



City of Lakewood
Board of Zoning Appeals

(216) 529-6630
planning@lakewoodoh.gov

AGENDA
BOARD OF ZONING APPEALS
CITY OF LAKEWOOD
12650 DETROIT AVENUE
NOVEMBER 20, 2025

PRE-REVIEW MEETING
6:00 P.M.
EAST CONFERENCE ROOM

REVIEW MEETING
6:30 P.M.
AUDITORIUM

1. ROLL CALL
2. APPROVE MINUTES OF THE OCTOBER 16, 2025 MEETING
3. OPENING REMARKS

NEW BUSINESS

4. Docket No. 11-20-25
1462 Lauderdale Ave.

Applicant Josh Strzala of Bennet Building Co. for property owner Melissa Benden proposes the construction of a two-story addition on the rear of the home. The property is in the R2, Single- and Two-Family District. (Page 3)

- Variance 1: Applicant proposes the construction of a two-story addition to the rear of the existing home. The addition will reduce the rear yard to 38 feet, where the requirement is 40 feet. Request a variance to reduce the size of the rear yard to 38 feet, as proposed. Pursuant to 1123.07 Rear Yard Depth, (Ord. 91-95, Passed 10-7-1996)

5. Docket No. 11-21-25

1114 Forest Rd.

Applicant Elizabeth Davis of Old World Classic LLC for property owner Leon Jason proposes the construction of a new two-story single family home and garage on an existing non-conforming corner lot. The property is in the R1L, Single-Family Low Density District. (Page 9)

- Variance 1: Required front yard setback on Clifton Boulevard is 50 feet. Reduce the front yard to less than 50 feet on Clifton Boulevard, as proposed. (Ord. 91-95. Passed 10-7-1996.)Pursuant to 1121.07 Minimum Yard Requirements, (Ord. 91-95, Passed 10-07-1996)
- Variance 2: Required front yard setback on Forest Road is 50 feet. Reduce the front yard to less than 50 feet on Forest Road, as proposed. (Ord. 91-95. Passed 10-7-1996.)Pursuant to 1121.07 Minimum Yard Requirements, (Ord. 91-95, Passed 10-07-1996)

ADJOURN

"Individuals with disabilities, who require accommodations for participation in meetings, must request accommodations at least 3 business days ahead of the scheduled meeting. Contact Michelle Nochta at (216) 529-5906 michelle.nochta@lakewoodoh.net."



City of Lakewood
Board of Zoning Appeals

(216) 529-6630
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Application Cover Page

Docket No.: 11-20-25

Reference No.: BZA 25-000029

Applicant Name: Josh Strzala, Bennet Building Co.

Project Address: 1462 Lauderdale Ave.

Project Name: n/a

Proposal: The applicant proposes the construction of a two-story addition on the rear of the home. The property is in the R2, Single- and Two-Family District.



Josh Strzala <josh.strzala@bennettbuilders.com>

Bennett Builders: City Variance

2 messages

Josh Strzala <josh.strzala@bennettbuilders.com>
To: mel.benden@gmail.com

Tue, Oct 21, 2025 at 8:49 AM

Melissa,

Good morning! The City of Lakewood needs the homeowner's consent for us to be able to apply for the variance with the Board of Zoning Appeals. Can you reply back to this email that you consent to us applying for the variance? Thank you!

--

Josh Strzala

Bennett Builders & Remodelers

27899 Clemens Road

Westlake, OH 44145

440-835-3277 office

440-835-3490 fax

www.bennettbuilders.com

Melissa Acosta <mel.benden@gmail.com>

Tue, Oct 21, 2025 at 9:43 AM

To: Josh Strzala <josh.strzala@bennettbuilders.com>, Waldo Acosta <acosta.waldo@gmail.com>

Hi Josh,

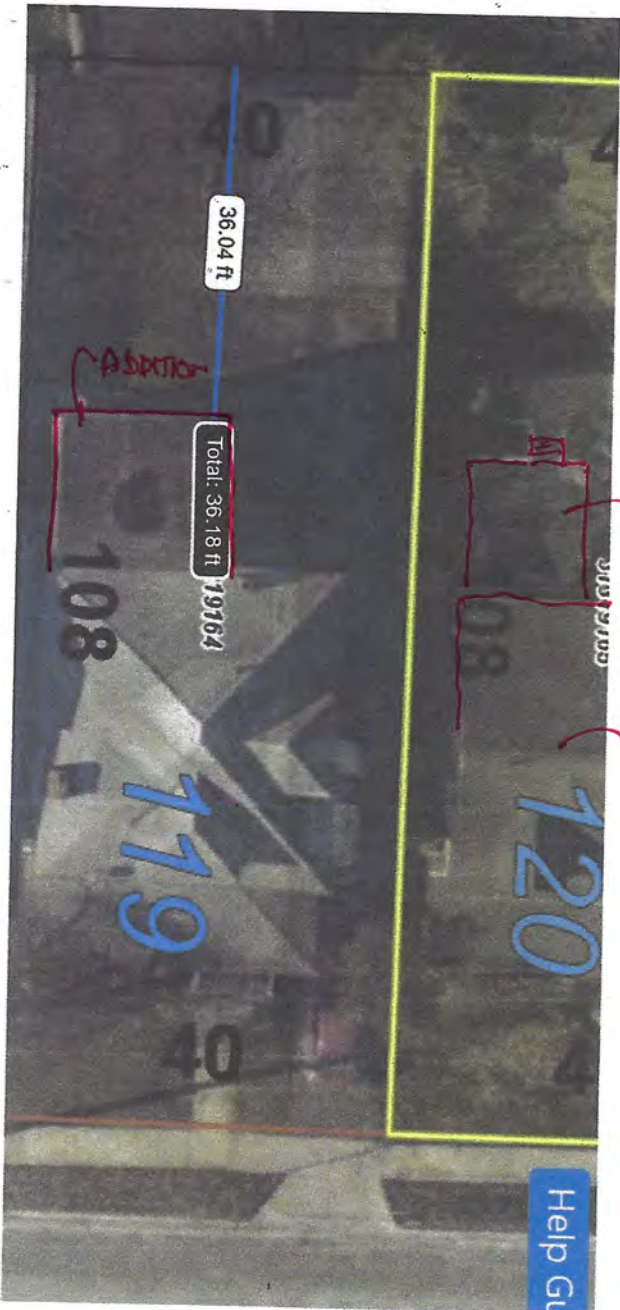
We consent to you applying for the variance with the Board of Zoning Appeals.

Thank you,

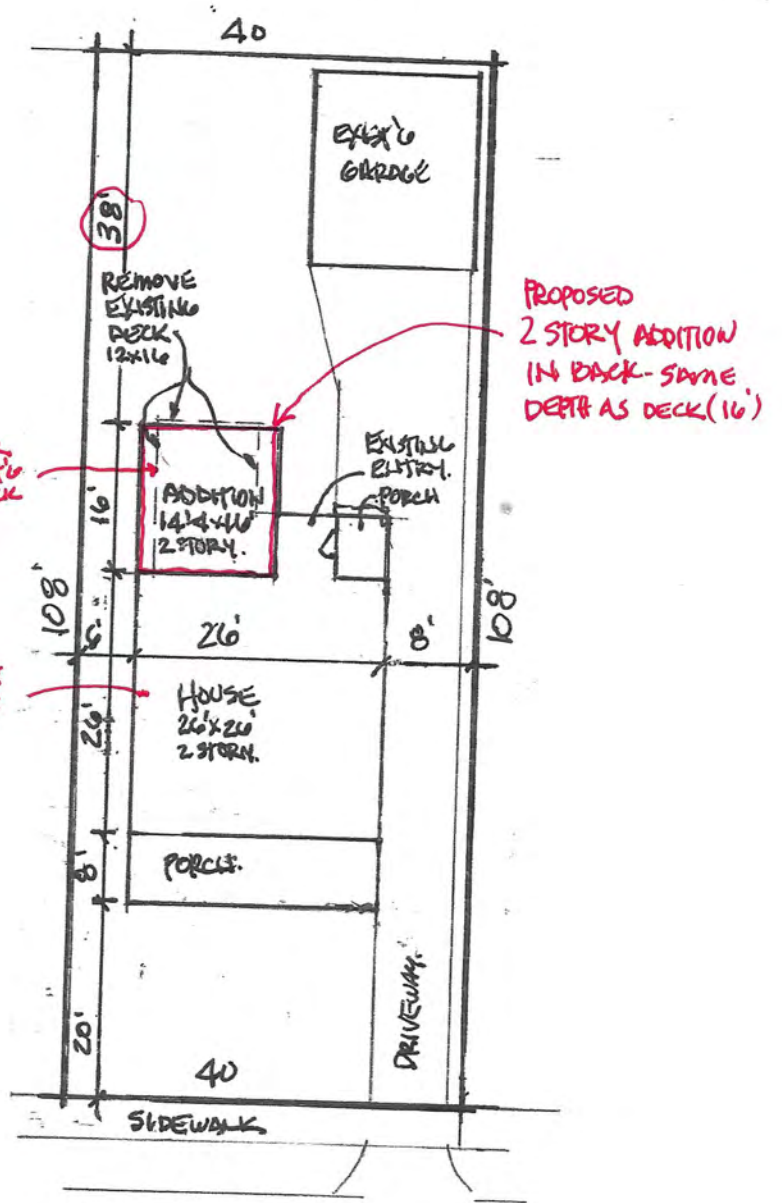
Melissa Acosta

[Quoted text hidden]

