall be installed in compliance with manufacturers' recommended installation methods and limitations.
 - Work schedule shall be coordinated with Owner prior to the start of construction. This shall include but not be limited to the days and hours of operation, as well as estimated completion date.
 - Contractor shall be responsible for removal of debris from site at the completion of work.
 - Contractor responsible for verifying dimensions & locations of existing walls, stairs, ceiling heights etc.
 - Contractor responsible for verifying locations of existing utilities and roads.
 - Contractor shall ensure structural stability of existing building during construction. Contractor shall maintain integrity of structural, mechanical, plumbing and electrical systems of existing building where impacted by new work.
 - Contractor shall patch and repair areas impacted by new work. Finishes to match existing.
 - Contractor shall cap all electrical and plumbing lines disconnected by scope of work in these documents
 - If any unfavorable or unforeseen conditions are discovered, contractor shall bring them to Owner's attention prior to proceeding with work.
 - Base bid shall consist of manufacturers as noted on drawings and this specification. Any substitutions, i.e.; casework, windows, fixtures, hardware, siding, etc. recommended by Contractor shall be separately listed for Owner review. Substitutions shall include change in cost and schedule as well as product information or samples.
 - All submittals to be reviewed by Contractor prior to review by Owner. Submittals shall include but not be limited to cut sheets for hardware, equipment, plumbing and electrical fixtures, and color selections for finish materials.
- #### EARTHWORK
- Protect all adjacent structures, utilities, sidewalks, pavements and other facilities from damage caused by excavation, settlement, washout and any other hazards created by earthwork operations. Contractor is responsible for locating all utilities.
 - Unused excavated soil to be transported to on site location as designated by Owner.
 - Prevent surface water and ground water from entering excavations or flooding Project site and surrounding area.
 - Excavate to ensure footings and foundations bear on undisturbed soil. If soil is found to be insufficient bearing, Contractor shall notify Owner and Engineer prior to proceeding with work.
 - Backfill at foundations to within 12" of finish grade with #57 gravel fill.
 - Provide termite control methods per section 318 of RCO.
 - Utility trenches shall be excavated to provide uniform width and working clearance around utility line. Back fill w/ sand then soil.
 - At areas to receive concrete slab, install

- minimum 4" #57 limestone over compacted soil.
- Contractor to finish grade site effected by work. Provide smooth transition between adjacent grades. Slope away from building Owner shall seed and landscape.
- #### CONCRETE
- Concrete slab at building shall be Portland Cement ASTM C 150 Type 1 cement. Concrete to have a minimum cement content of 564# / cu yd, a maximum water to cement ratio of 0.53 and obtain a minimum strength of 4,000 psi at 28 days. (unless noted otherwise - u.n.o.)
 - All garage slabs and exterior slabs shall have a minimum strength of 4,000 psi.
 - All reinforcing steel shall conform with astm #615, 60 ksi yield.
 - Trowel finish for interior concrete and broom finish for exterior concrete. Comply with ASTM C 94 for mixing, delivery and testing.
- All reinforcing steel, anchor bolts, plumbing & electrical sleeves shall be placed prior to pouring concrete.
 - Cut joints for all slabs on grade shall be a maximum of 12'-0" O.C., unless otherwise noted. All cuts shall be made 8 hours after placing concrete.
 - At all expansion joints, install backer rod and sealant.
- #### REINFORCING STEEL
- Reinforcing bars shall comply with the ACI code, ASTM A615, grade 60 U.N.O.
 - Lap all horizontal bars at corners and intersection.
 - Dowel all vertical rebar to foundations.
- #### MASONRY
- Construct all masonry walls in accordance with ACI 530.
 - Foundations walls shall be standard 12x8x16 & 8x8x16 masonry units as shown on plans.
 - Mortar for reinforced masonry and load bearing walls shall be type S. Non-bearing walls shall use Type N.
 - Grout solid minimum 2 courses (16") below beam bearing.
 - Apply 1/2" min. cement parging from the bottom of the footing up the foundation wall to grade with 1 coat of ironite waterproofing and 1 coat asphaltic emulsion over parging
 - Provide pipe sleeves for any through wall penetrations per OPC 305.
 - Brick shall be standard in size, texture, color and variation to match existing. Provide 3 samples for owner approval.
 - Mortar Color tinted to match.
 - Brick shall be installed in running bond pattern with color distribution.
 - Provide metal ties vertically every 24" O.C.
 - Weep screeds shall be installed according to manufacturer's recommendations. Weeps screeds shall have a minimum 3.5" flange installed under the Tryme/ water resistant barrier.
- #### FRAMING
- All framing shall be Southern Yellow Pine species #2 grade or better.
 - LVL's shall be Boise Cascade 2.0E GP Lam LVL or equal.
 - Where multiple plies of LVL are used, beams shall be nailed with 3 rows of min. 3" 10d nails, 12" O.C. If three or more plies are used, beams shall be nailed on both sides, staggered. Follow manufacturer's recommendation for alternate fasteners.

