

**AGENDA  
BOARD OF ZONING APPEALS  
CITY OF LAKEWOOD  
12650 DETROIT AVENUE  
OCTOBER 19, 2023**

**PRE-REVIEW MEETING  
6:00 P.M.  
EAST CONFERENCE ROOM**

**REVIEW MEETING  
6:30 P.M.  
AUDITORIUM**

1. ROLL CALL
2. APPROVE MINUTES OF THE SEPTEMBER 21, 2023 MEETING
3. OPENING REMARKS

**NEW BUSINESS**

4. **Docket No. 10-14-23  
1507 Cohassett Ave.**

Applicant Alli Moazezi, property owner proposes the addition of lattice to the top of his existing 6-foot-tall fence increasing it to an 8 foot height. As constructed/proposed, the fence requires two (2) variances. The property is located in the R2, Single-and Two-Family District. (Page 3)

- Variance 1: Request a variance to exceed maximum permitted fence height. Existing fence is 6 ft., and the additional height requires a variance to exceed maximum permitted height by 2 ft. Pursuant to section 1153.04 (a) ADDITIONAL FENCE REGULATIONS
- Variance 2: Request a variance to add to the top of a fence a lattice that does not conform to accepted fence material and does not display the finished side facing the adjacent property. Pursuant to section 1123.09 (c) MAXIMUM LOT AREA COVERAGE.

5. **Docket No. 10-15-23  
2028 Chesterland Ave.**

Applicant Martin Kiss, property owner proposes the demolition of an existing detached garage and the construction of a new 484 sq. ft detached garage. The garage will exceed the permitted lot coverage, maximum permitted rear lot area coverage is 480 square feet. The property is located in the R2, Single-and Two-Family District. (Page 10)

- Variance 1: Request a variance to exceed maximum permitted lot coverage of an accessory structure by 4 square feet, as proposed. Pursuant to section 1123.09 (c) MAXIMUM LOT AREA COVERAGE.

**6. Docket No. 10-16-23**  
**12534 Lake Ave.**  
**Shady Cove Townhouses**

Applicant Tyler Brummett of Brookside Shady LLC proposes the construction of 16 townhouses. The proposal requires a total of three (3) variances. The property is located in the MH, Multi-Family High Density District. (Page 33)

- Variance 1: Rear yard requirement is 75% of the building height but not less than 50 feet on interior lines. The proposed setback is 20 feet. Request a variance to place buildings at 20 feet from the rear property line, as proposed. Pursuant to section 1127.07 MINIMUM YARD REQUIREMENTS (Ord. 91-95. Passed 10-7-1996.)
- Variance 2: Side yard requirement is 75% of the building height but not less than 20 feet on interior lines. The proposed setback is 6 feet. Request a variance to place buildings at 6 feet from the side property line, as proposed. Pursuant to section 1127.07 MINIMUM YARD REQUIREMENTS (Ord. 91-95. Passed 10-7-1996.)
- Variance 3: Permitted lot coverage requirement is 25% of the primary lot, proposed covers 45% of the lot (13,600 sq. ft.). Request a variance to exceed the maximum lot coverage, as proposed. Pursuant to section 1127.09(a) MAXIMUM LOT COVERAGE (Ord. 91-95. Passed 10-7-1996.)

**ADJOURN**

*“Individuals with disabilities, who require accommodations for participation in meetings, must request accommodations at least 3 business days ahead of the scheduled meeting. Contact [Michelle Nochta at \(216\) 529-5906 michelle.nochta@lakewoodoh.net](mailto:michelle.nochta@lakewoodoh.net).”*



BOARD OF ZONING APPEALS

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## Application Cover Page

**Docket No.: 10-14-23**

**Reference No.: BZA23-000030, BZA23-000039**

**Applicant Name: Alli Moazezi, Property Owner**

**Project Address: 1507 Cohasset Ave.**

**Project Name:**

**Proposal: The addition of lattice to the top of his existing 6-foot-tall fence increasing it to an 8 foot height. As constructed/proposed, the fence requires two (2) variances. The property is located in the R2, Single-and Two-Family District.**

## Johanna Schwarz

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**Subject:** FW: More information needed 1507 Cohasset BZA Application

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**From:** Ali Moazezi <amoazezi46@yahoo.com>  
**Sent:** Tuesday, September 12, 2023 4:02 PM  
**To:** Michelle Nochta <Michelle.Nochta@lakewoodoh.net>  
**Subject:** Re: More information needed 1507 Cohasset BZA Application

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Dear Ms. Michelle Nochta,

Hello,

The lattices are 4' by 8' and are attached to my existing 6' fence and are 2' feet taller than my fence.

Please let me know if there's more information needed.

Sincerely yours,  
Alli Moazezi  
1507 Cohasset Ave  
Lakewood, Oh 44107  
216-337-0466  
Sent from my iPhone

On Sep 12, 2023, at 2:28 PM, [michelle.nochta@lakewoodoh.net](mailto:michelle.nochta@lakewoodoh.net) wrote:

Hi Mr. Moazezi,

More information is needed to review your applicaiton. How high from the fround are the lattices? Are they attached to an exisiting fence- if so how tall is the fence?

Please provide some photos as well as the the hieght of the lattices, whether they are attached to the top of the fence or separate from the fence, and how wide each panel is.

Please call or email with any quesitons.

Thanks,

Michelle Nochta, AICP  
Senior Planner and ADA Coordinator - Planning and Development  
City of Lakewood  
Department of Planning & Development

12650 Detroit Avenue  
Lakewood, Ohio 44107

(216) 529-6630 main  
(216) 529-5906 office

[www.lakewoodoh.gov](http://www.lakewoodoh.gov)

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<Picture1.png>

<Picture1.png>











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## Application Cover Page

**Docket No.: 10-15-23**

**Reference No.: BZA23-000031**

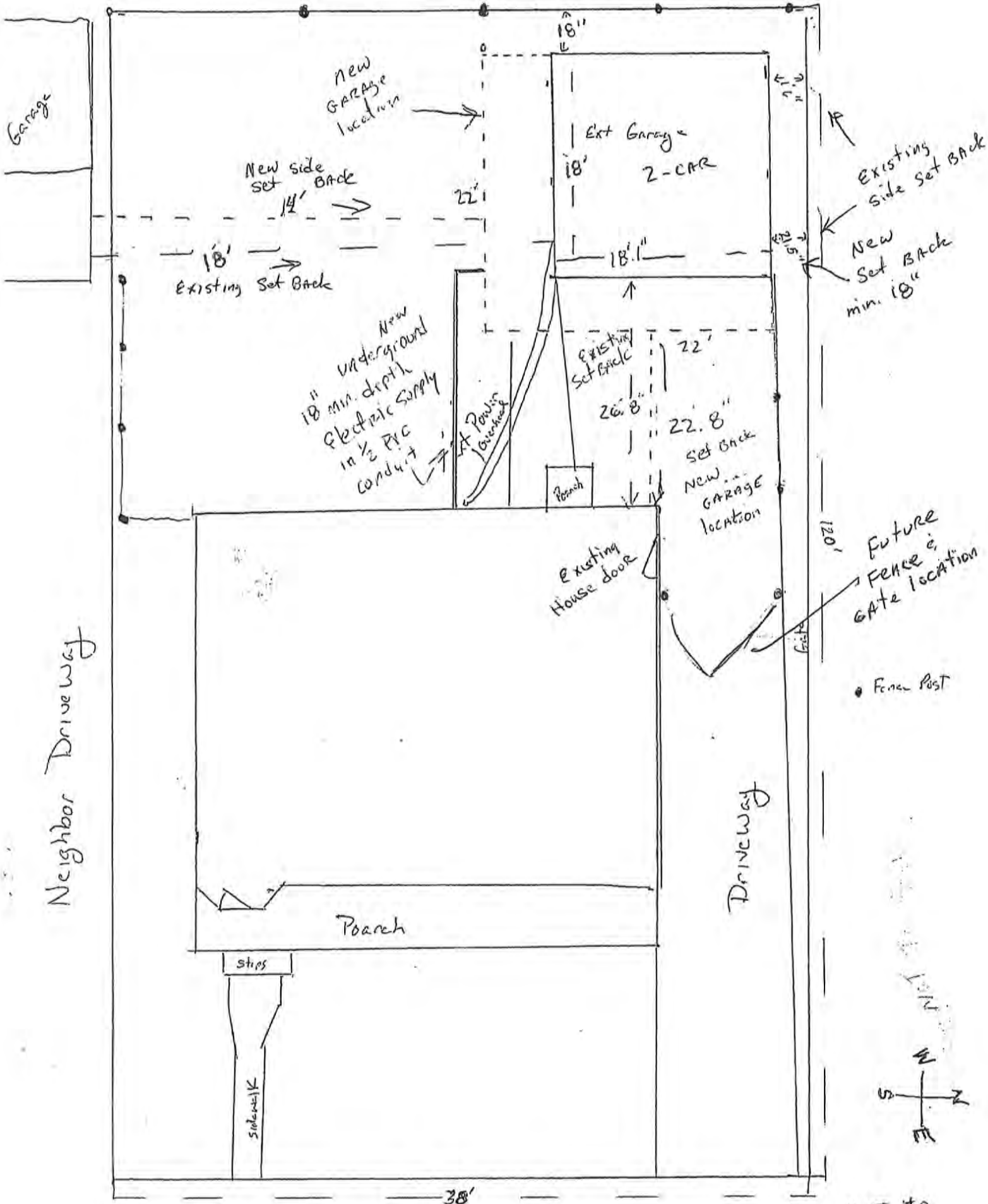
**Applicant Name: Martin Kiss, Property Owner**

**Project Address: 2028 Chesterland Ave.**

**Project Name:**

**Proposal: The demolition of an existing detached garage and the construction of a new 484 sq. ft detached garage. The garage will exceed the permitted lot coverage, maximum permitted rear lot area coverage is 480 square feet. The property is located in the R2, Single-and Two-Family District.**





NOT to Scale

# PLAT OF BOUNDARY SURVEY OF 2028 & 2030 CHESTERLAND AVENUE LAKEWOOD, OHIO KNOWN AS PPN'S 315-18-120

SITUATED IN THE CITY OF LAKEWOOD, COUNTY OF CUYAHOGA AND STATE OF OHIO AND KNOWN AS BEING SUBLOT NUMBER 122 IN THE LAND AND HOME CO'S SUBDIVISION NO. 1 OF PART OF ORIGINAL ROCKPORT TOWNSHIP SECTION NO. 20 AS SHOWN BY THE RECORDED PLAT IN VOLUME 60, PAGE 37 OF CUYAHOGA COUNTY MAP RECORDS.