John Henry



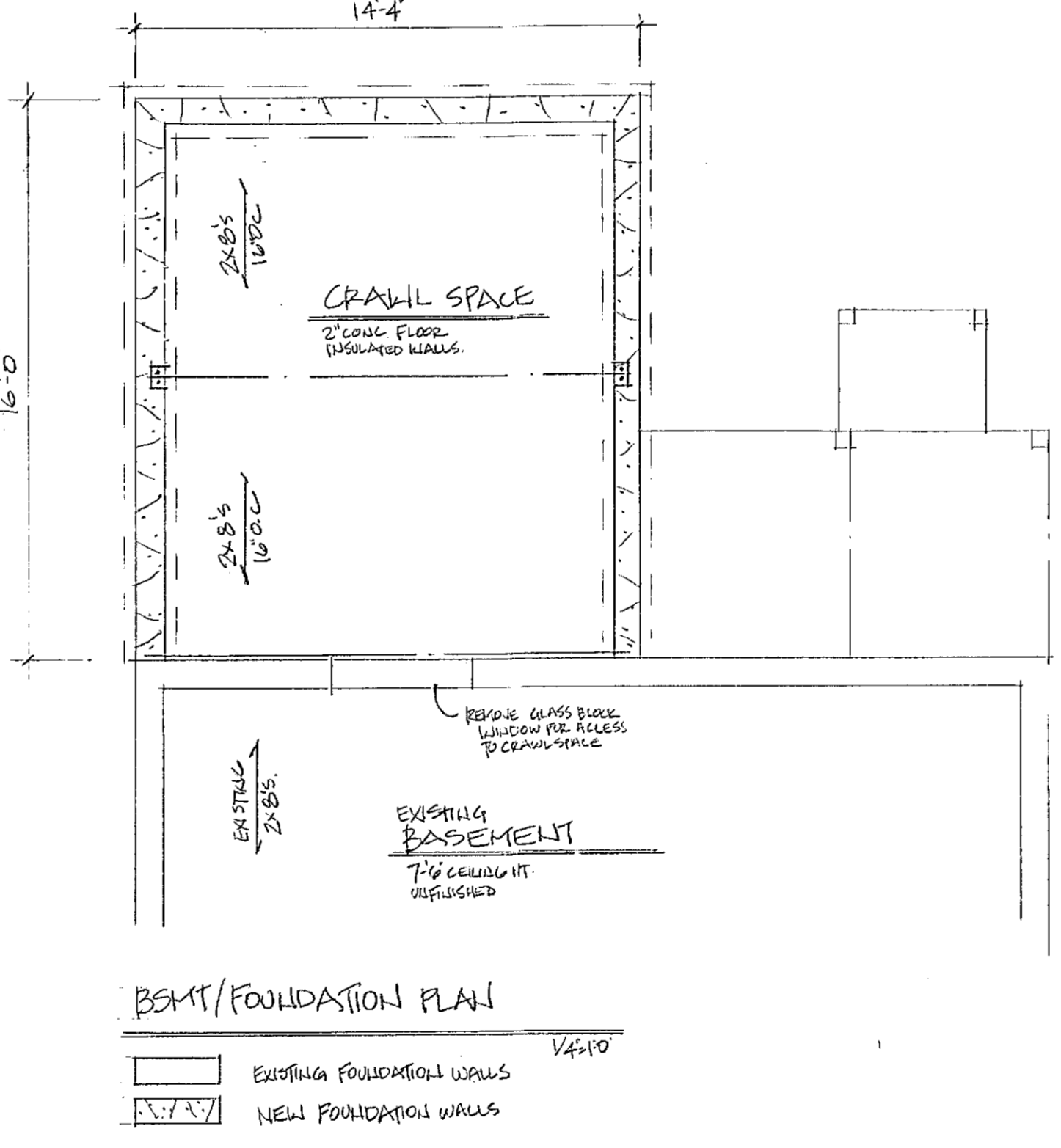
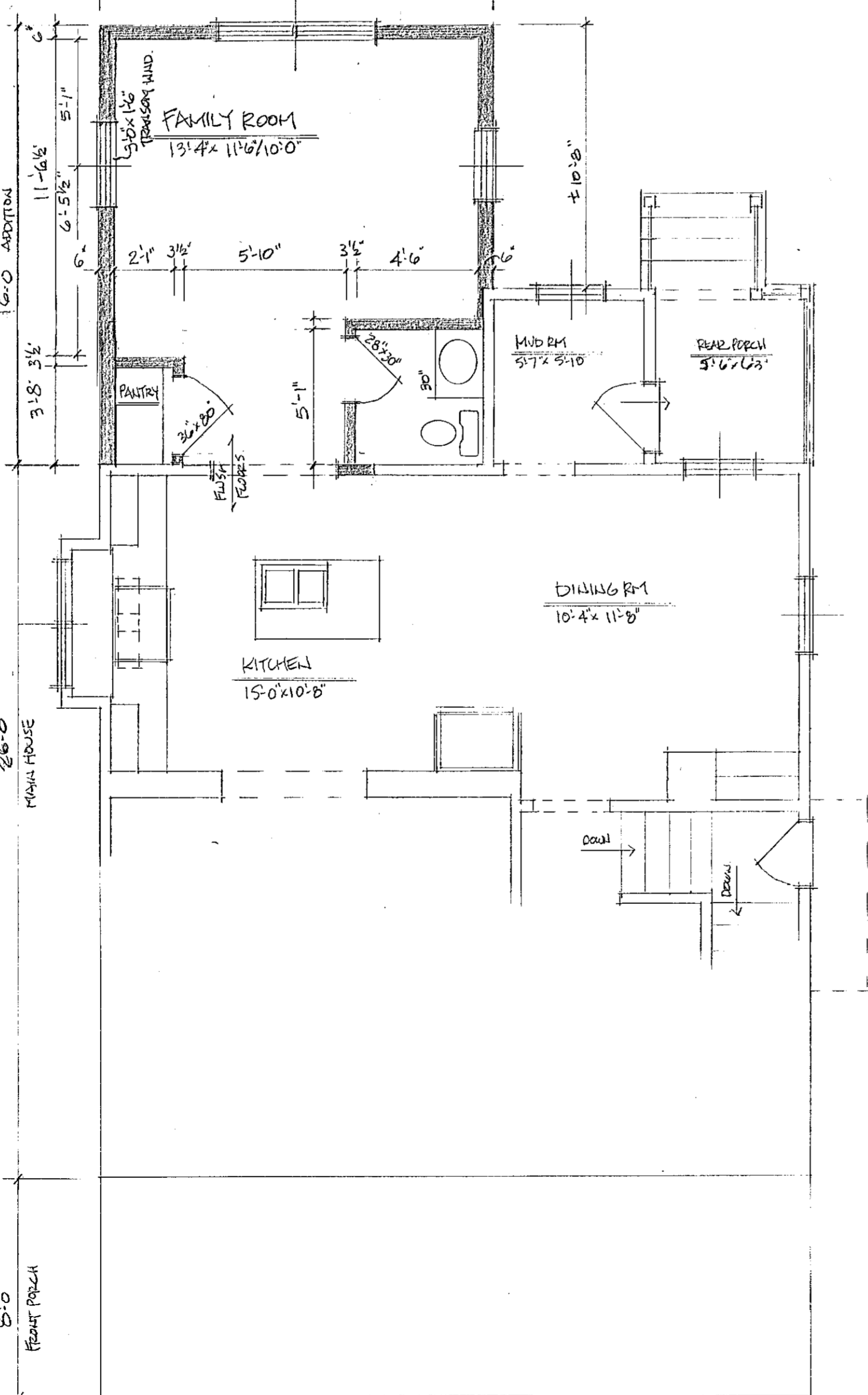
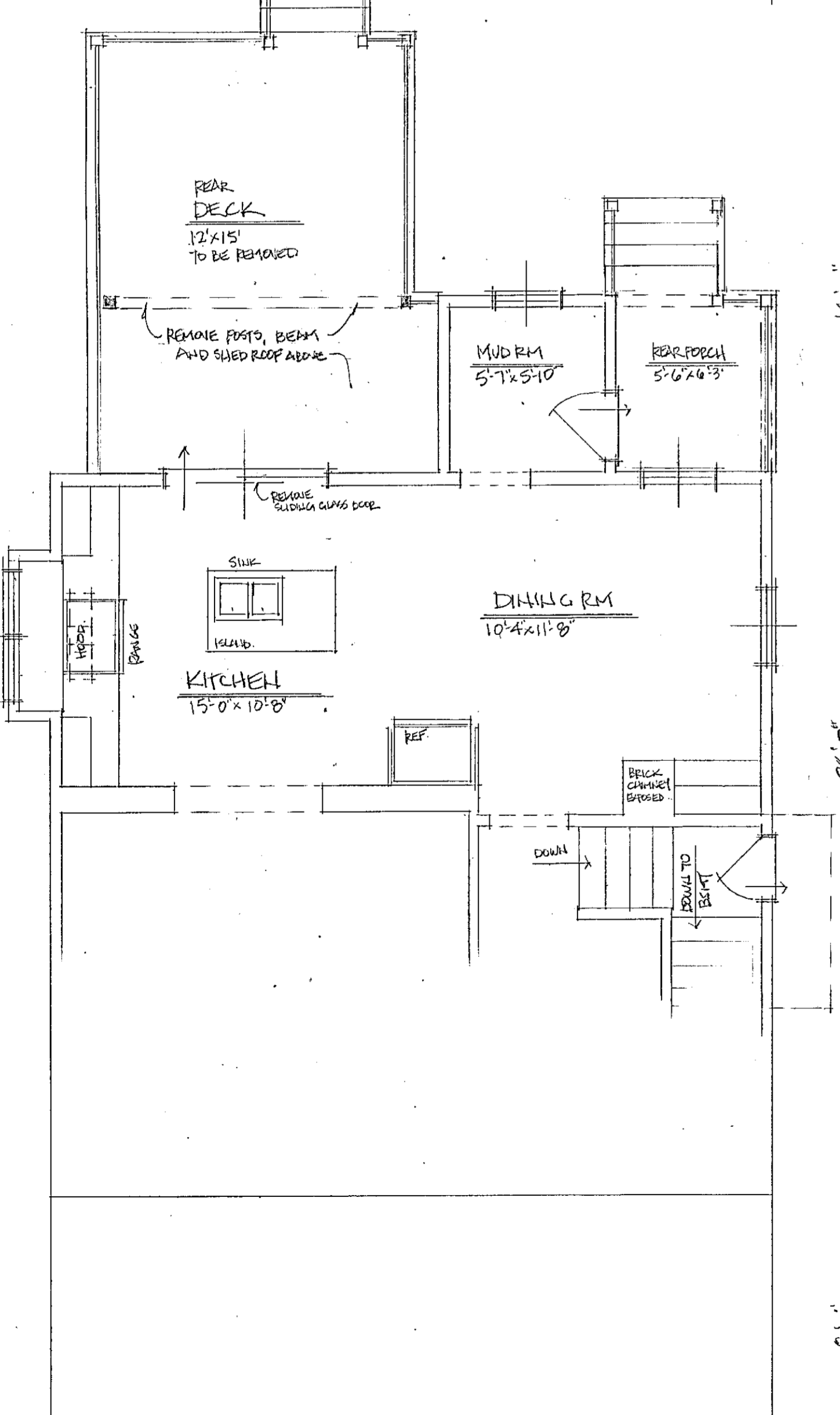
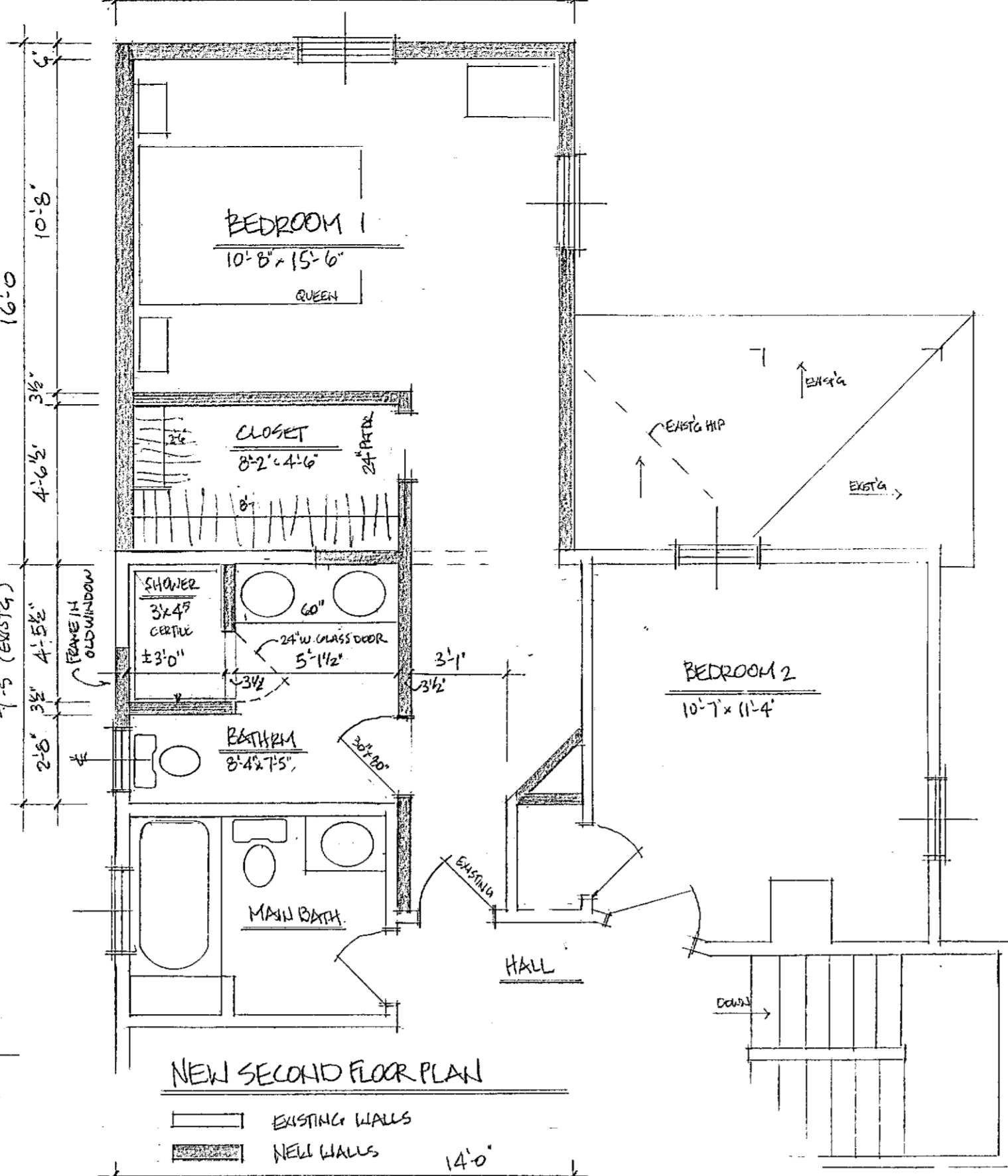
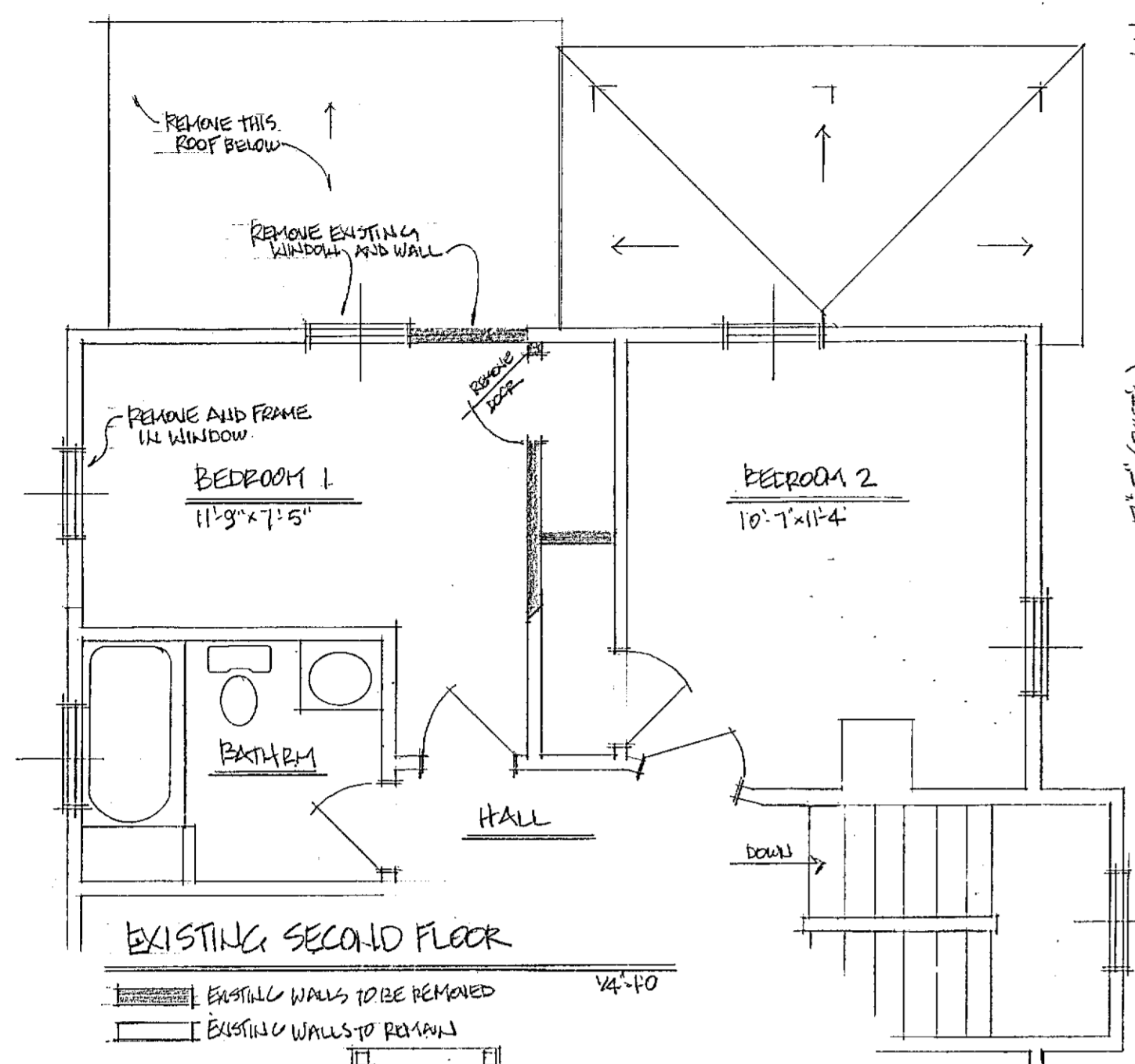
NEAR DOOR LOT/HOUSE
WITH ADDITION ON REAR.
(36' TO REAR YARD)