- Plywood shall be standard PS-1 and OSB shall be standard PS-2
 - All exposed lumber or lumber in contact with concrete or masonry shall be ppt (u.n.o.)
 - All preservative pressure treated (ppt) lumber shall be southern pine #2.
 - rovide blocking at mid span of joists exceeding 2x12.
 - Provide bridging or lateral support between rafters and ceiling joists greater than 2x10 at point of bearing.
 - Any necessary holes or notching in load bearing studs shall be in accordance with section 602.6 of RCO.
 - Any necessary holes in load bearing top plates shall be in accordance with section 602.6 of the RCO, provide min. 16 ga. strap 1.5" wide and min. 16" long at notch.
 - Provide fire blocking at exterior walls between stories, at stairs, soffits, openings and vents between floors, at chimneys and other locations outlined in section 302.11 of the RCO.
 - Provide draftstopping in floor/ ceiling locations as outlined n section 302.12 of the RCO..
- #### DOORS AND HARDWARE
- Provide 2'-6"x 6'-8"x 1 3/8" solid core wood door unless otherwise noted on plan. Panel size and pattern selected by owner. Doors shall be primed and painted. Color selected by Owner. Door shall be hung level and true.
 - Exterior doors to have screen door with storms, glazing & lock. Coordinate keying with Owner.
 - Exterior doors shall be Fiberglass Pella, Thermo Tru or Owner approved equal.
- #### WINDOWS
- Windows shall be Pella 250 vinyl double low e glass. Windows shall be double hung & awning with screens, traditional grilles and locks. Windows shall have black finish. Alternates shall be Andersen, or Owner approved equal.
 - Exterior windows and sliding doors shall be tested by an independent laboratory and bear a label identifying manufacturer, performance characteristics and approved inspection agency to indicate compliance with AAMA/WDMA/CSA 1011.5.2/A440.
 - Windows shall meet standards for wind design loads per section 301.2 of RCO.
- #### EXTERIOR FINISHES
- True cedar siding to match existing.
 - Roof shingles shall be GAF Timberline "Natural Shadow". Color and texture to be selected by Owner.
 - Metal roof to be 26 ga. steel, 36" wide panel with 3/4" rib Classic rib pattern by ABC or Owner approved equal. Standard color to be selected by Owner.
 - Install self sealing hip and ridge cap shingle matching the color of selected roof shingle.
 - Eave and ridge vents must supply open space for ventilation of not less than 1 to 150 of the area which they are ventilating, provide corrosion-resistant screening over openings as per the details and notes in these construction documents or contact the designer.