BEARINGS BASED ON AN ASSUMED MERIDIAN AND SHOULD BE USED TO DENOTE ANGLES ONLY

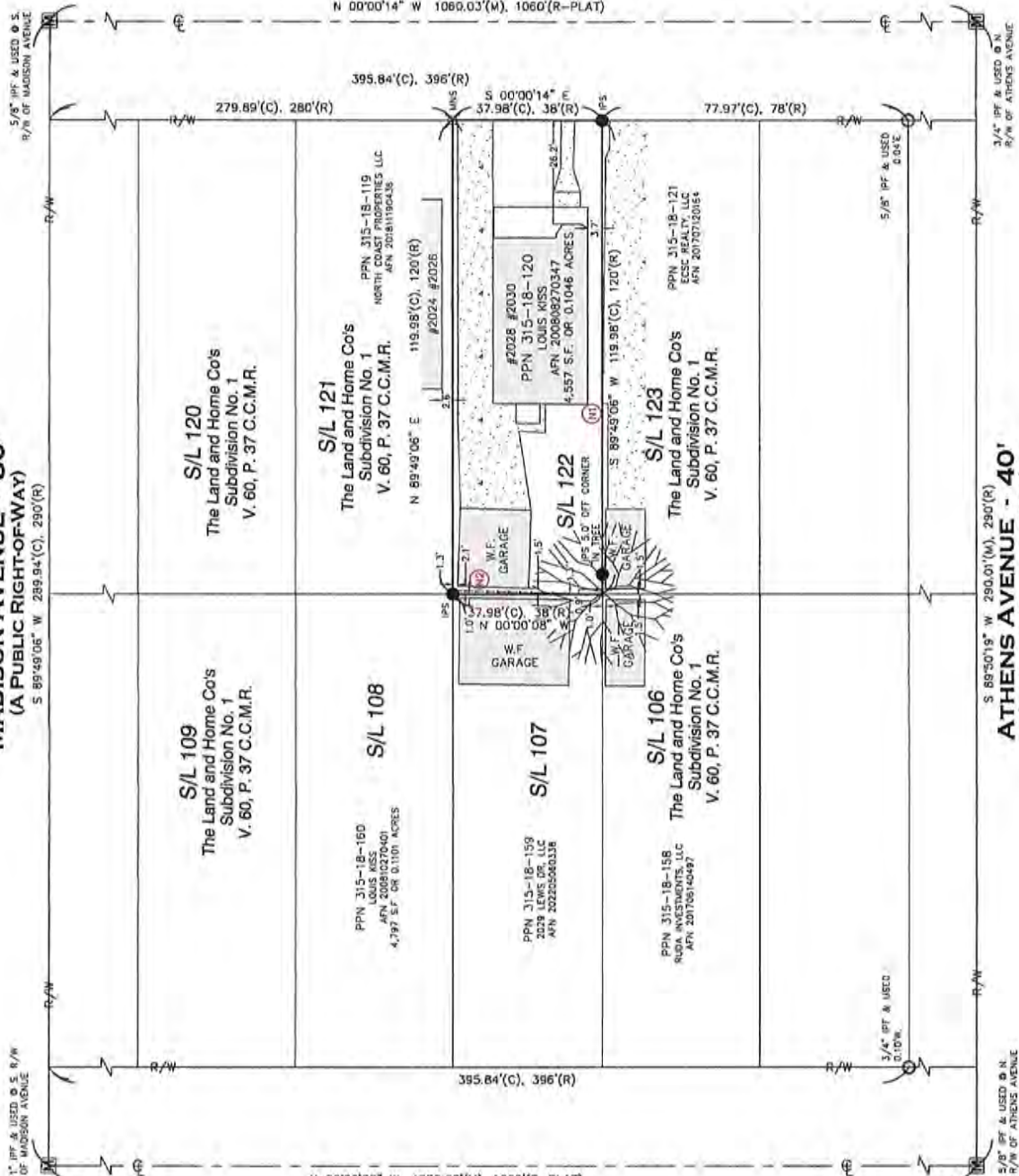


## CHESTERLAND AVENUE - 50' (A PUBLIC RIGHT-OF-WAY)

## MADISON AVENUE - 80' (A PUBLIC RIGHT-OF-WAY)

## ATHENS AVENUE - 40' (A PUBLIC RIGHT-OF-WAY)

## LEWIS DRIVE - 50' (A PUBLIC RIGHT-OF-WAY)



JOB NO.	22167C
TITLE	LOUIS KISS
SCALE	SCALE T-30
DRAWN BY	S.K.C.
FIELD NO. & DATE	11/17/22

**Casey Professional Services, LLC**  
185 Halden Avenue, Cleveland, OH 44109  
265-781-8484 office & fax, 265-294-9555 mobile  
www.caseypro.com

I HEREBY CERTIFY THAT THE BOUNDARIES SHOWN HEREON ARE THE RESULT OF A SURVEY DONE BY MYSELF ON NOVEMBER 30, 2022. THIS BOUNDARY ATTACHMENT SURVEY IS IN ACCORDANCE WITH THE OHIO ADMINISTRATIVE CODE CHAPTER 4733-37.

SCOTT J. CASEY  
11/8/2022



ACRES	AUTODR. FILE NUMBER	FACE
AN	CHL	PERMANENT/ANCEL
AC	CHL	NUMBER
AC	CHL	RIGHT-OF-WAY
AC	CHL	SOUTH
AC	CHL	S.F.
AC	CHL	SQ. FEET
AC	CHL	VOL
AC	CHL	VOLUME
AC	CHL	VEST
AC	CHL	WEST
AC	CHL	MONTH

**SURVEY NOTES:**  
N1 = ADJACENT CONCRETE DRIVE CLEARANCE PROPERTY LINE 0.2'  
N2 = OLD WOODEN WIRE FENCE LIES 0.8' EAST OF PROPERTY LINE



DIVISION OF HOUSING AND BUILDING  
 12650 DETROIT AVENUE LAKEWOOD, OHIO 44107  
 PHONE (216) 529-6270 FAX (216) 529-5930  
 Email: building.permits@lakewoodoh.net

**Application for Residential Plan Approval**

For projects subject to the provisions of the Residential Code of Ohio, including detached one-, two-, and three-family dwellings and structures accessory to those dwellings except as indicated by RCO section 101.2, Scope.

**Project Building Location**

\*Street Address 2028-2030 Chesterland  
 \*Owner Occupied?  Y  N  
 \*Owner Name Louis & Martin Kiss  
 \*Owner Phone Number 440-213-7943  
 \*Owner Email Martin.Kiss.223@gmail.com

**Project Information RCO 107.2**

(Check one that best describes the project)

**Basic Project Types:**

- New Home  Alteration
- Demolition of Principle Structure  Addition

**Miscellaneous Project Types:**

- Garage  Rear Deck  Front Porch
- Siding  Cabinets  Fixture Replacement
- Paving >100sf  Shed >120sf  Fence
- Swimming Pool  Waterproofing  Water Controlling

**Equipment Installation or Replacement:**

- Water Heater  Furnace or A/C  Boiler
- Electrical Panel  Solar Power  Solar Heating

**Project Extents:**

(Include total area and total cost including sub-trades)

\*Total Project Area (SF): 484  
 \*Valuation (Project Cost): \$20,000  
 Residential Plan Review Fee: \$25.00

**\*Brief Project Description:**

Demo & Removal of Existing Garage & Pad,  
Build 22x22 Garage with Pad, install new  
Wood Fence in back yard (Later Date)

**Construction Documents:**

\*No. of Sets: \_\_\_\_\_  
 \*Date on Plans: \_\_\_\_\_

**Application Information: RCO 107.2**

(Owner or designated representative)

\*Name Martin Kiss  
 \*Business Name \_\_\_\_\_  
 \*Street Address 1570 Westwood Ave  
 \*City, State, Zip Lakewood, Ohio 44107  
 \*Phone Number 440-213-7943  
 \*Email Address Martin.Kiss.223@gmail.com

**Registered Design Professional**

(Person primarily responsible for preparation of documents)

- Architect  Engineer  Certified Fire Protection System Designer  N/A

Name \_\_\_\_\_  
 Firm or Business \_\_\_\_\_  
 Certificate/Registration # \_\_\_\_\_  
 Street Address \_\_\_\_\_  
 City, State, Zip \_\_\_\_\_  
 Contact Person \_\_\_\_\_  
 Phone Number \_\_\_\_\_  
 Email Address \_\_\_\_\_

**Certification: RCO 107.2**

(Owner or designated representative)

I certify that I am the building  Owner  Owner's Authorized Agent. All information contained in this application is true, accurate and complete to the best of my knowledge. All official correspondence in connection with this application should be sent to my attention at the address shown above. I consent to these plans being reviewed in the order of plans examination determined by the building official.

\*Signature Martin Kiss  
 \*Print Name Martin Kiss  
 \*Date of Application June 24, 2023

**Building Department Use**

(To be completed by Building Department staff)

Case Number: \_\_\_\_\_  
 Date Received \_\_\_\_\_ By \_\_\_\_\_

Other Approvals Required: prior to permit issuance.

- Dye Test  Y  N  N/A
- Engineering  Y  N  N/A
- Planning  Y  N  N/A

**Plan Review Fees:**

(Check all that apply)

- In House  Outside Plans Examiner  Stormwater Review



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## Garage Demo Memo

Date: September 21, 2023

Garage Demo Memo for Address: 2028/2030 Chesterland Ave

I Martin L. Kiss understand and agree to the requirements  
(HOMEOWNERS PRINTED NAME)

listed below, in order to obtain a demolition permit for my garage prior to plan approval.

- 1) The new garage pad will be placed on the lot according to Lakewood Codified Ordinances 1143.05.
- 2) Construction drawings complying with the 2019 Residential Code of Ohio (RCO) for the new garage pad and garage must be submitted for review a minimum of 30 days in advance of planned construction, and permits obtained.
- 3) The new garage will be completely rebuilt within 6 months of the closing of the demolition permit.

SIGNED: Martin L. Kiss Date: 9-21-2023  
(HOMEOWNERS SIGNATURE)





DIVISION OF HOUSING AND BUILDING  
12650 DETROIT AVENUE • LAKEWOOD, OHIO 44107 • 216/529-6270 • FAX 216/629-5930  
Website: [www.lakewoodoh.gov](http://www.lakewoodoh.gov)

MAIN (216) 529-6270  
FAX (216) 529-5930

[building.permits@lakewoodoh.net](mailto:building.permits@lakewoodoh.net)  
[www.lakewoodoh.gov](http://www.lakewoodoh.gov)

### Owner Acknowledgement of Property Lines

Date: September 21, 2023

I hereby acknowledge that property line location is the sole responsibility of the property owner. The location of the accessory structure or addition to a primary structure on the plot plan will be measured from a point that the homeowner deems as the property line. Lakewood assumes no responsibility for errors related to property line location. If there is a question regarding an existing property line, a licensed surveyor should be consulted to obtain a property line survey.

Project address: 2028/2030 Chesterland Ave

Owner Name: Martin L. Kiss

Owner Address: 1570 Westwood Ave, Lakewood

Owner Phone #: 440-213-7943

Project description: Garage Replacement & New Fence

Martin L. Kiss  
Property Owner Signature

**DETACHED GARAGE PROTOTYPE  
INSTRUCTIONS**

PROPERTY ADDRESS: \_\_\_\_\_

Select either Right- or Left-hand option. Include the property address and page number on each page. Fill in ALL requested information and submit ONLY applicable pages.