1462 LAUDERDALE AVE

313-19-165
SITE PLAN
1" = 20'0"

BENDER RESIDENCE
1462 LAUDERDALE AVE
313-19-165



EXISTING FIRST FLOOR PLAN

EXISTING WALLS TO BE REMOVED
EXISTING WALLS TO REMAIN

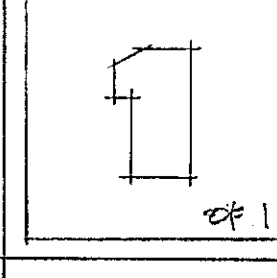
NEW FIRST FLOOR PLAN

EXISTING WALLS
NEW WALLS

A REAR-TWO STORY ADDITION FOR
WALDO & MELISSA ACOSTA
1402 LAURELDALE AVE
LAKESWOOD, OHIO

JOB NO: 2946

11/1/24
12/15/24
01/20/25







City of Lakewood
Board of Zoning Appeals

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Application Cover Page

Docket No.: 11-21-25

Reference No.: BZA 25-000032, 34

Applicant Name: Elizabeth Davis, Old World Classic LLC

Project Address: 1114 Forest Rd.

Project Name: n/a

Proposal: The applicant proposes the construction of a new two-story single family home and garage on an existing non-conforming corner lot. The property is in the R1L, Single-Family Low Density District.



Surveyor's Notes & Basis of Bearings:

This map was prepared without the benefit of a Title Report and is not intended to reflect all easements, encumbrances, or other items affecting the title to the property shown hereon.

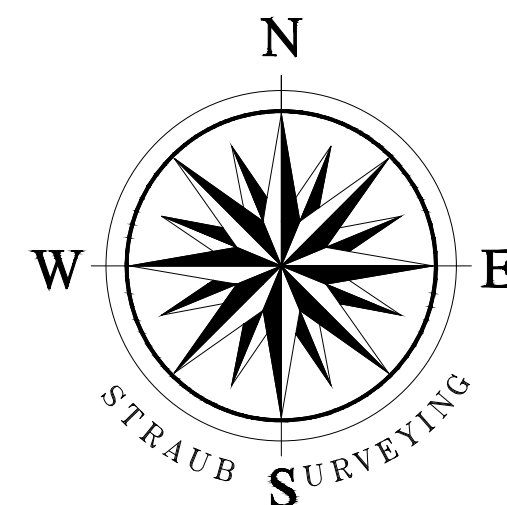
The U.S. Route 6 Right of Way plans were heavily relied upon in preparing this map, as the geometry agreed with itself much more so than the geometry shown on the plat recorded in Volume 29, Page 11 of Cuyahoga County Plat Records.

The basis of bearings for this survey, as shown, is the centerline of U.S. Route 6, based on Route 6 Location Plan, Plat Vol. 182, Pg. 25 and is to an assumed meridian used to denote angles only. Distances are in feet and decimal parts thereof. Unless shown otherwise, measurements to monuments found are rectangular measurements from property lines, right-of-way lines, centerlines or other as appropriate. Stations and Offsets are based on U.S. Route 6 Right of Way Plans CUY-6-7.27. CIP set are 5/8" x 30" rebar with yellow cap stamped Straub Surveying PS#7055. References used are listed hereon. This map was prepared from a survey performed by me or under my direction in August, 2023, and meets the requirements defined in Chapter 4733-37 of the Ohio Revised Code, *Minimum Standards for Boundary Surveys*. This map is not valid unless signed and stamped by Surveyor.

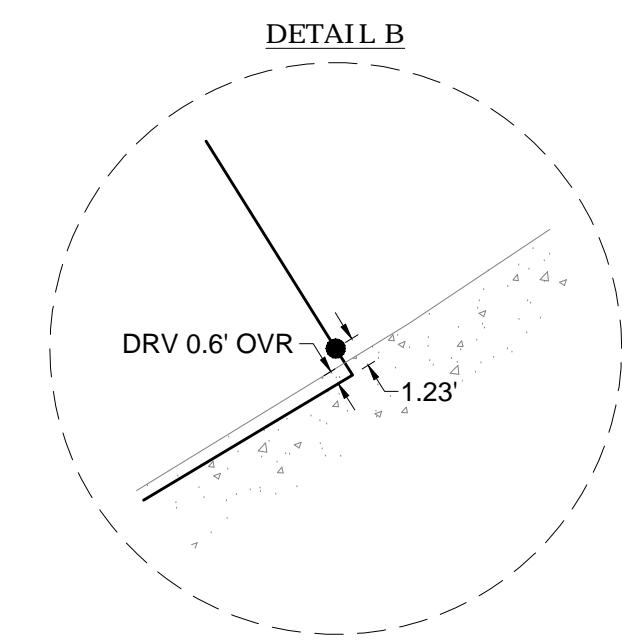
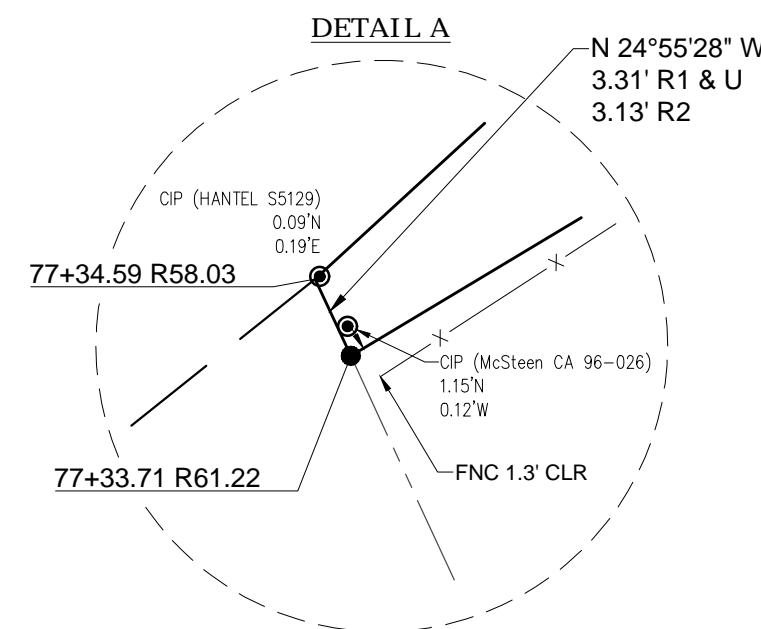
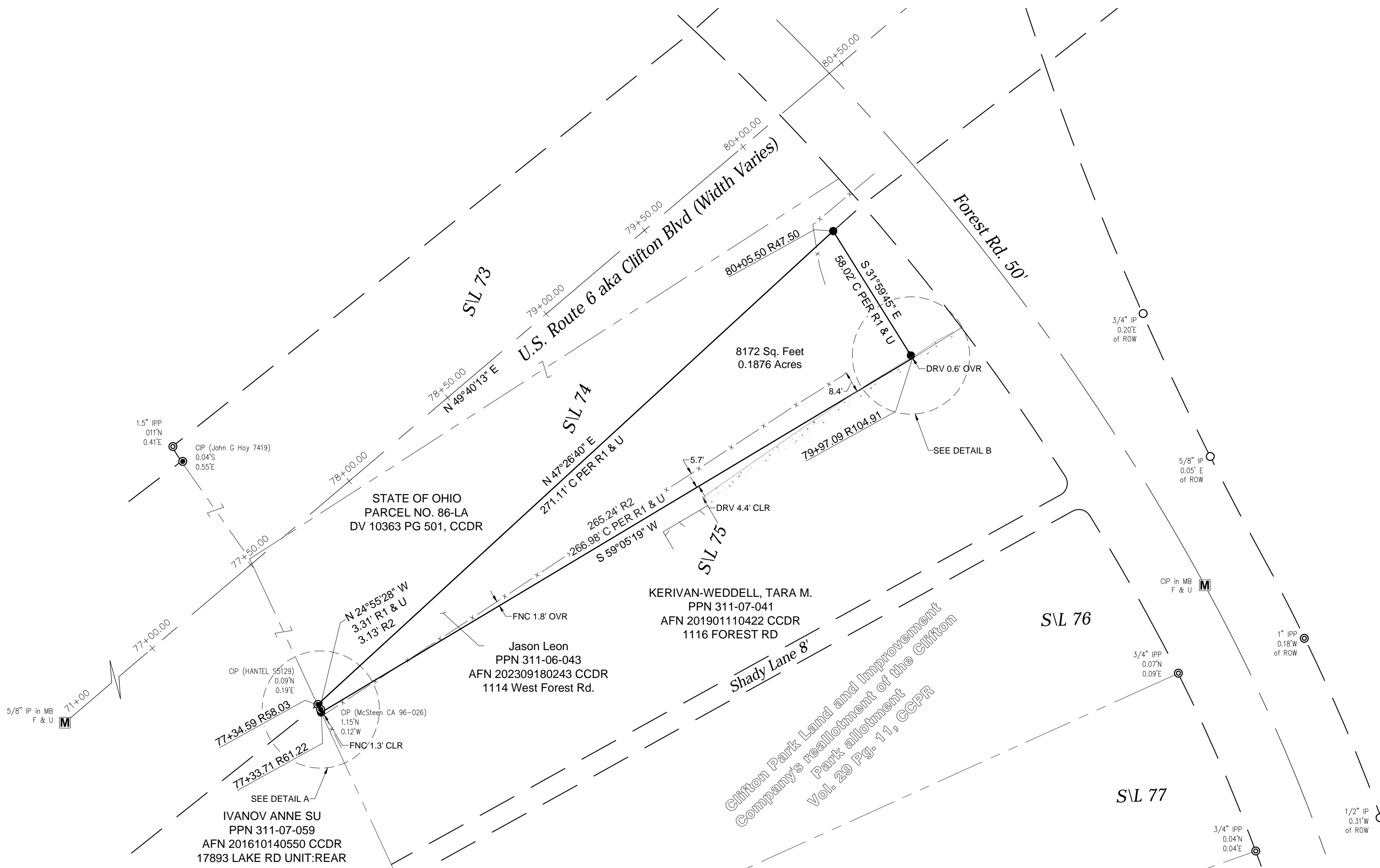
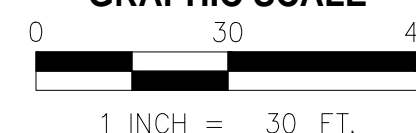
Known as part of Sublot No. 74
 Clifton Park Land and Improvement Company's
 reallocation of the Clifton Park allotment
 of a part of
 Original Rockport Township Sec. No. 23
 County of Cuyahoga, State of Ohio
 as shown in Plat Volume 29, Page 11
 of Cuyahoga County Plat Records