- Provide #30 Roofing Underlayment
 - Provide ice & water shield minimum 5'-0" up from all eaves and valleys and 2'-0" up from walls where abutting roof. Install per manufacturer's recommendation.
 - Exposed flashing shall be pre-finished metal flashing 24 gauge hot-dip galvanized steel sheet, complying with ASTM A 653/A 653M, G90/Z275.
 - Concealed flashing shall be self-adhesive membrane type flashing.
 - Where applicable, flashing shall extend min. 6" up wall and behind vapor barrier to prevent water entry.
 - Flashing shall be installed in a shingle style or overlapping to prevent water entry.
 - At valleys install eaves protection membrane at least 36 (914mm) inches wide and centered on the valley. Lap ends 6 inches (152mm) and seal.
 - Install 5" K style seamless aluminum gutters with 3" downspouts. Install all necessary endcaps, brackets, screws, elbow and joints. Install per manufacturer's recommendation. Gutter to be white, downspouts to match siding.
- #### INSULATION
- Provide batt insulation as indicated in building & wall sections.
 - All insulation R values shall meet or exceed minimum standards outlined in RCO.
 - Acceptable manufacturers for batt insulation shall be Owens Corning, Certainteed, John's Manville or Owner approved equal.
- #### INTERIOR FINISHES
- Gypsum Board shall be ASTM C 36, regular 1/2" and 5/8" type "x" with tapered edges, as indicated in drawings
- #### MECHANICAL, ELECTRICAL & PLUMBING
- All Kitchen equipment to be purchased by Owner and installed by Contractor. Contractor responsible for coordinating plumbing and electrical requirements for kitchen equipment. Owner shall provide equipment cut - sheets 1 week prior to delivery.
 - Electrical contractor to verify capacity of existing electric panel. Notify owner of any unnecessary upgrades in bid.
 - Provide new electrical wiring, outlets, junction boxes etc. throughout addition.
 - Coordinate light fixture locations with Owner. Coordinate switching with existing switch and fixture locations.
 - Plumbing systems to connect to existing domestic supply & wastelines. Contractor to notify Owner of any necessary upgrades in existing systems and include work in base bid.
 - Provide pipe protection for exterior plumbing line sand utilities per OPC 305.
 - Plumbing contractor to provide isometric of system upon request of the City prior to pulling permits.
 - Plumbing fixtures by Owner Acceptable manufacturers shall be Moen, Kohler, Delta.
 - Provide mini-split HVAC system fair mudroom. HVAC contractor to size.
 - Provide ducting to condition crawl space below. Conditioned air supply shall be sized to deliver at a rate of 1 cu ft/ min (0.47 L/s) for each 50 sf of under floor area, including a return air pathway to the common area (duct or transfer grille).
 - Schedule provided by HVAC contractor.

- All finish colors and materials to be selected by Owner.
 - Kitchen countertops to be granite. Alternate: quartz. Color & texture to be selected by Owner.
 - Cabinetry design by others.
 - Provide allowance for tile where noted on plan. Tile and grout selection by Owner. Tile 1 mudroom 12x12 ceramic
 - Provide concrete substrates with dry-set or latex-portland cement mortar.
 - Trowel level, free of any bumps and protrusions.
 - Install tile under counters and equipment to provide complete floor covering without interruption.
 - Lay tile in grid pattern on floor and brick pattern on walls unless otherwise indicated verify layout with Owner prior to installation.
 - Accurately form intersections and evenly space joints.
 - Grout tile completely per grout manufacturer's recommendations. Clean tile after grouting
 - Toilet room accessories: mirror, soap, towel and toilet paper holders shall be provided by Owner and installed by contractor.
 - Provide continuous guardrails at stairs and walking surfaces greater than 30" above finish floor or grade. Guard rails shall be minimum 36" high. Spacing of railing shall not allow passage of a 4" diameter sphere. Guardrails shall comply with RCO sections 312.3-312.3 and 311.7.8.
- #### MANUFACTURERS shall be Benjamin Moore, Sherwin Williams.



SCOPE OF WORK:
869 SF ADDITION TO EXISTING RESIDENTIAL STRUCTURE TO INCLUDE MUD ROOM & GARAGE. RENOVATION TO EXISTING STRUCTURE TO INCLUDE, KITCHEN AND PANTRY. SCOPE SHALL ALSO INCLUDE NEW DRIVEWAY. SCOPE SHALL ALSO INCLUDE FRAMING REPAIRS IN BASEMENT

KITCHEN RENOVATION SHALL BE PHASE II SCOPE OF WORK.

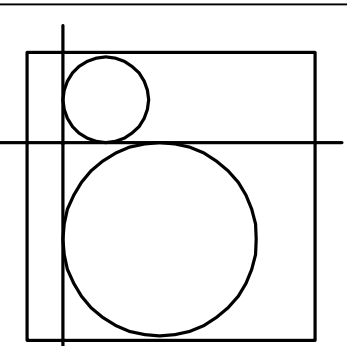
LOT COVERAGE:
LOT SIZE: = 13,503 SF
EXIST. HOUSE FOOTPRINT: = 1,536 SF
= 11.3%

NEW FOOTPRINT
EXISTING TO REMAIN = 1,488 SF
ADDITION FOOTPRINT = 133 SF
NEW GARAGE = 736 SF

TOTAL: = 2,357 SF
17.4%

DRAWING INDEX

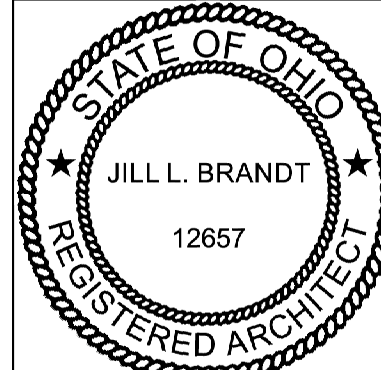
T-1	SITE PLAN
A-1	DEMO PLAN, FOUNDATION PLAN & SCHEDULE
A-2	FLOOR PLANS
A-3	ELEVATIONS
A-4	SECTIONS & INTERIOR ELEVATIONS
E-1	ELECTRICAL PLANS