**SITE PLAN PAGE**

- Highlight the north arrow to indicate geographic north in relation to the property.
- Fill in lot size, rear yard dimensions, garage dimensions, setbacks, and if applicable driveway and drain.
- Lot dimensions may be field measured or determined based on parcel information from the county auditor. Rear yard depth is measured from the back of the house or an attached deck if present.
- In Lakewood, the following restrictions apply:
  - 1) Garages are limited to 480 SF or 25% of the rear yard, whichever is greater.
  - 2) Minimum setbacks in R1H and R2 zoning districts are 18 inches, 36 inches in R1L and R1M for side and rear yards.

**ELEVATION PAGE(S)**

- Fill in eave height, total garage height and roof slope.
- In Lakewood, garage height measured from grade to the midpoint between roof ridge and eave is limited to 15'-0".
- Indicate any additional door or window opening locations.
- Include rear and opposite side elevations only if additional windows or doors are planned for either wall

**FLOOR PLAN PAGE**

- Fill in dimensions for overall width and depth.
- Fill in dimensions for vehicle and man door. Note, at least one side-hinged door 2'-6" x 6'-8" is required.
- Indicate locations of electrical devices if garage is so equipped.
- Note electrical requirements:
  - Exterior light at the man door, GFCI receptacles at all locations. (1) receptacle per vehicle parking bay, underground conductors shall be buried per current NEC requirements. Interior receptacles and exterior lighting cannot be on the same circuit.

**WALL SECTION PAGE**

- Select either Framed or Truss roof option. Note, if trusses are being used, engineer stamped truss drawings must be submitted.
- Fill framing member size and spacing information.
- Fill in siding and wall sheathing information
- Fill in overhang dimension. Note that roof overhangs are limited by proximity to a property line. Overhangs may be no closer than 6 inches to a property line and must be fire rated if within 12 inches to a property line.

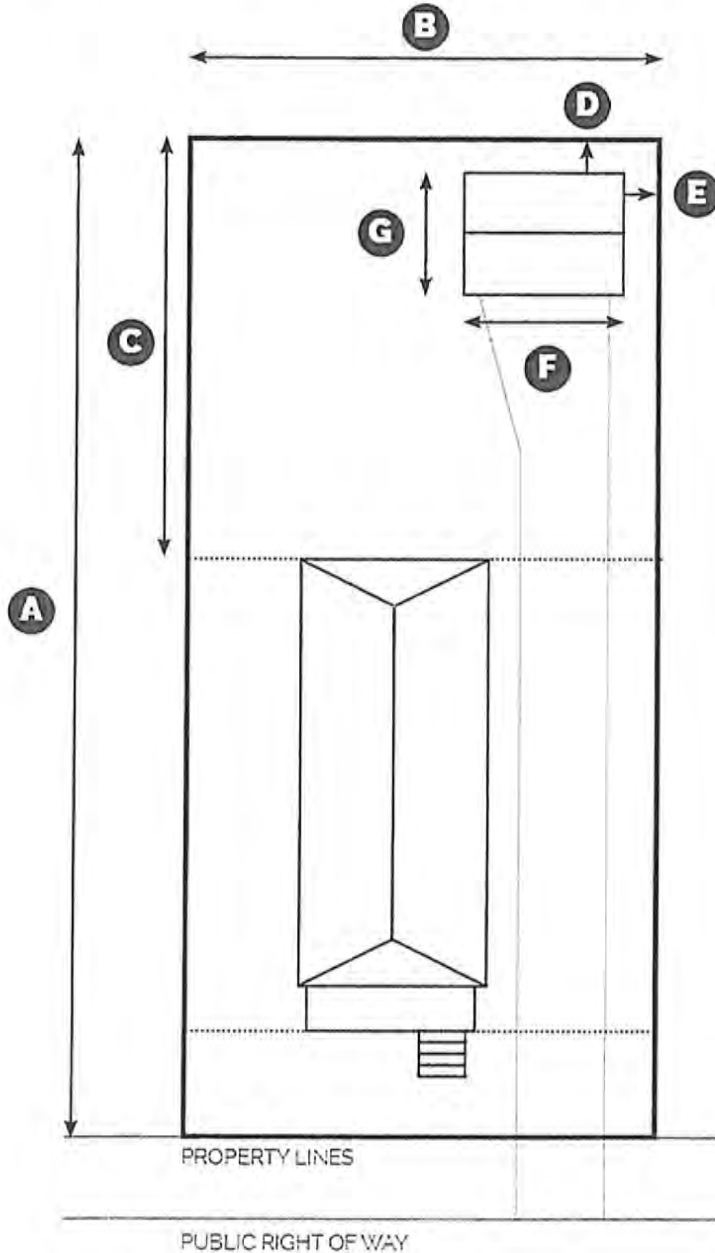
**PFG PORTAL FRAMING PAGE**

- Include if neither wing wall adjacent to the vehicle (overhead) door is 48 inches or wider.

**NOTE: GARAGES LOCATED LESS THAN 3 FEET FROM THE PROPERTY LINE ARE REQUIRED TO COMPLY WITH THE MINIMUM FIRE-RESISTANCE RATING AS SHOWN IN TABLE 302.1(1)**

# DETACHED GARAGE PLACEMENT PLACEMENT WORKSHEET

PROPERTY ADDRESS: 2028-2030 Chesterland AVE



**DETACHED GARAGE (IN FEET)**

<b>A</b>	LOT DEPTH	<u>120'</u>
<b>B</b>	LOT WIDTH	<u>38'</u>
<b>C</b>	REAR YARD DEPTH	<u>38'</u>
<b>D</b>	REAR SETBACK	<u>18"</u>
<b>E</b>	SIDE SETBACK	<u>18"</u>
<b>F</b>	GARAGE WIDTH	<u><del>32'</del> 22'</u>
<b>G</b>	GARAGE DEPTH	<u>22'</u>
<b>-</b>	GARAGE AREA (WIDTH X DEPTH)	<u><del>528</del> 484</u> SF