Survey Legend

- M Measured
- F Found
- U Used
- R Record
- P Plat
- C Calculated
- Ⓜ Monument Box (MB)
- Capped Iron Pin Found
- Capped Iron Pin (CIP) Set
- Iron Pin (IP) Found as Described
- ⊙ Iron Pipe (IPP) Found as Described
- Centerline
- Right of Way (ROW) Line
- Record Property Line
- Building Line
- Fence Line
- Edge of Driveway
- Station and Offset



GRAPHIC SCALE



References:
 Cuyahoga County GIS,
 U.S. Route 6 Right of Way Plans CUY-6-7.27 (R1)
 Subject deed as shown (R2)
 U.S. Route 6 Location Plan Plat Vol. 182, Pg. 25
 Clifton Park Land and Improvement Company's reallocation
 of the Clifton Park allotment Plat Vol. 29, Pg. 11
 Adjoining deeds as shown



12815 DETROIT AVENUE LAKEWOOD, OHIO 44107
 PHONE: 440-333-1700 INFO@STRAUBSURVEYING.COM

Date of Survey: August 31, 2023
 Survey By: C. Sommers, J. Forshey
 Drawn By: C. Sommers, J. Yetzer
 Checked By: M. Straub
 Project No. 23-043-2
 DWG: 23-043 Boundary

Revisions				
NO.	DATE	DESCRIPTION	BY	
2	9/2/25	Ownership Update	MS	
1	10/02/23	Revise per Monumentation Set	CS	
0	9/05/23	Original Issue	CS, JY	

Prepared For
Jason Leon
 1114 West Forest Road
 Lakewood, Ohio

**Boundary
 Survey**

Sht.
 1
 of
 1

LEON RESIDENCE

1114 FOREST ROAD, LAKEWOOD, OH 44107

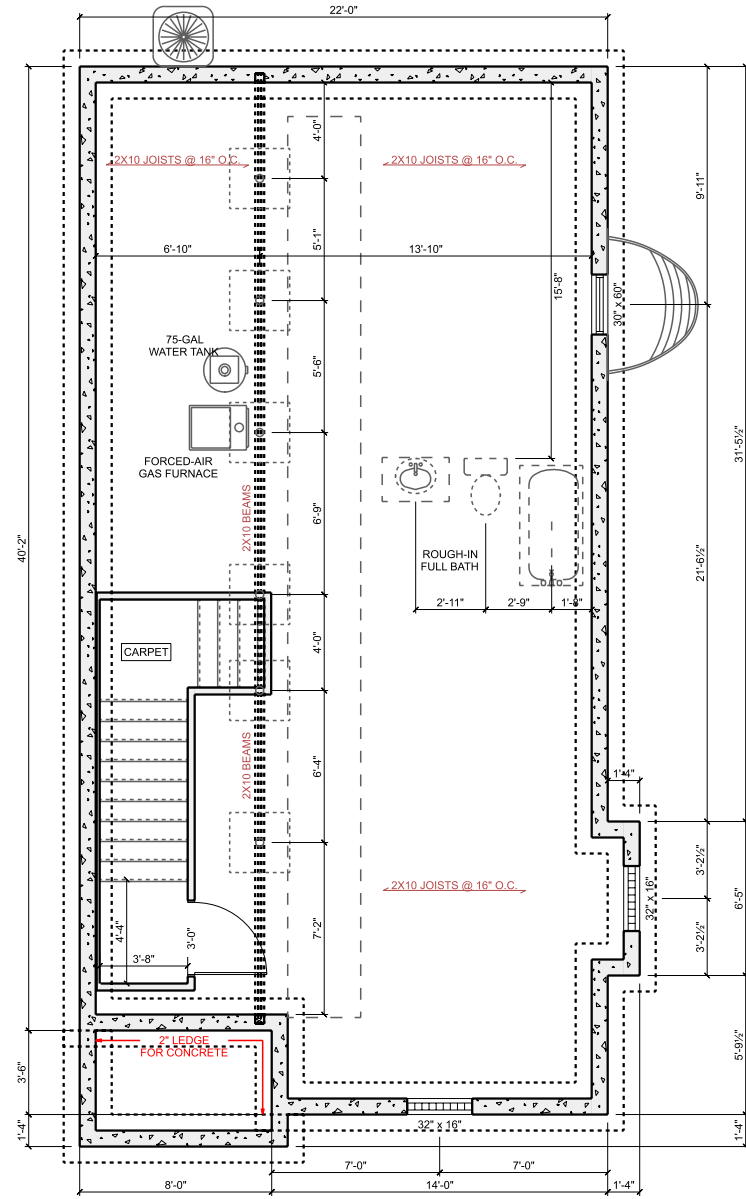


DRAWING SCHEDULE	
COVER SHEET	1
FOUNDATION	2
MAIN FLOOR	3
SECOND FLOOR	4
FRONT & REAR ELEVATIONS	5
SIDE ELEVATIONS	6
ROOF PLAN	7
SECTIONS 2X6	8
WALL SECTIONS	9
ADDITIONAL SECTIONS	10
STAIR DETAIL	11
CEILING DETAILS	12
GREAT ROOM ELEVATION	13
ADDITIONAL DETAILS	14
FLOOR FINISHES - MAIN FLOOR	15
FLOOR FINISHES - SECOND FLOOR	16
GENERAL NOTES	17
SCHEDULES	18

AREA SCHEDULE	
NAME	AREA
MAIN FLOOR	944 SQ. FT.
SECOND FLOOR	805 SQ. FT.
TOTAL FINISHED AREA	1,749 SQ. FT.
GARAGE	292 SQ. FT.
FRONT PORCH	40 SQ. FT.

REVISIONS SCHEDULE		
DATE	REVISION NOTES	INITIALS

<p>LEON RESIDENCE 1114 FOREST ROAD LAKEWOOD OH 44107</p>	<p>DRAWN BY: SCALE: As Noted DATE: 10/23/2025</p>	<p>PAGE: 1</p>	<p>COVER SHEET</p>
<p>Old World CUSTOM HOMES</p>		<p>Old World Classics, LLC 330.494.0228 www.oldworldclassics.com</p>	
<p>7056 Mears Gate Dr. NW North Canton, OH 44720</p>		<p>330.494.0228 www.oldworldclassics.com</p>	

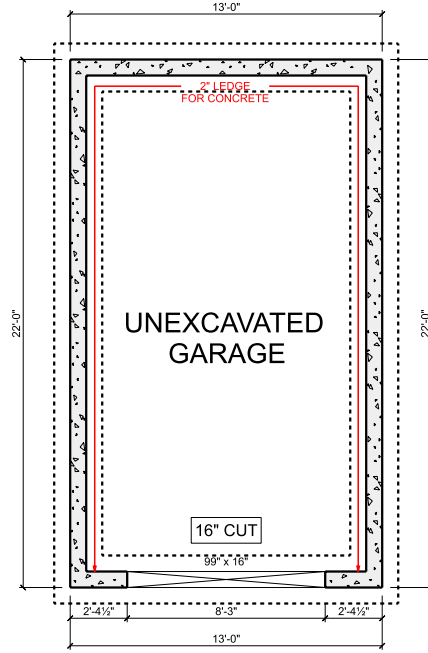


POST & BEAM PLACEMENT WILL BE MODIFIED DURING ENGINEER REVIEW
 HVAC & PLUMBING/OTHER CEILING DROPS ARE REQUIRED AND LOCATIONS ON PLANS ARE A GUIDELINE. FINAL LOCATION OF DROPS CANNOT BE GUARANTEED

8' POURED FOUNDATION WALLS

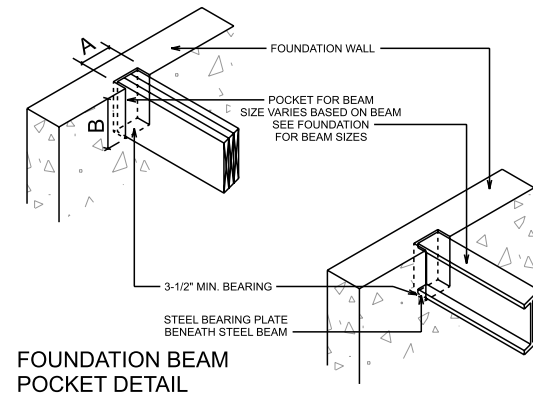
FOUNDATION

SCALE: 1/8" = 1'-0"



GARAGE FOUNDATION

SCALE: 1/8" = 1'-0"



POCKET SIZE CHART		
BEAM	"A"	"B"