BRANDT ARCHITECTURE, LLC

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440.865-1824
brandtarchitecture.com

9/6/22 REVIEW
9/23/22 BID/ PERMIT
4/5/23 REVISIONS
4/19/23 REVISIONS



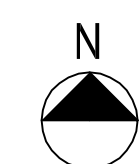
Jill L. Brandt
OH #12657
EXP 12/31/23

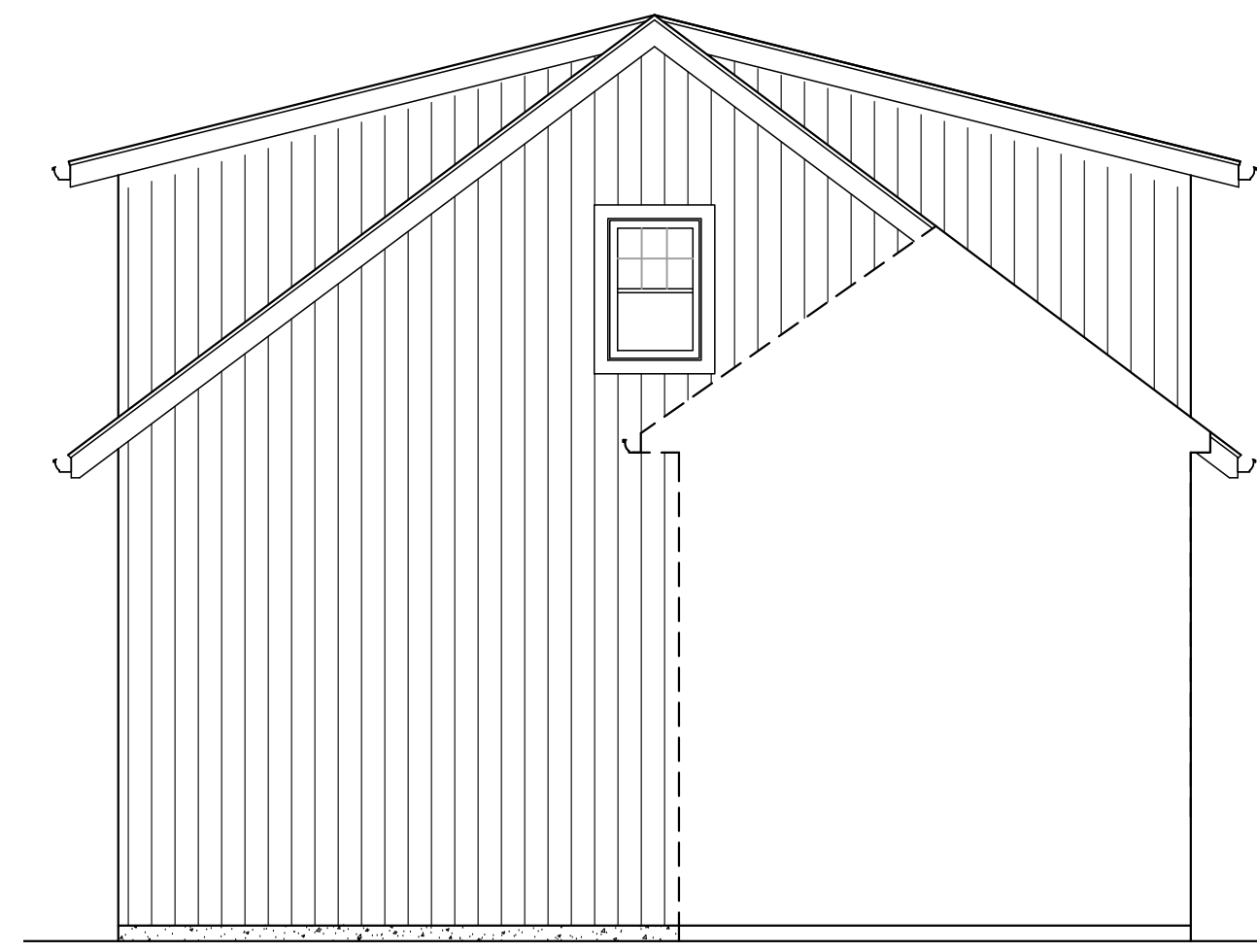
THE VESPERMAN RESIDENCE
17909 LAKE RD.
LAKEWOOD, OHIO 44107