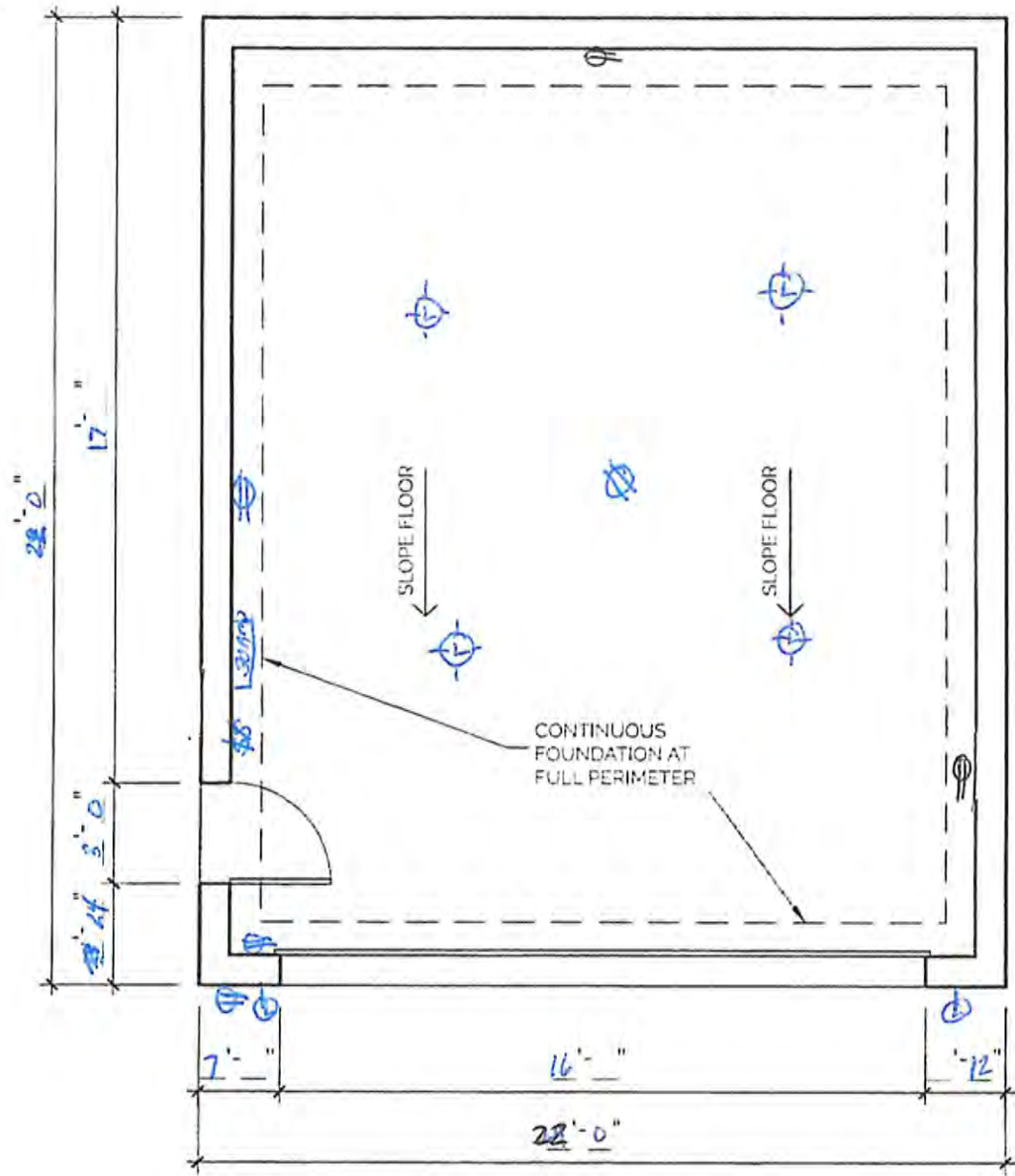
**DRIVE WAY**

REPLACEMENT	Y / <u>(N)</u>
DRAIN	Y / <u>(N)</u>

**SITE PLAN**

**DETACHED GARAGE PROTOTYPE  
 FLOOR PLAN (RIGHT-HAND OPTION)**

PROPERTY ADDRESS: \_\_\_\_\_



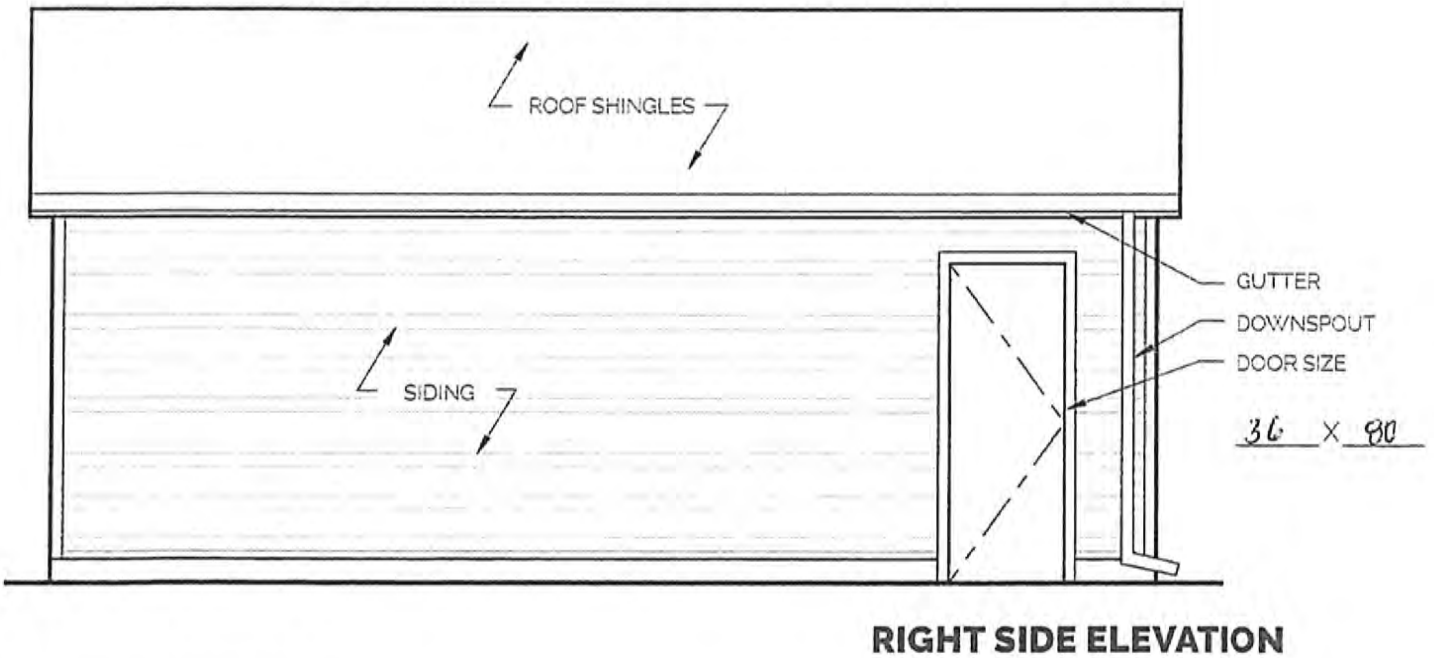
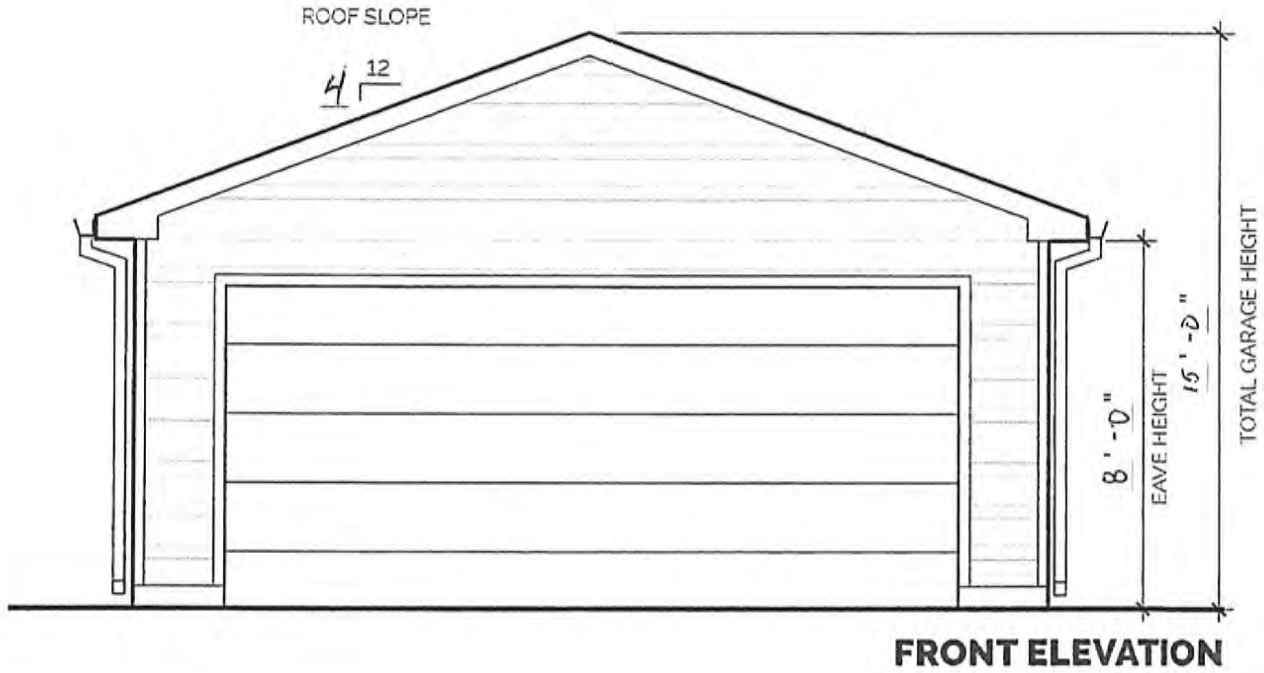
**FLOOR PLAN**

**ELECTRICAL SYMBOL LEGEND**

<p>① OHD 110V DUPLEX CEILING MOUNTED DOOR OPERATOR RECEPTACLE</p> <p>GF 110V GFCI RECEPTACLE</p>	<p>② LIGHT SWITCH</p> <p>⊙ ⊙ LIGHTS: RECESSED, SURFACE MOUNT, WALL MOUNT</p>	<p>① 30 AMP SUB-PANEL WITH DISCONNECT RATING</p>
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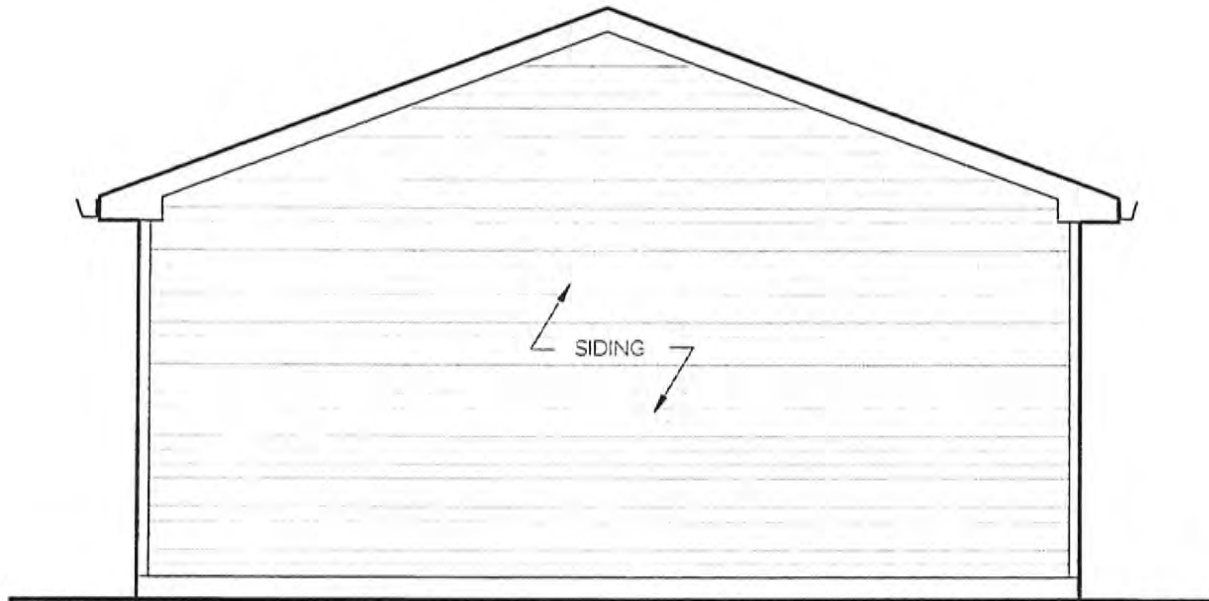
# DETACHED GARAGE PROTOTYPE ELEVATIONS (RIGHT-HAND OPTION)