Old World Classics, LLC

7056 Mears Gate Dr. NW
 North Canton, OH 44720

330.494.0228
 www.oldworldclassics.com

LEON RESIDENCE

1114 FOREST ROAD
 LAKEWOOD OH 44107

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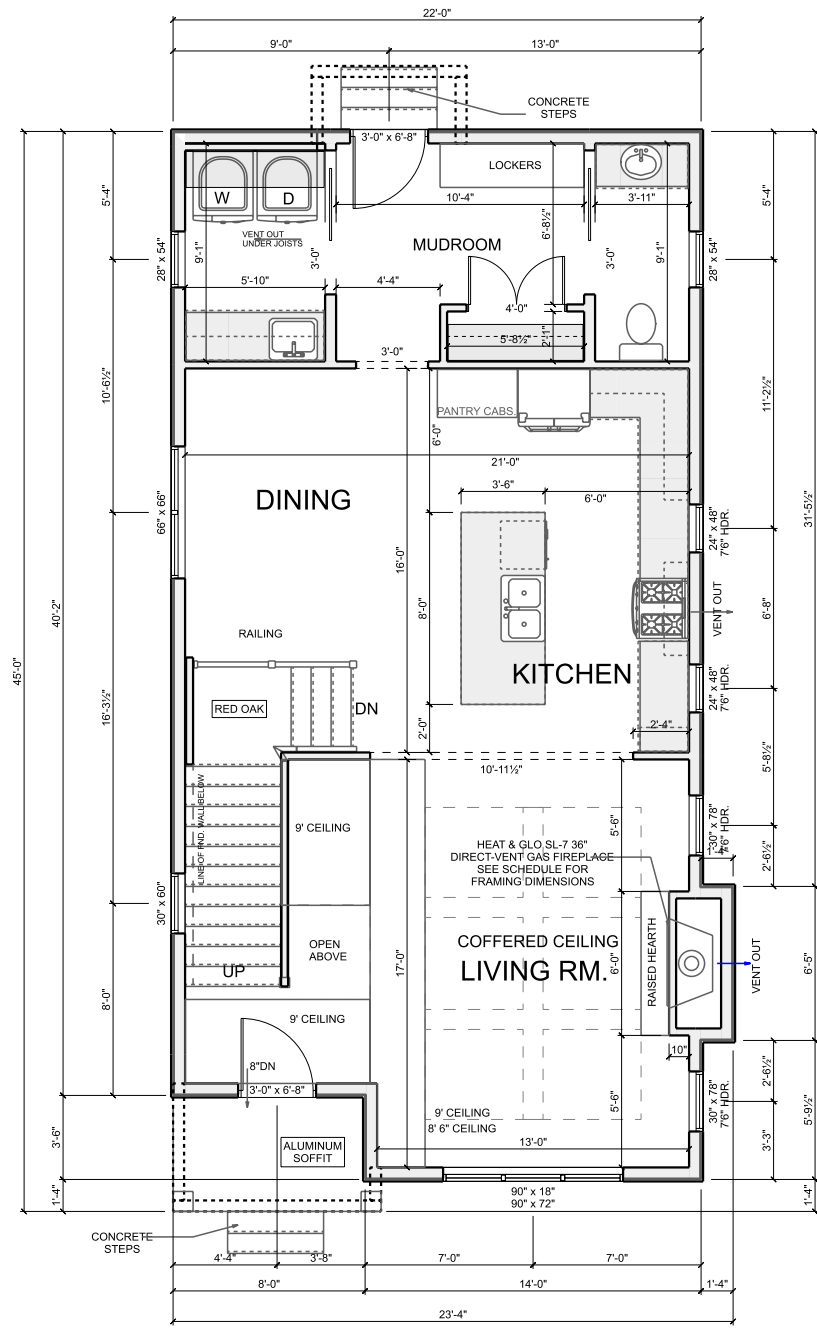
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DATE: 10/23/2025

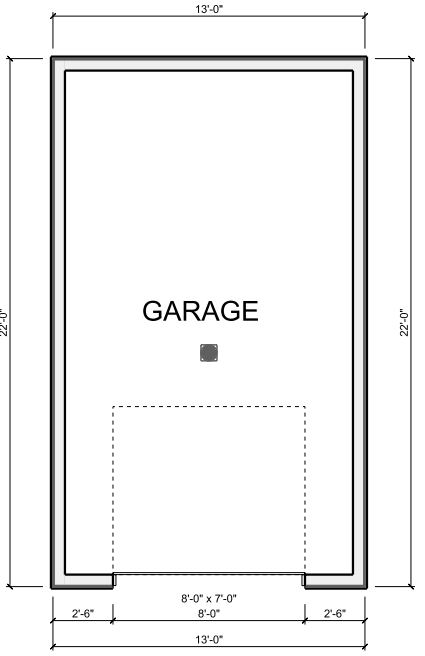


PAGE: **2**

FOUNDATION



9' WALL HEIGHTS
 6'8" DOOR HEIGHTS
 8' SQ. DRYWALL OPENINGS
 UNLESS OTHERWISE NOTED



GARAGE PLAN
 SCALE: 1/8" = 1'-0"

MAIN FLOOR
 SCALE: 1/8" = 1'-0"

LEON RESIDENCE

1114 FOREST ROAD
 LAKEWOOD OH 44107

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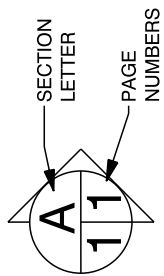
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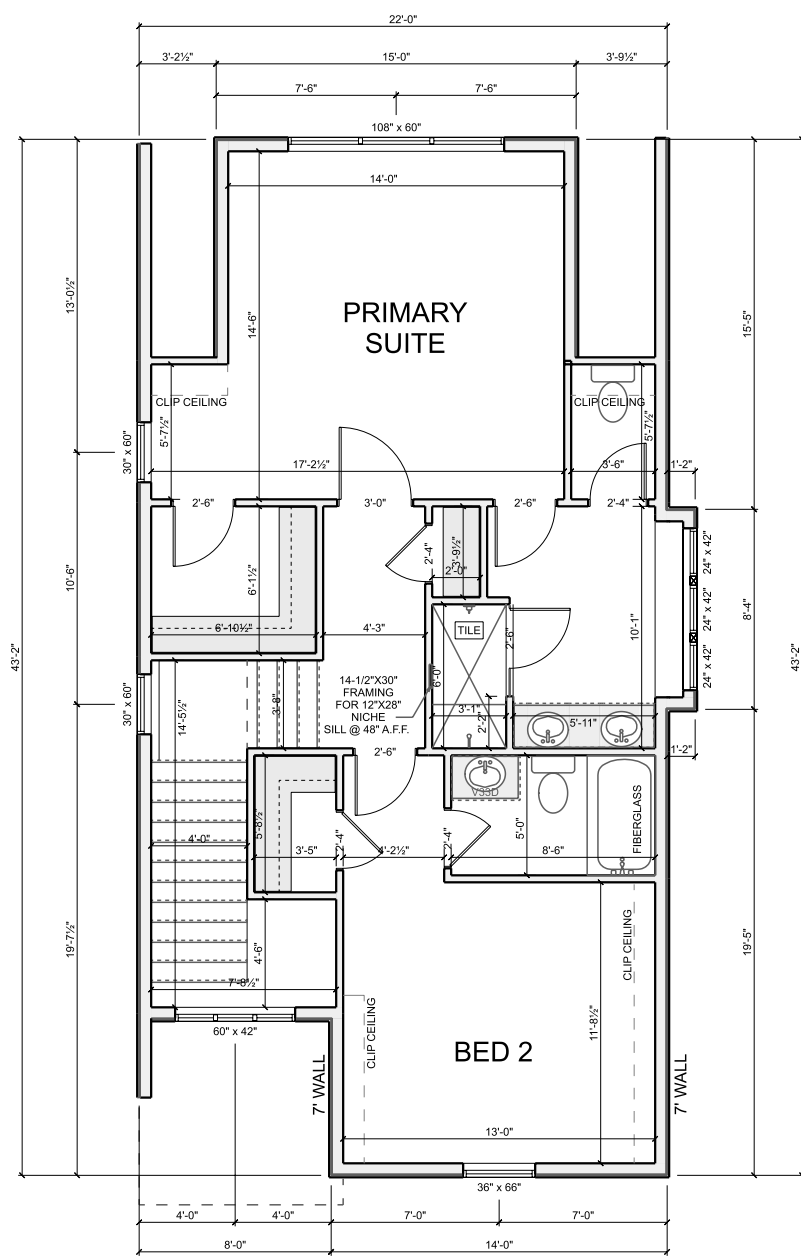
MAIN FLOOR



Old World Classics, LLC

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 North Canton, OH 44720



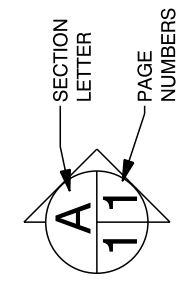
8' WALL HEIGHTS
 6'8" SOLID CORE DRS.
 UNLESS OTHERWISE NOTED

SECOND FLOOR

SCALE: 1/8" = 1'-0"



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 7056 Mears Gate Dr. NW
 North Canton, OH 44720
 330.494.0228
 www.oldworldclassics.com



LEON RESIDENCE

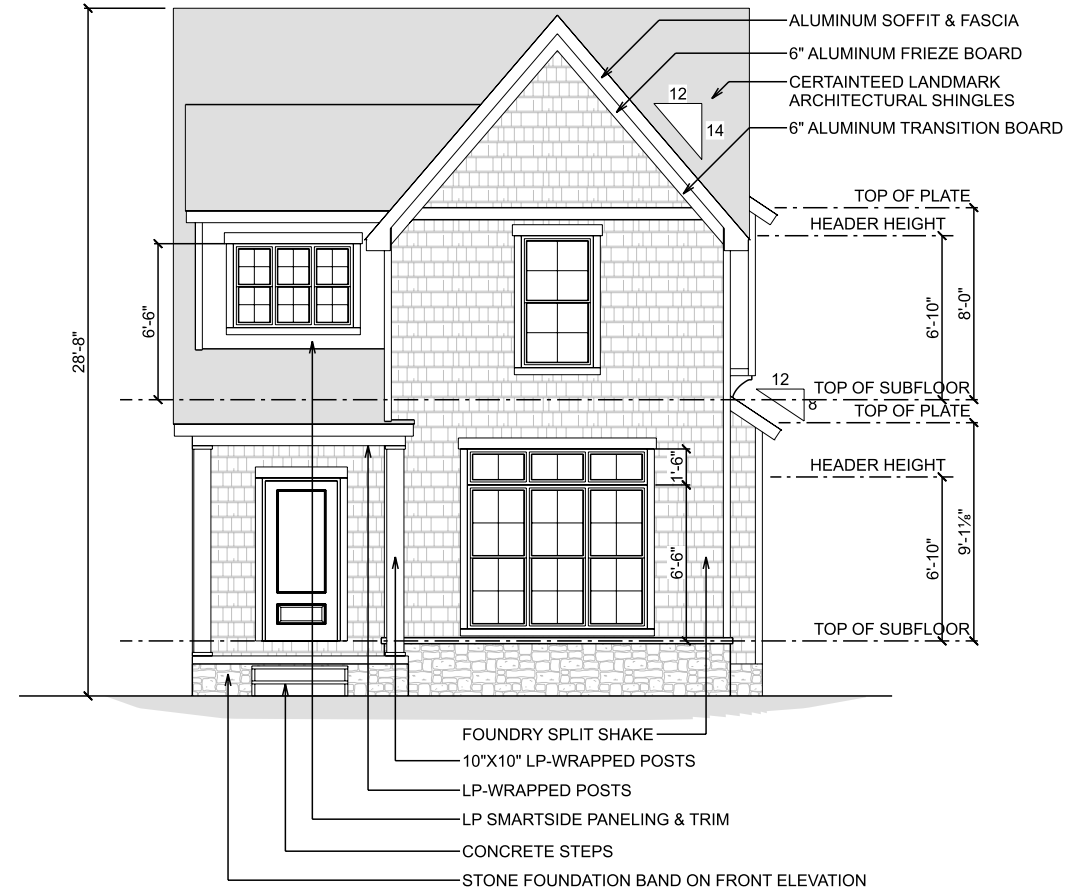
1114 FOREST ROAD
 LAKEWOOD OH 44107

DRAWN BY: _____ PAGE: **4**

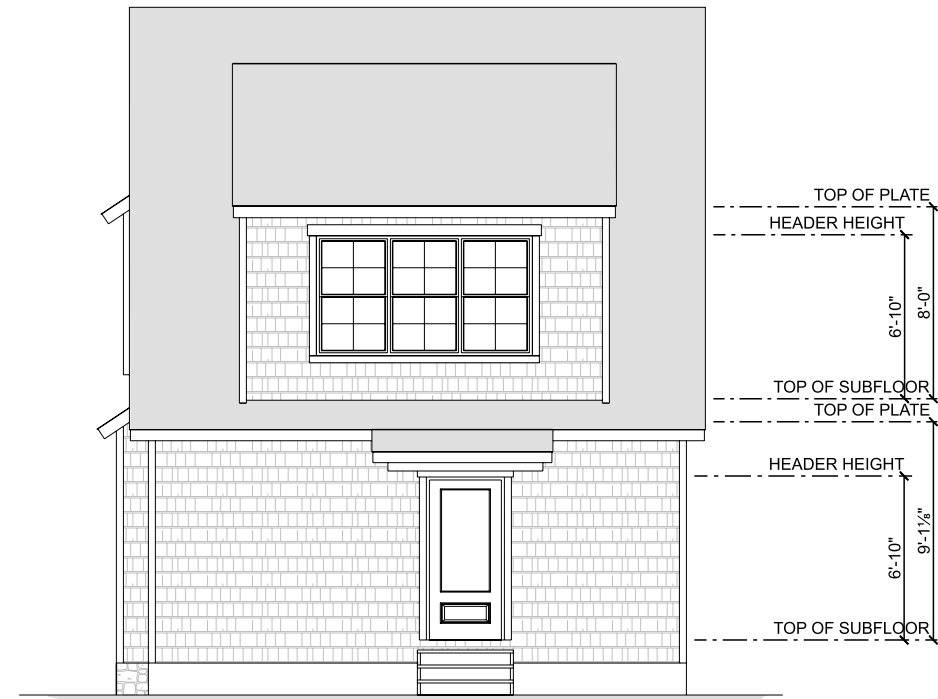
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DATE: 10/23/2025