TITLE PAGE

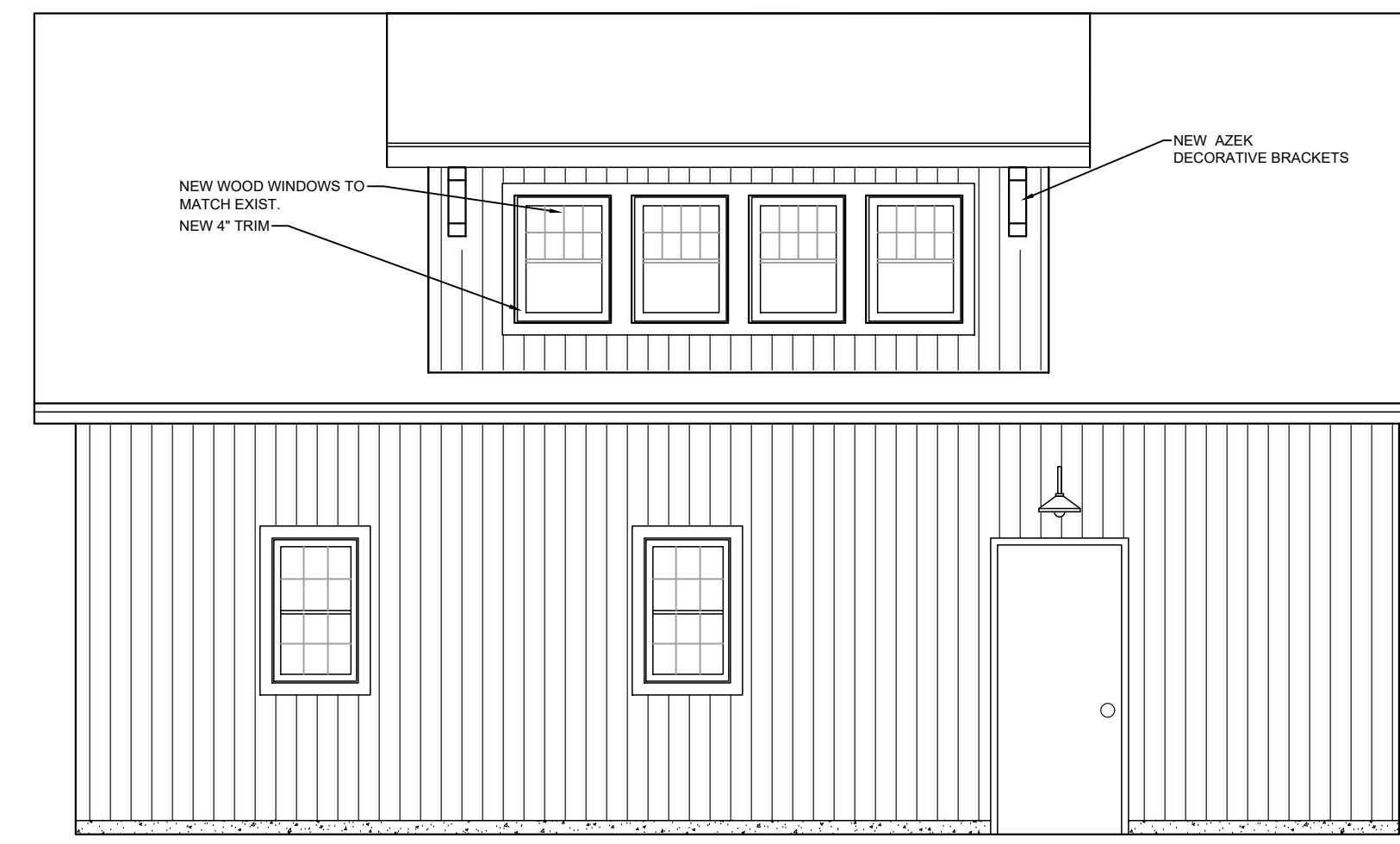
T-1

1 SITE PLAN
T-1 SCALE: 1" = 10'-0"