PROPERTY ADDRESS: \_\_\_\_\_



**DETACHED GARAGE PROTOTYPE  
ELEVATIONS (RIGHT- OR LEFT-HAND OPTION)**

PROPERTY ADDRESS: \_\_\_\_\_



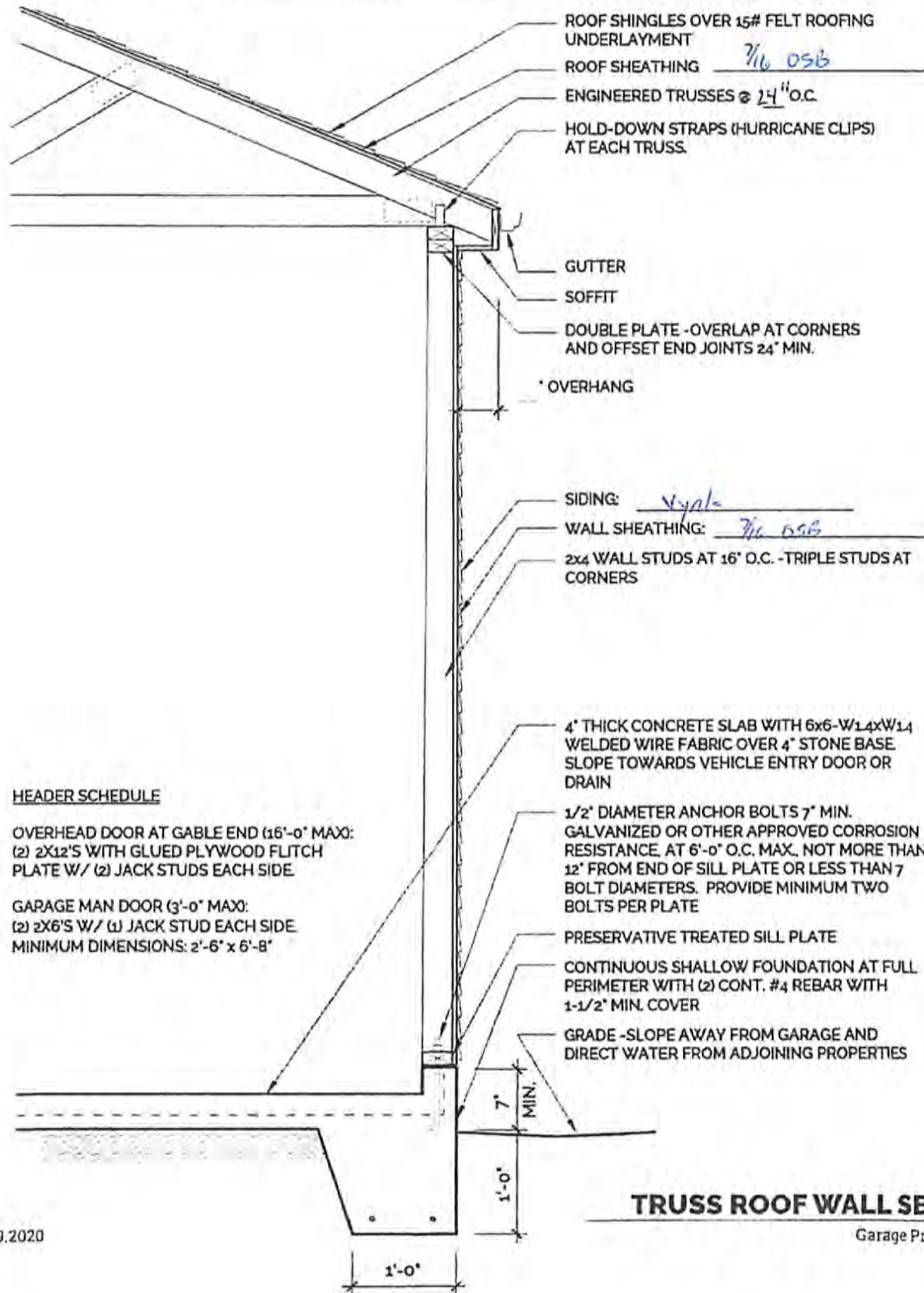
**REAR ELEVATION**



**SIDE ELEVATION**

# DETACHED GARAGE PROTOTYPE SECTIONS

PROPERTY ADDRESS: \_\_\_\_\_



**HEADER SCHEDULE**

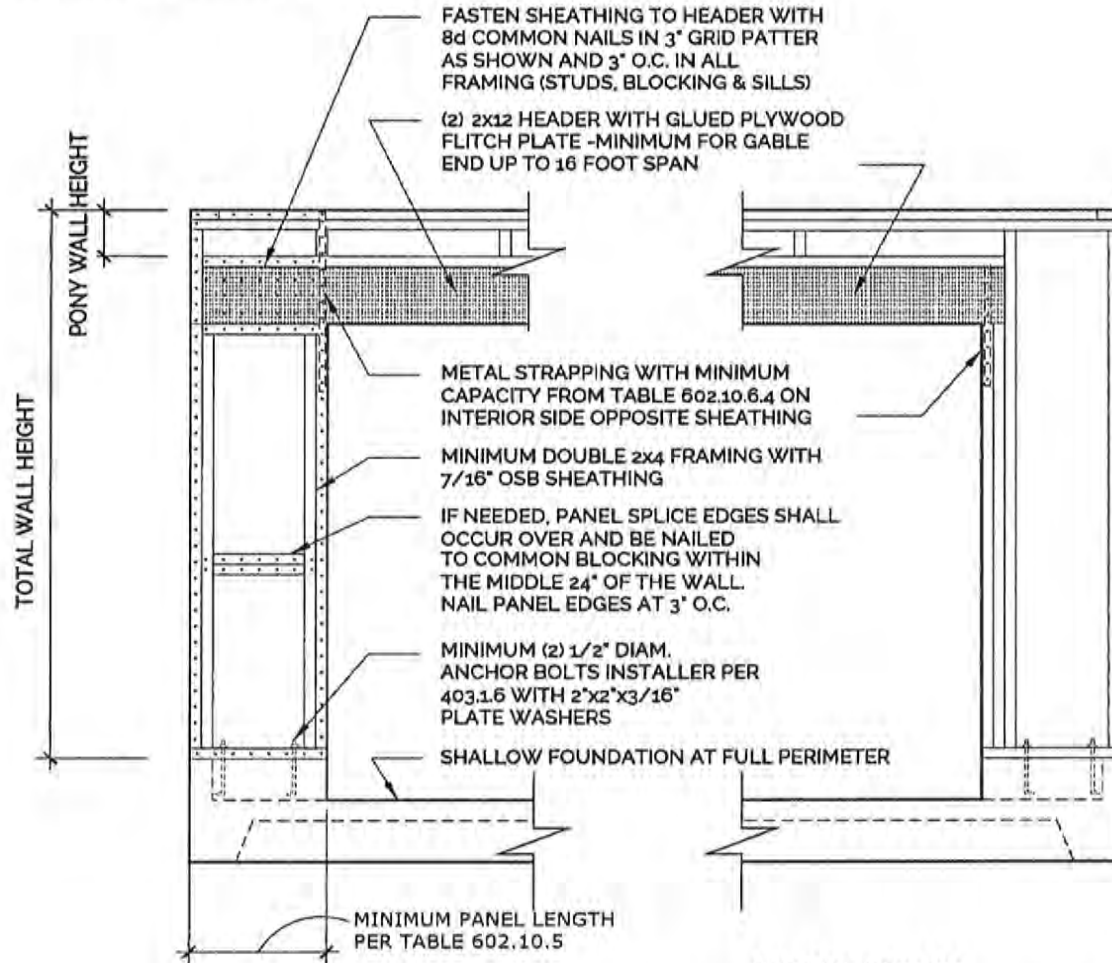
OVERHEAD DOOR AT GABLE END (16'-0" MAX):  
 (2) 2x12'S WITH GLUED PLYWOOD FLITCH PLATE W/ (2) JACK STUDS EACH SIDE

GARAGE MAN DOOR (3'-0" MAX):  
 (2) 2x6'S W/ (1) JACK STUD EACH SIDE  
 MINIMUM DIMENSIONS: 2'-6" x 6'-8"

**TRUSS ROOF WALL SECTION**

# DETACHED GARAGE PROTOTYPE PORTAL FRAME GARAGE (PFG) REQUIREMENTS

PROPERTY ADDRESS: \_\_\_\_\_



RCO TABLE 602.10.5  
 PFG (PORTAL FRAME AT GARAGE) METHOD  
 MINIMUM LENGTH OF BRACED WALL PANELS

TOTAL WALL HEIGHT	MINIMUM LENGTH
8 ft	24"
9 ft	27"
10 ft	30"

RCO TABLE 602.10.6.4 (ABBREVIATED)  
 TENSION STRAP CAPACITY REQUIRED FOR RESISTING WIND PRESSURES  
 PERPENDICULAR TO METHOD PFH, PFG AND CS-PF BRACED WALL PANELS

2x4 STUD WALLS, 10 ft OR LESS AT 90 mph BASIC WIND SPEED, EXPOSURE B

MAXIMUM PONY WALL HEIGHT (ft)	MAXIMUM TOTAL WALL HEIGHT (ft)	TENSION STRAP CAPACITY (lb)
0	18	1000
	9	1000
1	16	1000
	18	1200
2	9	1000
	16	2025
	18	2400



















330

2028

1/2" of concrete



BOARD OF ZONING APPEALS

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## Application Cover Page

**Docket No.: 10-16-23**

**Reference No.: BZA23-000034, BZA23-000040, BZA23-000041**

**Applicant Name: Tyler Brummett of Brookside Shady LLC**

**Project Address: 12534 Lake Ave.**

**Project Name: Shady Cove Townhouses**

**Proposal: The construction of 16 townhouses. The proposal requires a total of three (3) variances. The property is located in the MH, Multi-Family High Density District.**

# SHADY COVE TOWNHOUSES

LAKEWOOD, OHIO

## PRICING PACKAGE

AUGUST 11, 2023

### DRAWING INDEX:

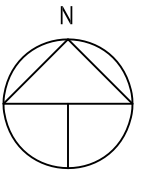
TS.011	TITLE SHEET
A1.09	SITE PLAN
A2.01	EXTERIOR ELEVATIONS
A2.02	EXTERIOR ELEVATIONS
A3.01	TYPICAL FLOOR PLAN
A4.01	INTERIOR ELEVATIONS

### SHADY COVE TOWNHOUSES

12534 LAKE AVE  
LAKEWOOD, OHIO

### KEY PLAN:

NOT TO SCALE



SITE



THE DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS AND CONCEPTS ARE THE PROPERTY OF RDL ARCHITECTS AND SHALL BE KEPT IN THE POSSESSION OF THE ARCHITECT. NO PART OF THESE DRAWINGS OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY WERE PREPARED SHALL BE REPRODUCED, COPIED, REPRODUCED OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS SHOWN ON SITE AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

### ISSUE

▲	PRICING PACKAGE	08.11.2023
△	_____	_____
△	_____	_____
△	_____	_____
△	_____	_____
△	_____	_____
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### TITLE SHEET

PROJECT #	22214
DRAWN BY	_____
CHECKED BY	RDL
FILE NAME	_____
PLOT DATE	_____

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SITE DATA:	
ZONING	MH - RESIDENTIAL, MULTI-FAMILY
ACREAGE	+/- 0.70-AC (30,315-SF)
UNIT COUNT	16 UNITS

	REQUIRED	PROVIDED
MINIMUM LOT SIZE	10,000-SF	30,315-SF
BUILDING SF	800-SF	1,725-SF/DU
MIN LOT FRONTAGE	60'	136'
FRONT SETBACK	50'	13'
BASED ON BUILDING LINE MAP		
REAR YARD SETBACK	50'	20'
SIDE YARD SETBACK	75% OF HT (27')	6'
LOT AREA COVERAGE (BUILDINGS/PORCHES)	25%	45% (13,600-SF)
OFF-STREET PARKING ONE SPACE MUST BE IN A GARAGE	1 SPACE/DU	2 SPACES/DU GARAGE SPACES

21111 Chagrin Blvd, Suite 110  
Shaker Heights, Ohio 44120  
PHONE: 216-752-4300  
FAX: 216-752-4301  
www.RDLarchitects.com

**SHADY COVE  
TOWNHOUSES**

12534 LAKE AVE  
LAKEWOOD, OHIO

THE DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREIN ARE AND SHALL REMAIN THE SOLE PROPERTY OF RDL ARCHITECTS AND SHALL NOT BE REPRODUCED OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF RDL ARCHITECTS. NO PART OF THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. WRITTEN EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS SHALL BE OBTAINED FROM THE CLIENT. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND SHALL BE RESPONSIBLE FOR ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

**ISSUE**

- ▲ PRICING PACKAGE 08.11.2023
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**PROPOSED  
SITE PLAN**

PROJECT # 22214  
DRAWN BY  
CHECKED BY RDL  
FILE NAME  
PLOT DATE

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## MATERIAL SCHEDULE:

1. SIDING: 10.25" Wide Artisan Shiplap cement Panels. Color 1: TBD
- 2A. SIDING: Fiber cement Panels. Color 1: TBD
- 2B. SIDING: Fiber cement Panels. Color 2: TBD
- 3A. BRICK: Modular Brick Veneer. Color: TBD
- 3B. BRICK SILL: Brick rowlock sill / water table. Color to match face brick.
- 3C. BRICK HEADER: 8" Soldier course brick over windows. Color to match face brick.
- 3D. CAST STONE: 4" high cast stone cap. Color: TBD
4. DOOR & WINDOW TRIM: Boral trim. Color: TBD
  - 4A. 3/4" x 7 1/4" surround with 1"x2 1/2" horizontally installed sill (when applicable).
5. CORNICE TRIM: 18" high cement bd. panel with 1" x 2 1/2" Boral trim at bottom & 1 1/2" x 3 1/2" Boral trim at top. Color to match door & window trim.
6. TRIM: 1" x 2 1/2" Boral trim set over 3/4" x 1 1/4" Boral trim. Color to match door & window trim.
7. PANEL BREAK.
8. GUTTERS, DOWN SPOUTS & ALUMINUM WRAPPED FASCIAS: Pre-finished aluminum. Color to match trim.
9. COLUMN / POST WRAP: Square, Fypon or Cement Bd. Color to match trim.
10. RAILING: Stainless Steel Cable railing system.
11. OVERHEAD GARAGE DOOR: Steel.
12. ADDRESS PLACARD
13. EXTERIOR WALL SCIENCE

21111 Chagrin Blvd, Suite 110  
Shaker Heights, Ohio 44120  
PHONE: 216-752-4300  
FAX: 216-752-4301  
www.RDLarchitects.com

## SHADY COVE TOWNHOUSES

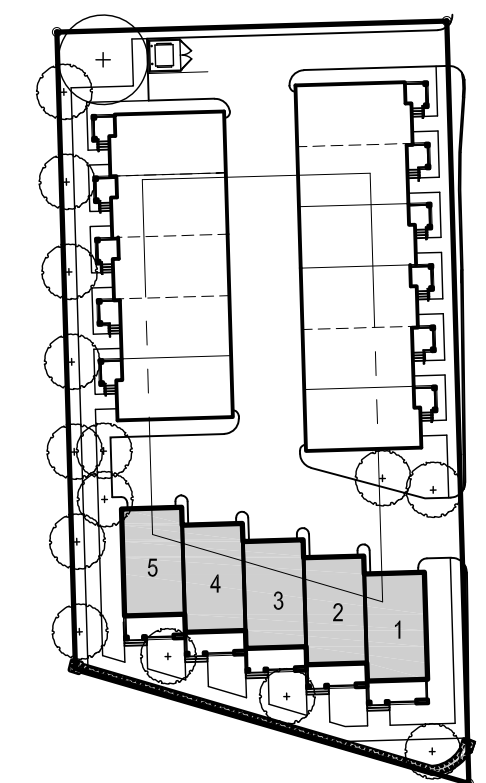
12534 LAKE AVE  
LAKEWOOD, OHIO

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## ISSUE

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## KEY PLAN:



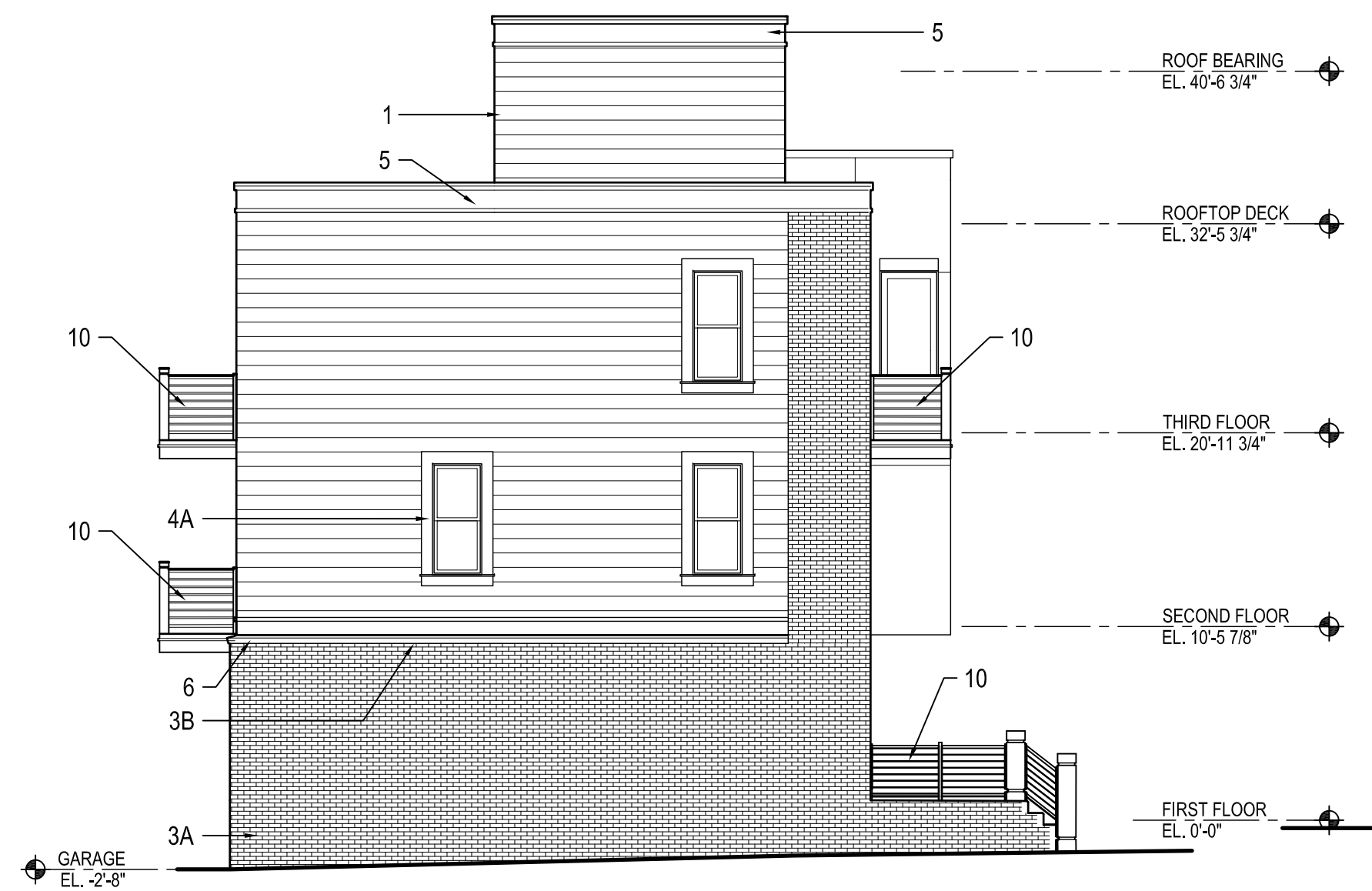
## EXTERIOR ELEVATIONS

SCALE: 1/8" = 1'-0"  
0' 1' 2' 4' 8' 16'

PROJECT # 22214  
DRAWN BY  
CHECKED BY RDL  
FILE NAME  
PLOT DATE

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# A2.01



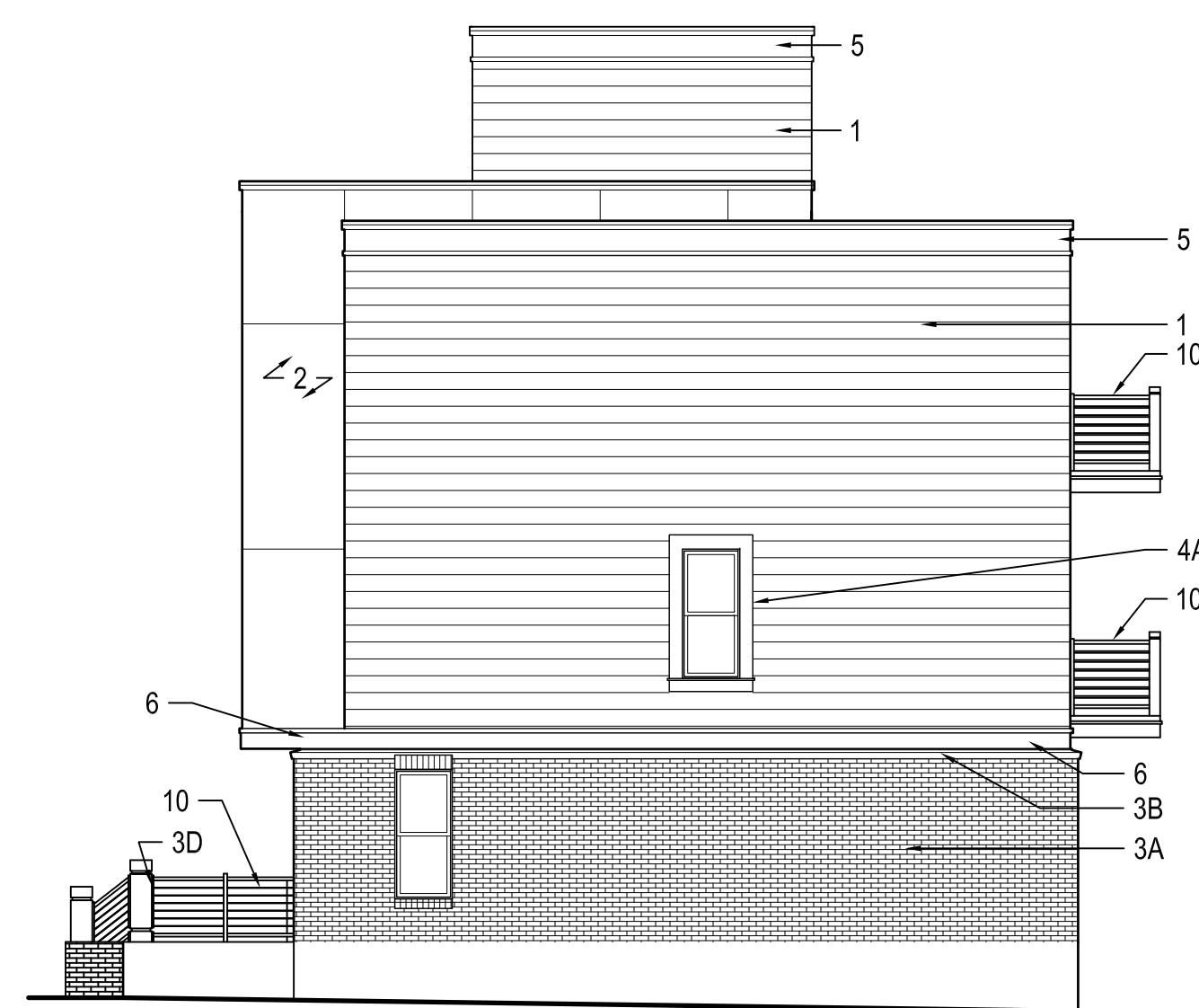
2 LEFT SIDE ELEVATION: TOWNHOUSES 1 - 5

A3.07 SCALE: 1/8" = 1'-0"



1 FRONT ELEVATION: TOWNHOUSES 1 - 5

A3.07 SCALE: 1/8" = 1'-0"



4 SIDE ELEVATION: TOWNHOUSES 1 - 5

A3.07 SCALE: 1/8" = 1'-0"



3 REAR ELEVATION: TOWNHOUSES 1 - 5

A3.07 SCALE: 1/8" = 1'-0"