SECOND FLOOR



FRONT ELEVATION
SCALE: 1/8" = 1'-0"

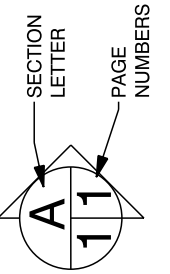


REAR ELEVATION
SCALE: 1/8" = 1'-0"

PROVIA HEARTTECH 5" DOUBLE LAP SIDING ON SIDES & REAR	PROVIA CEDAR PEAKS VINYL BOARD & BATTEN ON FRONT ELEVATION
LP SMARTSIDE PANELING & TRIM	8"X30" FYPON VENTS FLV8X30
STONE FOUNDATION BAND ON ALL ELEVATIONS	CASA DI SASSI CAST STONE VENEER ON FRONT ELEVATION
STONE HEADERS IN STONE AREAS	STUCCO ON FRONT ELEVATION
ALUMINUM SOFFIT & FASCIA	6" ALUMINUM FRIEZE BOARDS
6" ALUMINUM TRANSITION BOARDS	3-1/2" HARDIE SIDING CORNERS
3-1/2" ALUMINUM WINDOW WRAP ON FRONT ELEVATION	PELLA IMPERVIA WINDOWS
TIMBERTECH TERRAIN DECK W/ CEDAR RAILS AND BALUSTERS	10"X10" LP WRAPPED BEAMS & LP GABLE DETAIL ON REAR PORCH
10"X10" LP WRAPPED POSTS ON REAR PORCHE	CERTAINEED LANDMARK ARCHITECTURAL SHINGLES
STANDING SEAM METAL ROOF ON FRONT ELEVATION	WAYNE-DALTON 9100-SERIES GARAGE DOORS

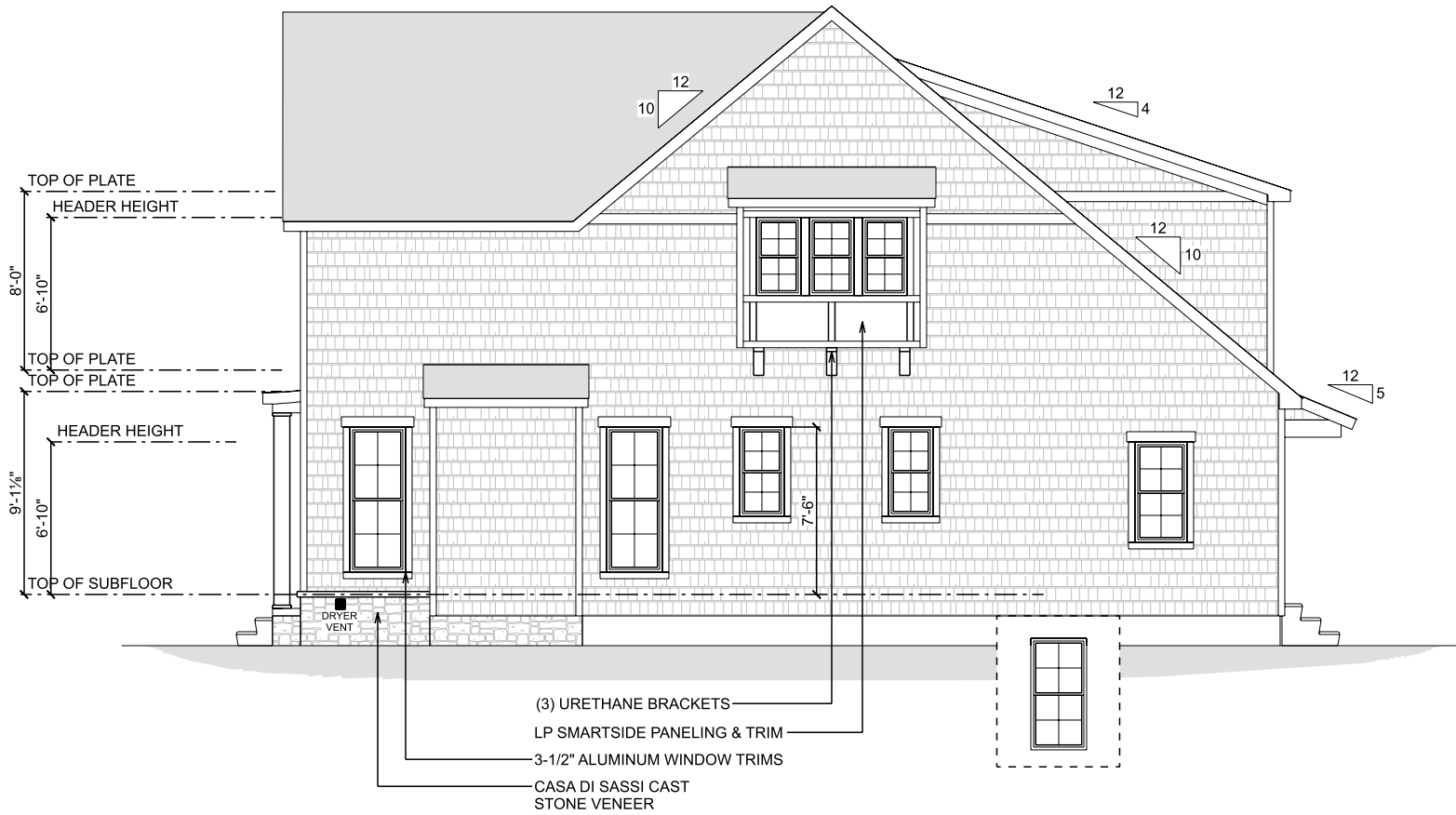
LEON RESIDENCE

1114 FOREST ROAD
LAKEWOOD OH 44107



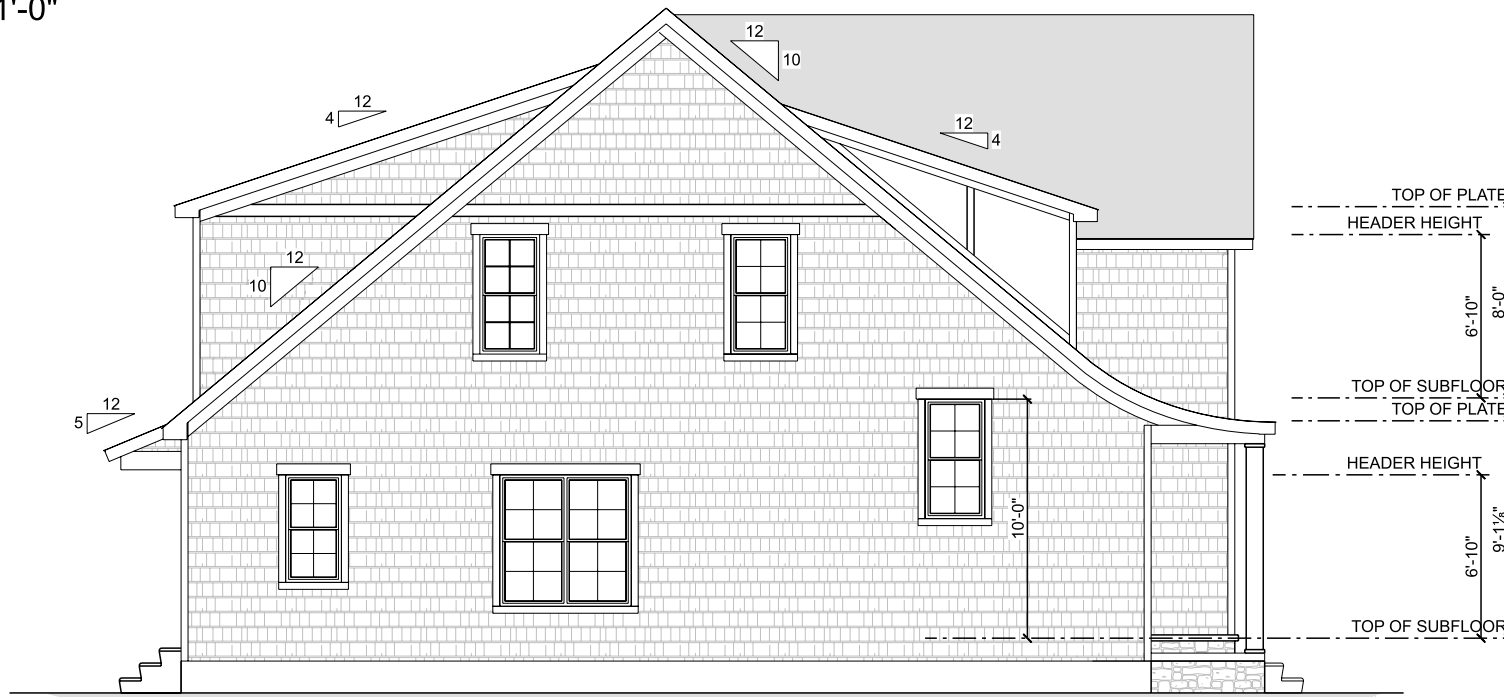
Old World Classics, LLC

7056 Mears Gate Dr. NW
North Canton, OH 44720
330.494.0228
www.oldworldclassics.com



RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



LEFT ELEVATION

SCALE: 1/8" = 1'-0"

ROVIA HEARTTECH 5" DOUBLE LAP SIDING ON SIDES & REAR	PROVIA CEDAR PEAKS VINYL BOARD & BATTEN ON FRONT ELEVATION
SMARTSIDE PANELING & TRIM	8"X30" FYPON VENTS FLV8X30
TONE FOUNDATION BAND ON ALL ELEVATIONS	CASA DI SASSI CAST STONE VENEER ON FRONT ELEVATION
TONE HEADERS IN STONE AREAS	STUCCO ON FRONT ELEVATION
ALUMINUM SOFFIT & FASCIA	6" ALUMINUM FRIEZE BOARDS
ALUMINUM TRANSITION BOARDS	3-1/2" HARDIE SIDING CORNERS
1/2" ALUMINUM WINDOW WRAP ON FRONT ELEVATION	PELLA IMPERVIA WINDOWS
IMBERTECH TERRAIN DECK W/ CEDAR RAILS AND BALUSTERS	10"X10" LP WRAPPED BEAMS & LP GABLE DETAIL ON REAR PORCH
3"X10" LP WRAPPED POSTS ON REAR PORCHE	CERTAINTED LANDMARK ARCHITECTURAL SHINGLES
TANDING SEAM METAL ROOF ON FRONT ELEVATION	WAYNE-DALTON 9100-SERIES GARAGE DOORS