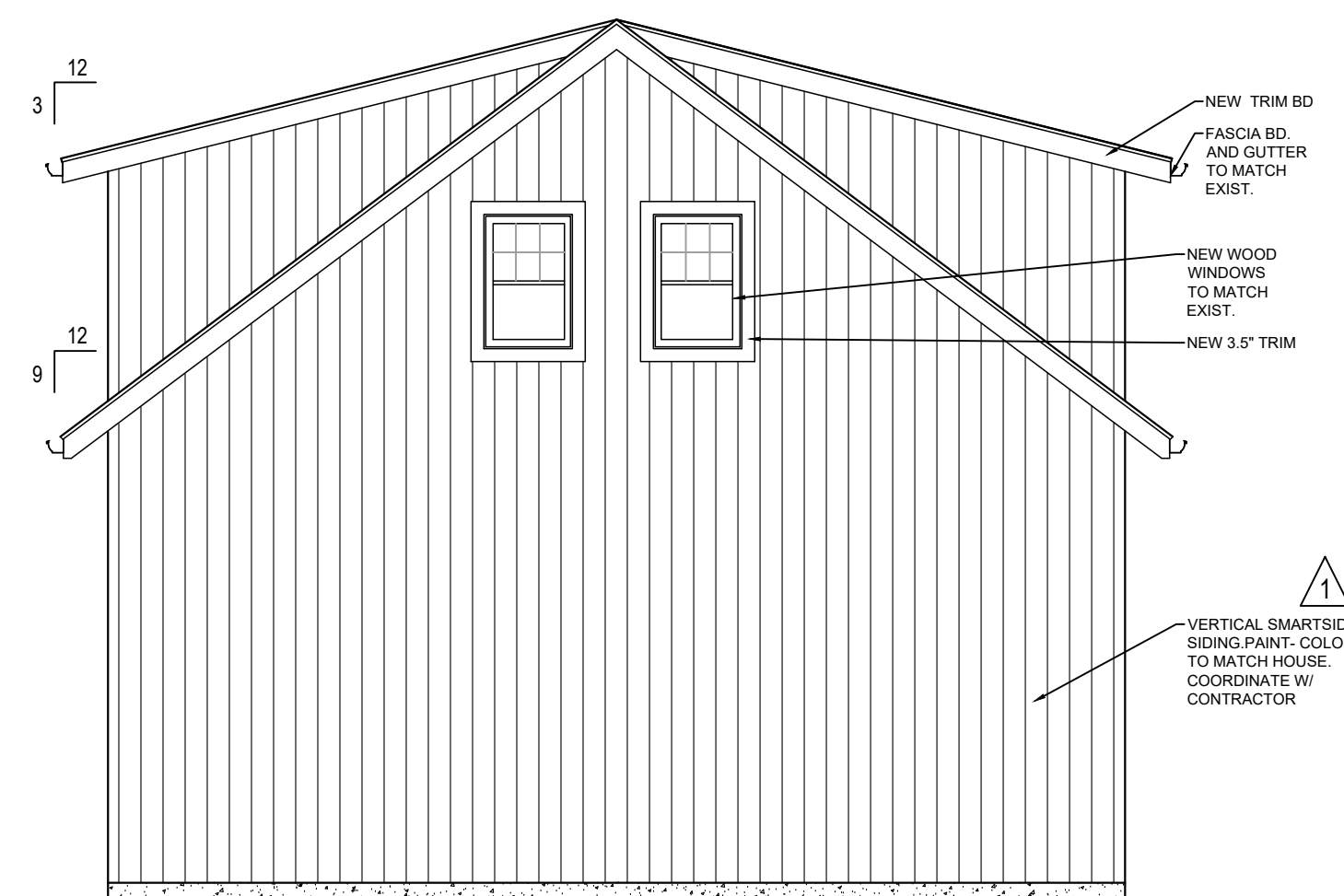




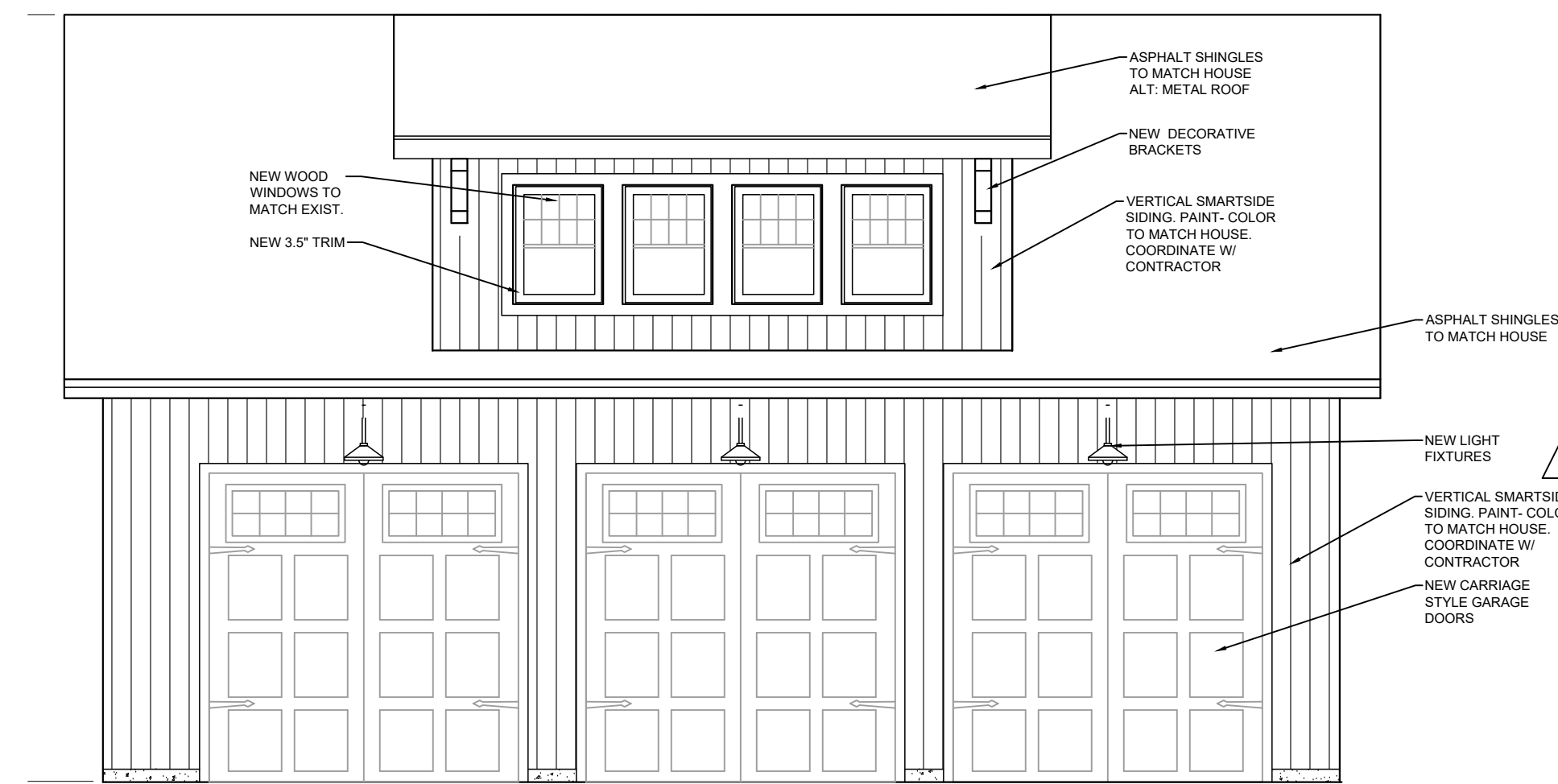
1 SOUTH ELEVATION
A-3 SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
A-3 SCALE: 1/4" = 1'-0"