**MATERIAL SCHEDULE:**

1. SIDING: 10.25" Wide Artisan Shiplap cement Panels. Color 1: TBD
- 2A. SIDING: Fiber cement Panels. Color 2: TBD
- 2B. SIDING: Fiber cement Panels. Color 2: TBD
- 3A. BRICK: Modular Brick Veneer. Color: TBD
- 3B. BRICK SILL: Brick rowlock sill / water table. Color to match face brick.
- 3C. BRICK HEADER: 8" Soldier course brick over windows. Color to match face brick.
- 3D. CAST STONE: 4" high cast stone cap. Color: TBD
4. DOOR & WINDOW TRIM: Boral trim. Color: TBD
- 4A. 3/4" x 7 1/4" surround with 1"x2 1/2" horizontally installed sill (when applicable).
5. CORNICE TRIM: 18" high cement bd. panel with 1" x 2 1/2" Boral trim at bottom & 1 1/2" x 3 1/2" Boral trim at top. Color to match door & window trim.
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7. PANEL BREAK.
8. GUTTERS, DOWN SPOUTS & ALUMINUM WRAPPED FASCIAS: Pre-finished aluminum. Color to match trim.
9. COLUMN / POST WRAP: Square, Fypon or Cement Bd. Color to match trim.
10. RAILING: Stainless Steel Cable railing system.
11. OVERHEAD GARAGE DOOR: Steel.
12. ADDRESS PLACARD
13. EXTERIOR WALL SCENCE



**SHADY COVE TOWNHOUSES**

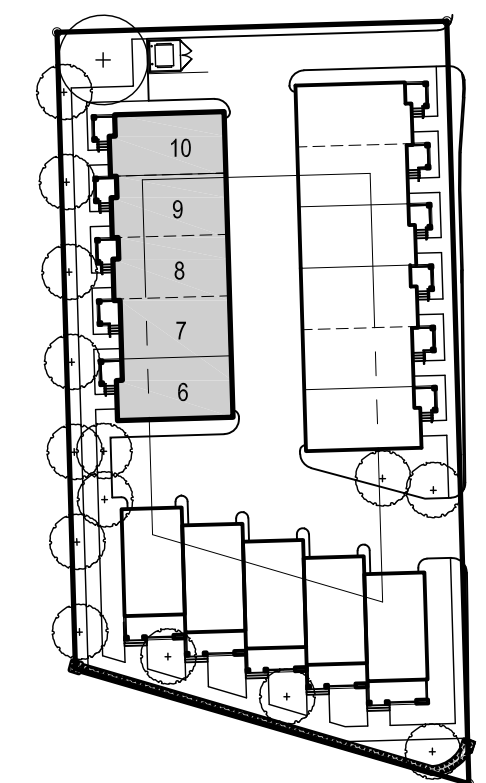
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**ISSUE**

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**KEY PLAN:**



**EXTERIOR ELEVATIONS**

SCALE: 1/8" = 1'-0"  
0' 1' 2' 4' 8' 16'

PROJECT # 22214  
DRAWN BY \_\_\_\_\_  
CHECKED BY RDL  
FILE NAME \_\_\_\_\_  
PLOT DATE \_\_\_\_\_

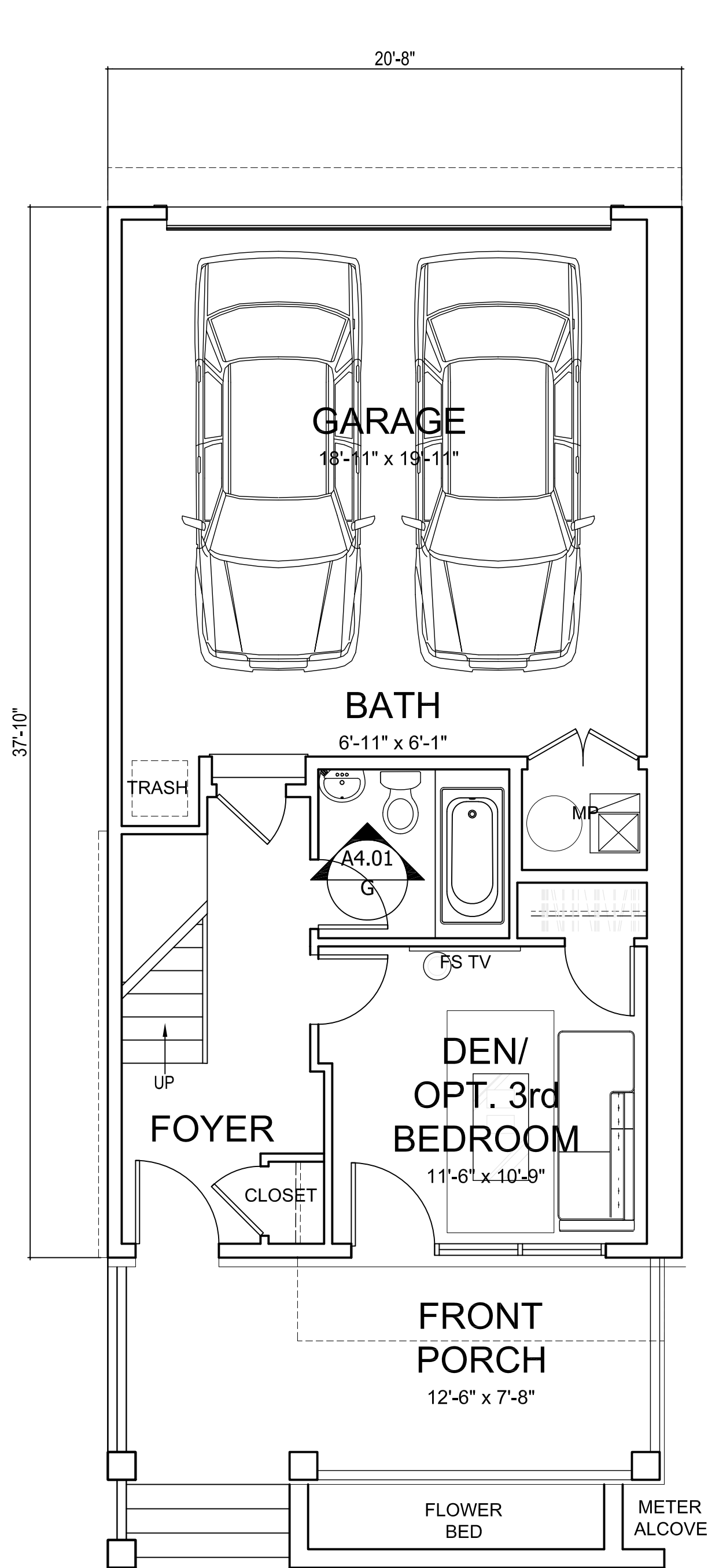
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**ISSUE**

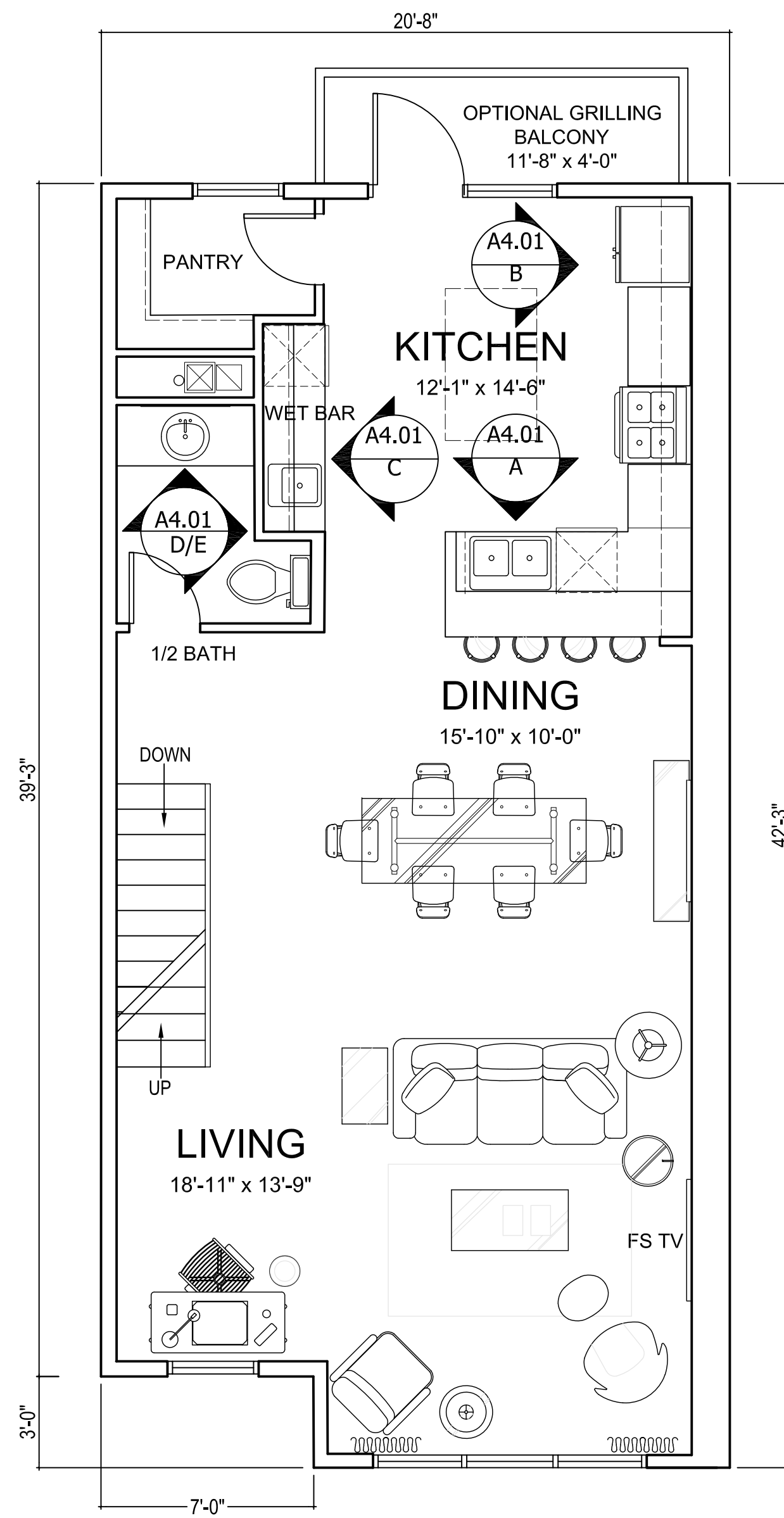
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**TYPICAL  
TOWNHOUSE  
FLOOR PLANS**