LEON RESIDENCE

1114 FOREST ROAD
LAKEWOOD OH 44107

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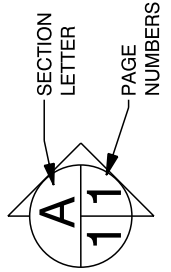
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DATE: 10/23/2025

PAGE:

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SIDE ELEVATIONS



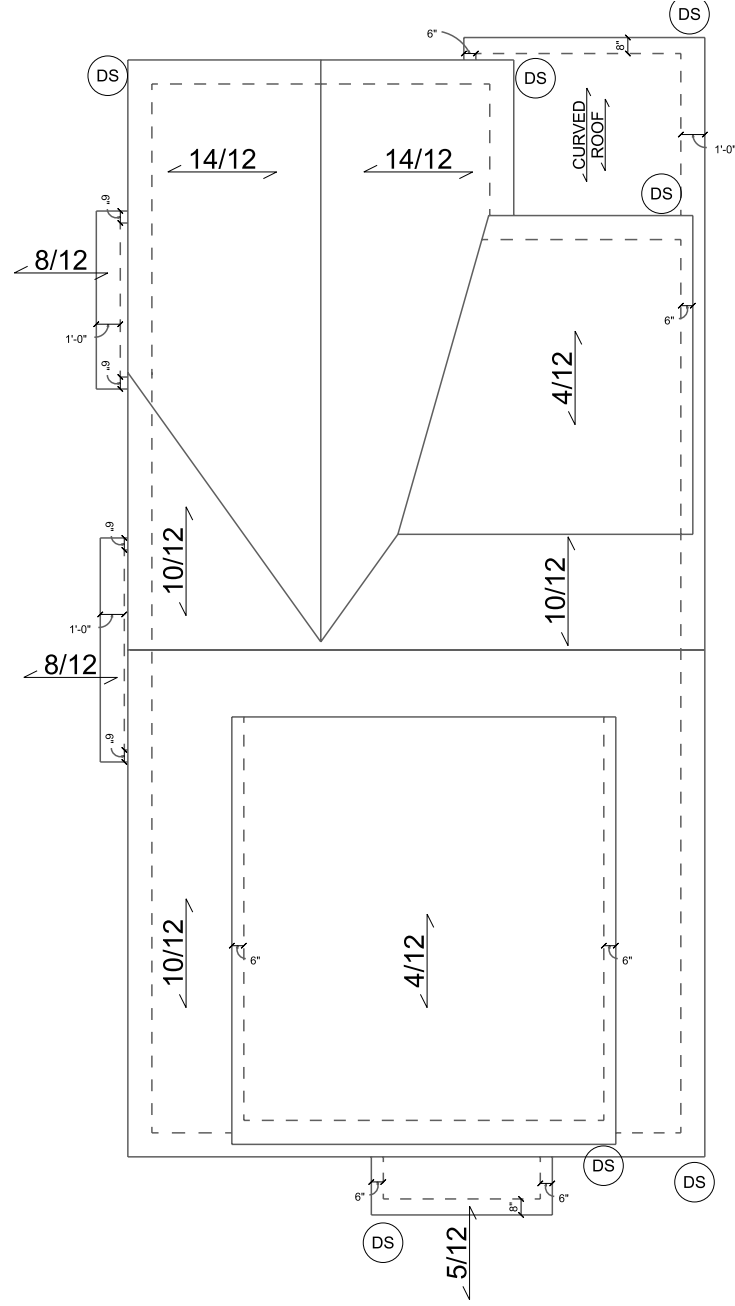
Old World Classics, LLC

330.494.0228
www.oldworldclassics.com

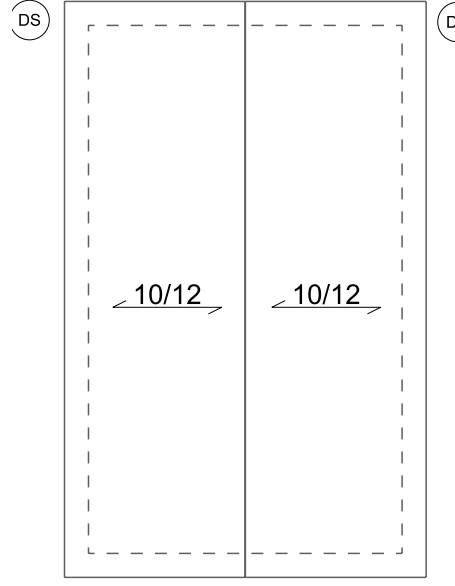
7056 Mears Gate Dr. NW
North Canton, OH 44720

ROOF PLAN

SCALE: 1/8" = 1'-0"



12" OVERHANGS TYPICAL
UNLESS OTHERWISE NOTED



ROOF PLAN

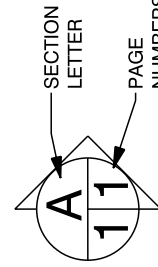
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LEON RESIDENCE

1114 FOREST ROAD
LAKEWOOD OH 44107

DRAWN BY:
SCALE: 1/8" = 1'-0"
DATE: 10/23/2025

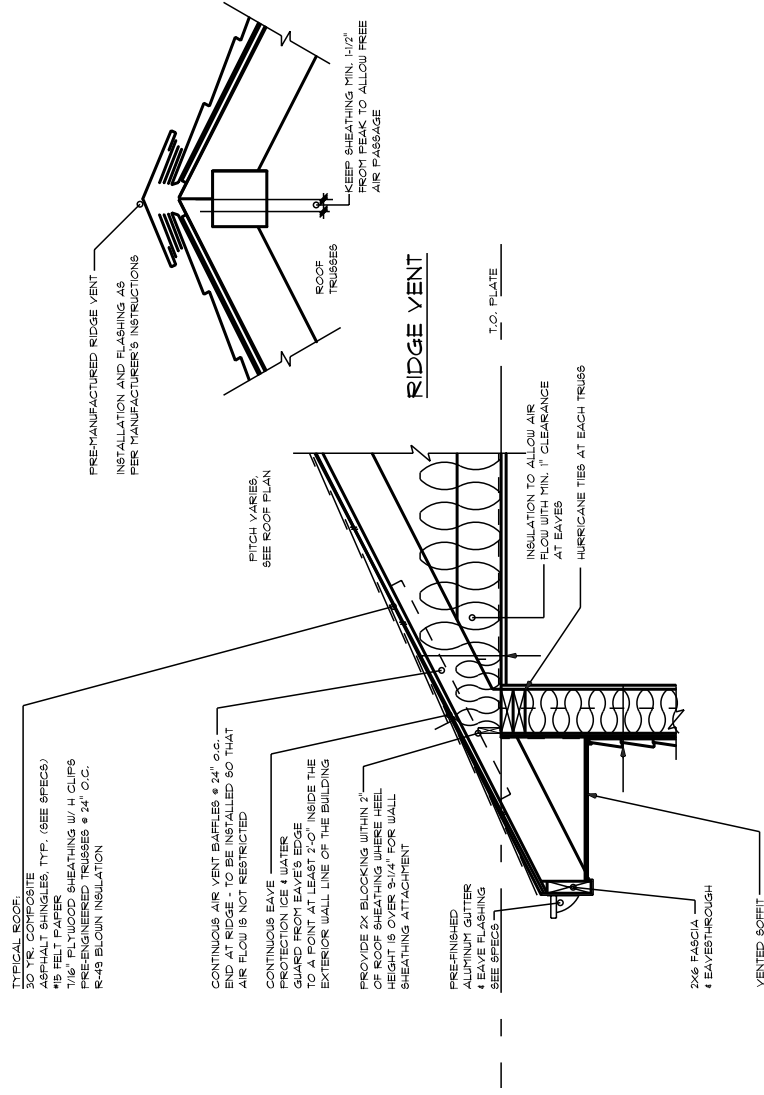
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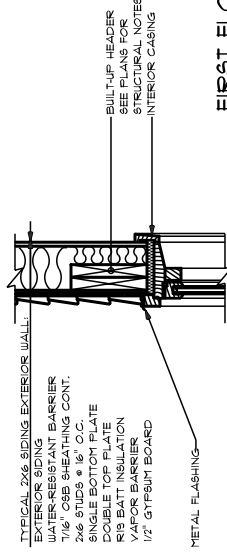
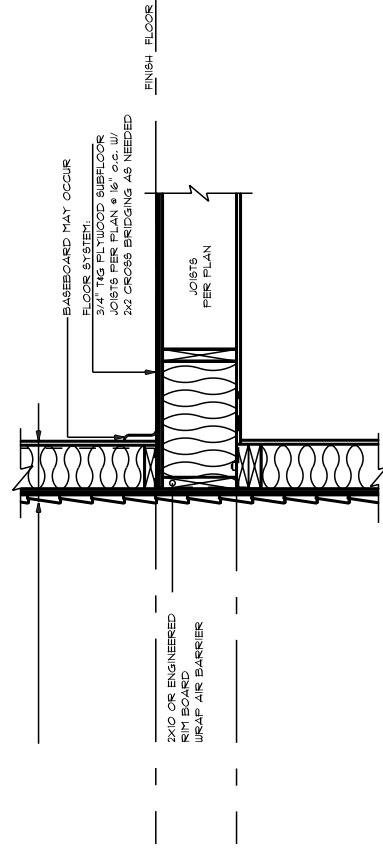
ROOF PLAN

SECTION - 2X6 WALLS

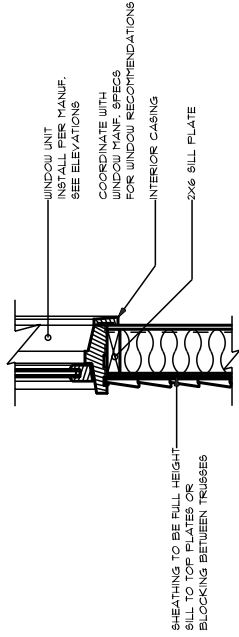
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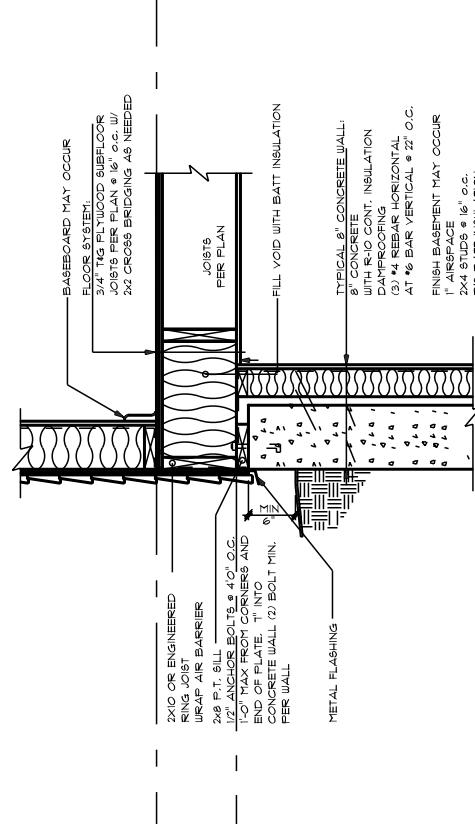
2X6/SIDING EAVE



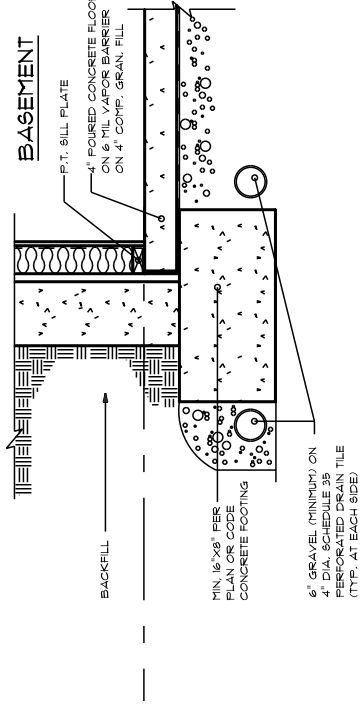
FIRST FLOOR



2X6/SIDING HEADER & SILL (TYP.)