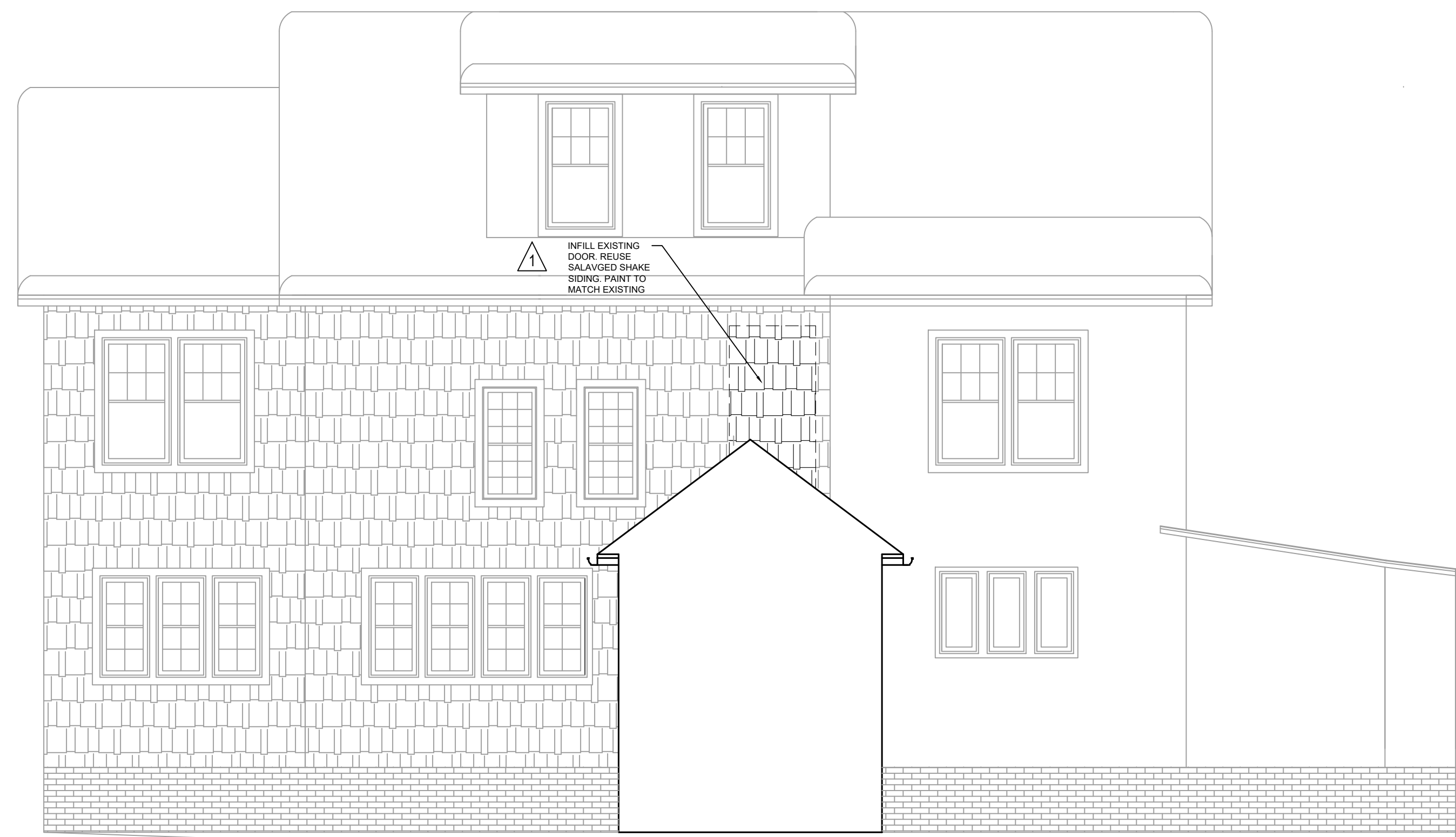
3 NORTH ELEVATION
A-3 SCALE: 1/4" = 1'-0"



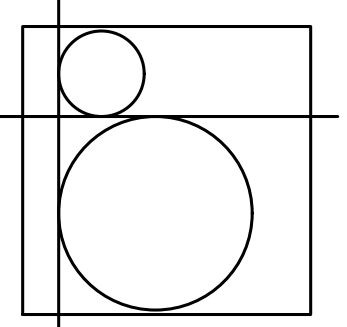
4 EAST ELEVATION
A-3 SCALE: 1/4" = 1'-0"



5 FULL ELEVATION
A-3 SCALE: 1/4" = 1'-0"



6 FULL ELEVATION
A-3 SCALE: 1/4" = 1'-0"



BRANDT
ARCHITECTURE, L.L.C.

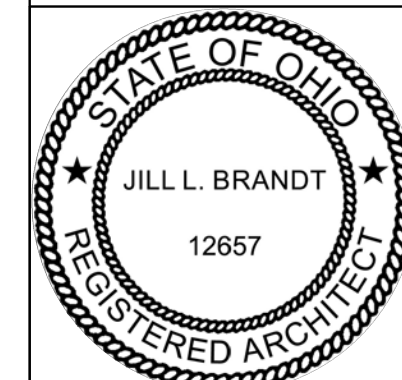
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ELEVATIONS

A-3