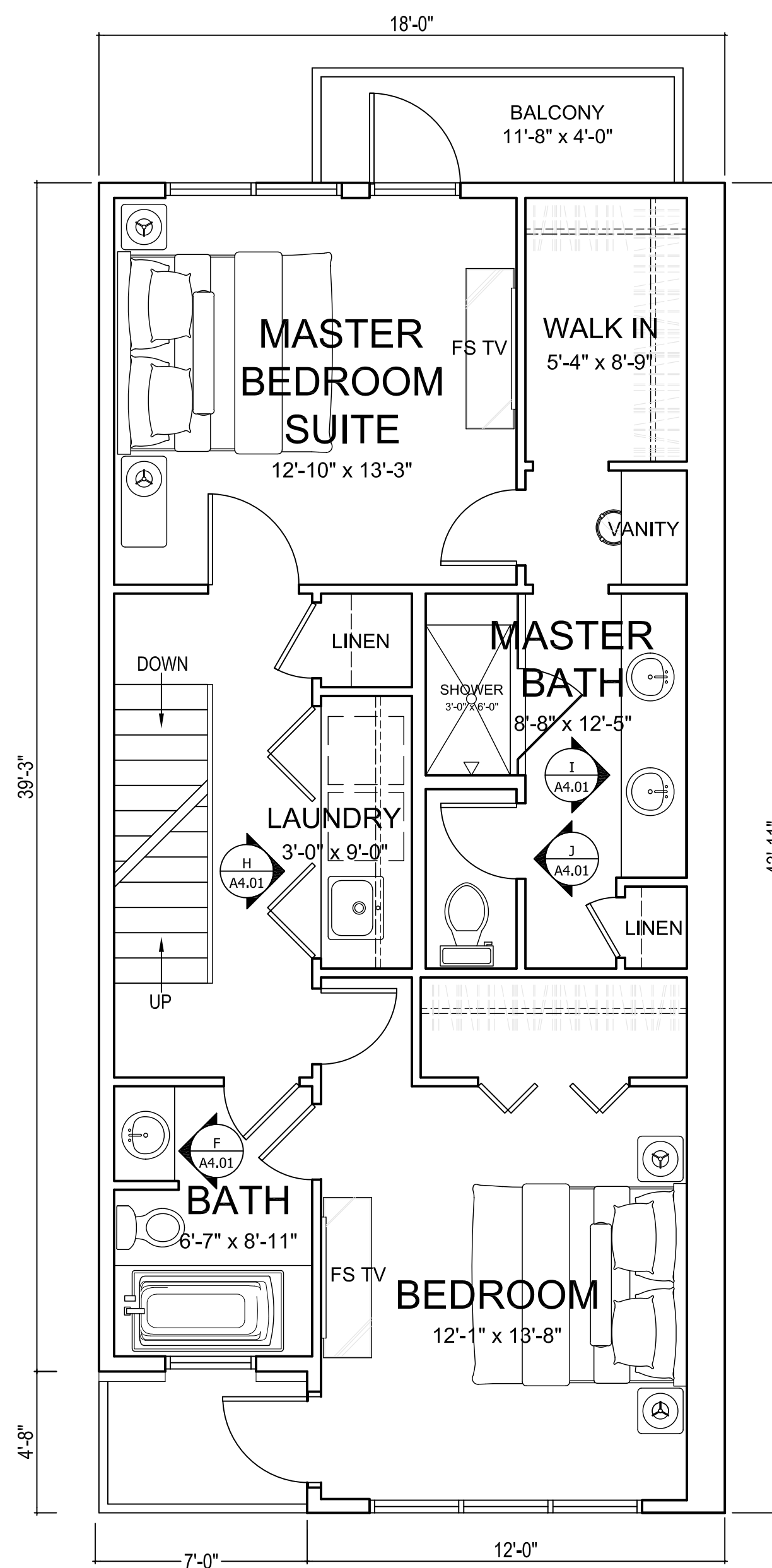
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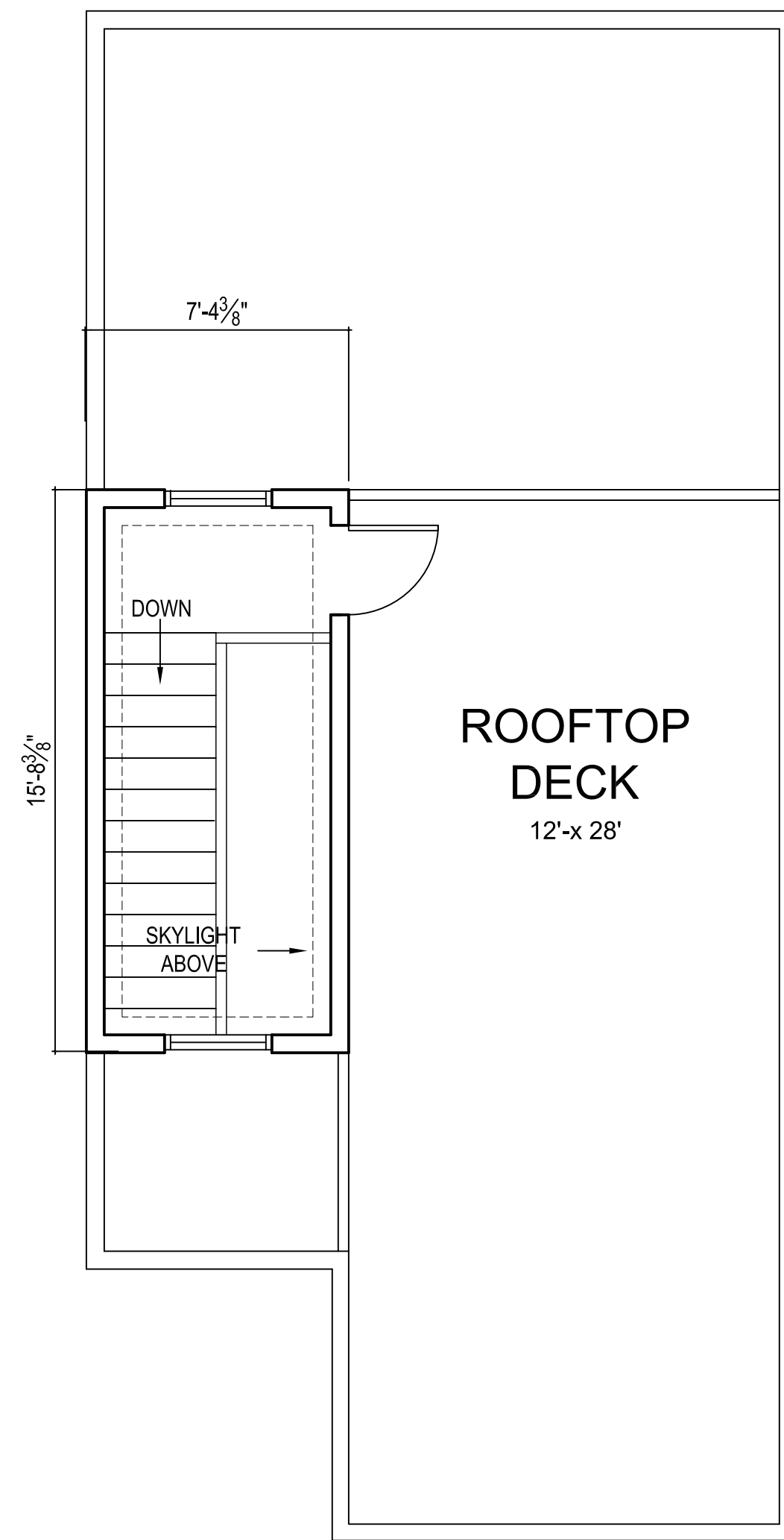
**1 GROUND FLOOR**  
SCALE: 1/4" = 1'-0"  
AREA: 329 sf (includes stairwall)



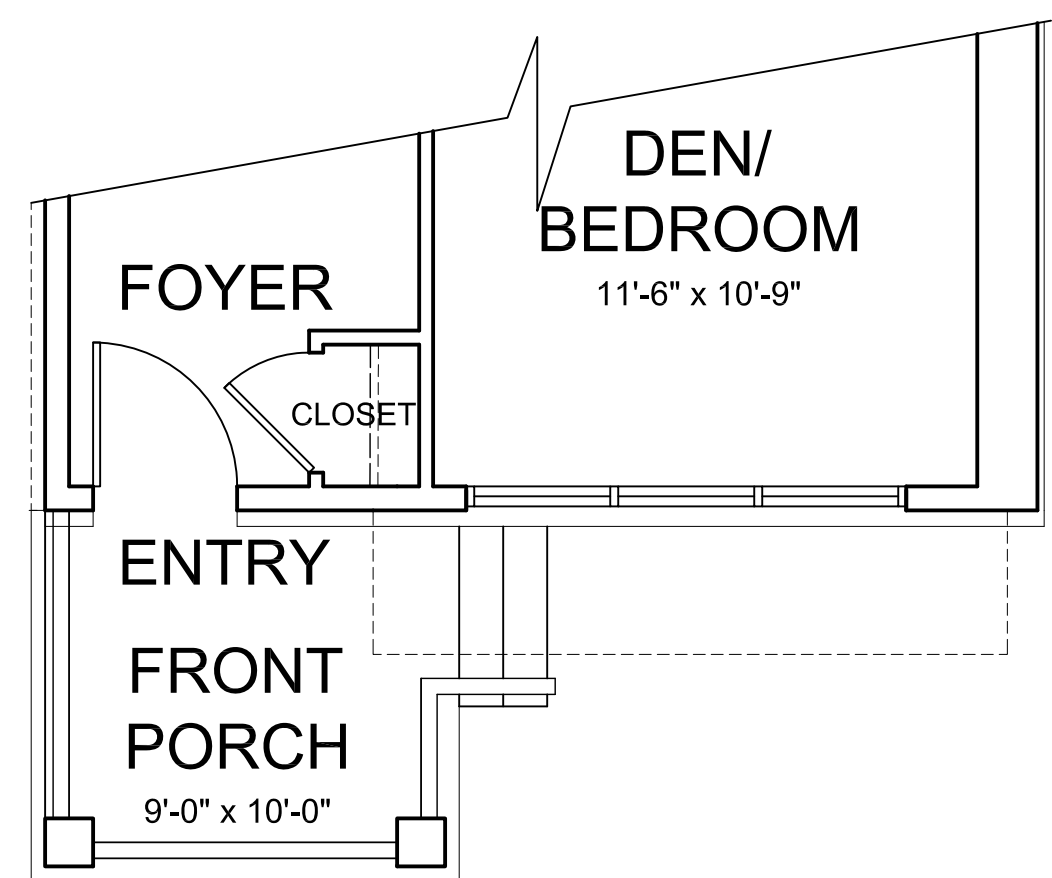
**2 FIRST FLOOR**  
SCALE: 1/4" = 1'-0"  
AREA: 815 sf



**3 SECOND FLOOR**  
SCALE: 1/4" = 1'-0"  
AREA: 815 sf



**4 ROOF**  
SCALE: 1/4" = 1'-0"  
AREA: 103 sf  
TOTAL AREA: 2,022 sf



**5 GROUND FLOOR - FRONT PORCH UNITS 6 - 16**  
SCALE: 1/4" = 1'-0"  
AREA: 329 sf (includes stairwall)