BASEMENT



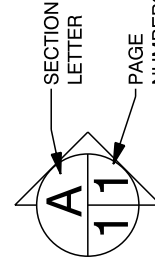
Old World Classics, LLC

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North Canton, OH 44720

330.494.0228
www.oldworldclassics.com

LEON RESIDENCE

1114 FOREST ROAD
LAKEWOOD OH 44107



SECTION LETTER
PAGE NUMBERS

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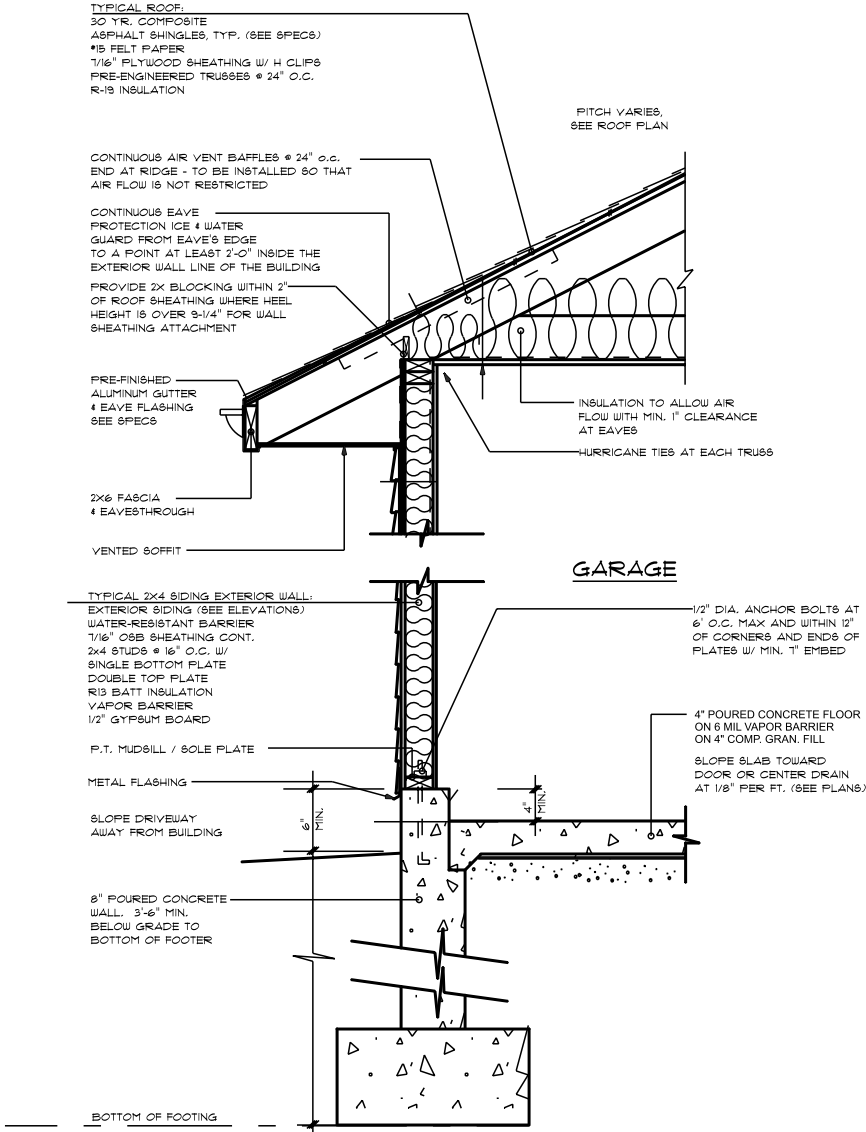
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PAGE:

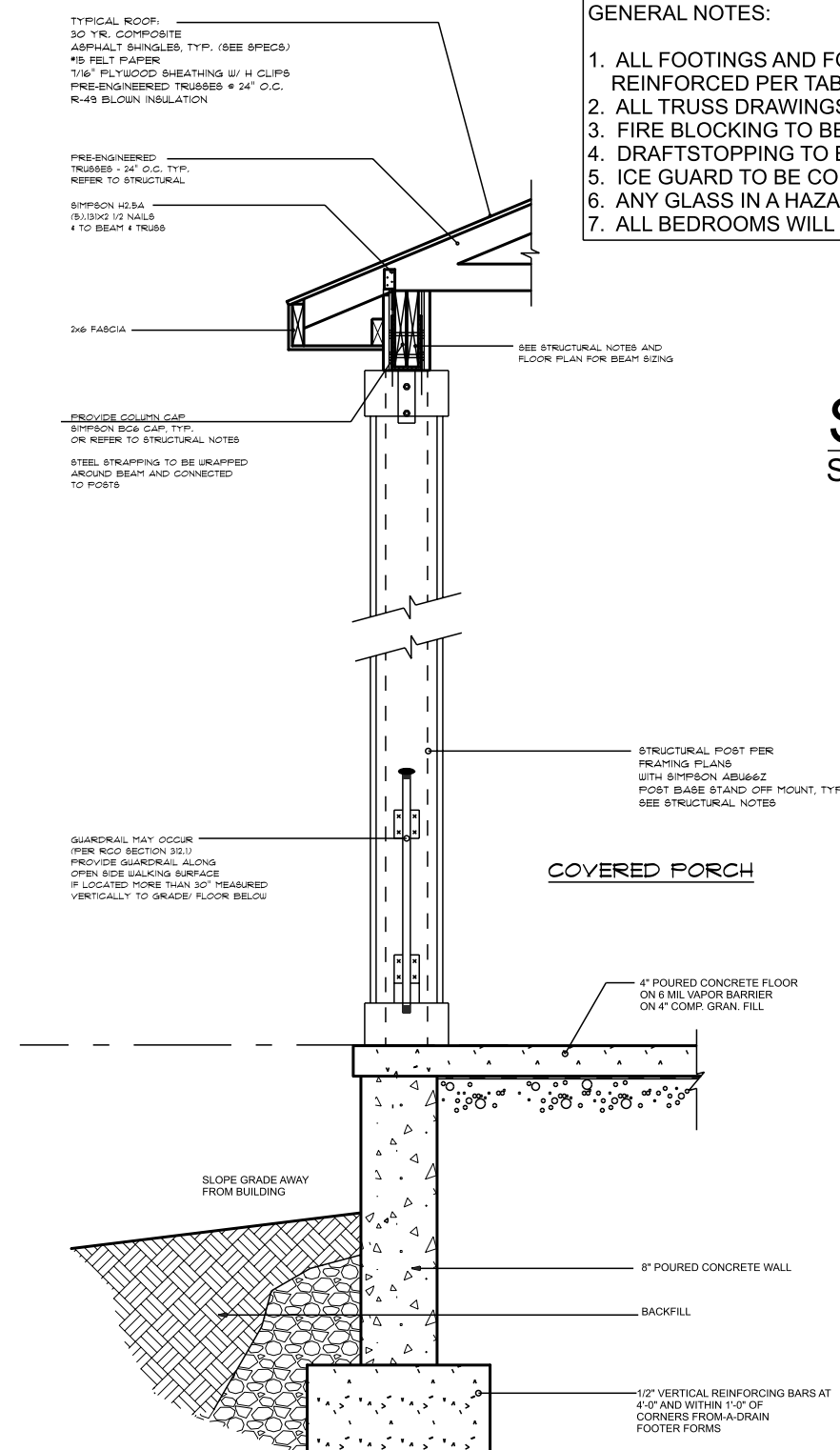
8

SECTIONS 2X6

- GENERAL NOTES:**
1. ALL FOOTINGS AND FOUNDATION WALLS TO BE SIZED AND REINFORCED PER TABLES 401.4.1, 403.1, 402.2, 404.1.1 (1)-(4)
 2. ALL TRUSS DRAWINGS TO BE ON SITE AND APPROVED PRIOR TO INSTALATION
 3. FIRE BLOCKING TO BE COMPLETED IN COMPLIANCE WITH R602.8
 4. DRAFTSTOPPING TO BE COMPLETED IN COMPLIANCE WITH R502.12
 5. ICE GUARD TO BE COMPLETED IN COMPLIANCE WITH R905.2.7.2
 6. ANY GLASS IN A HAZARDOUS AREA WILL BE TEMPERED (GLAZED) PER R308.4
 7. ALL BEDROOMS WILL HAVE 1 EMERGENCY & RESCUE OPENINGS PER R310.1 - 310.1.4



POURED CONCRETE FOOTING AT GARAGE
TYP. WALL SECTION
@ GARAGE



TYPICAL COVERED PORCH DETAIL

SECTION - 2X6 WALLS
 SCALE: 1/2" = 1'-0"

LEON RESIDENCE

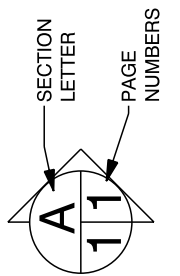
1114 FOREST ROAD
 LAKEWOOD OH 44107

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SCALE: 1/2" = 1'-0"

DATE: 10/23/2025

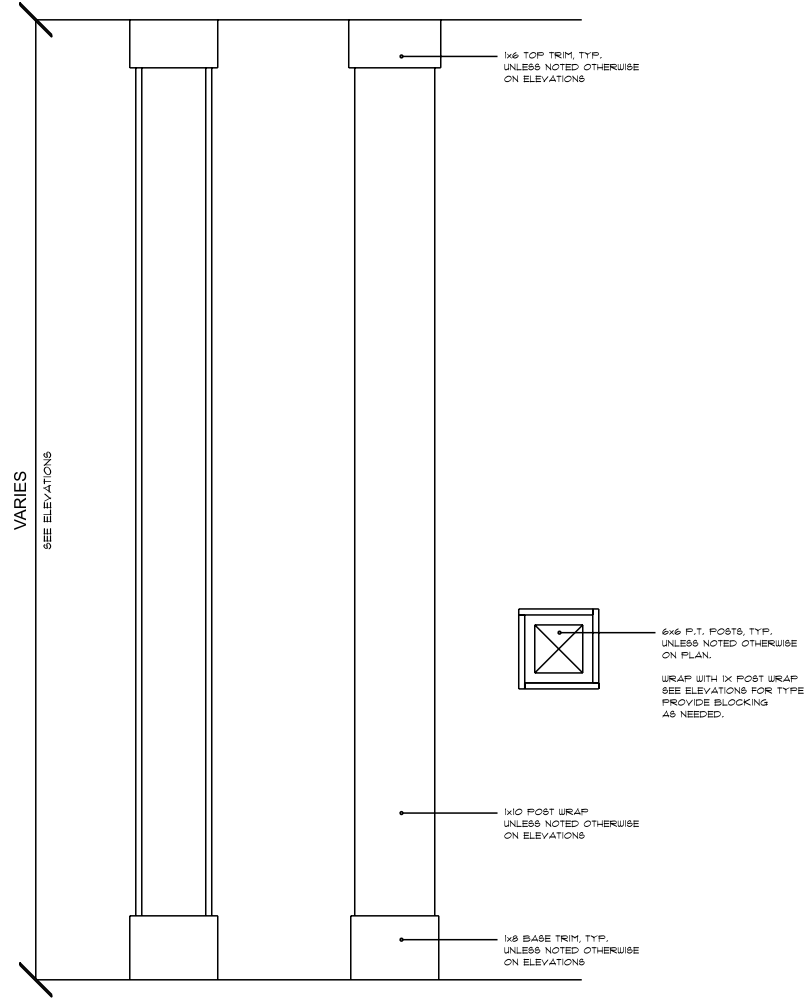
WALL SECTIONS



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STANDARD PORCH POST DETAIL

SCALE: 1/2" = 1'-0"

LEON RESIDENCE

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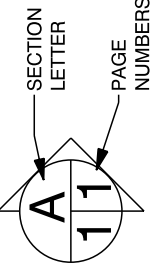
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DATE: 10/23/2025

PAGE: **10**

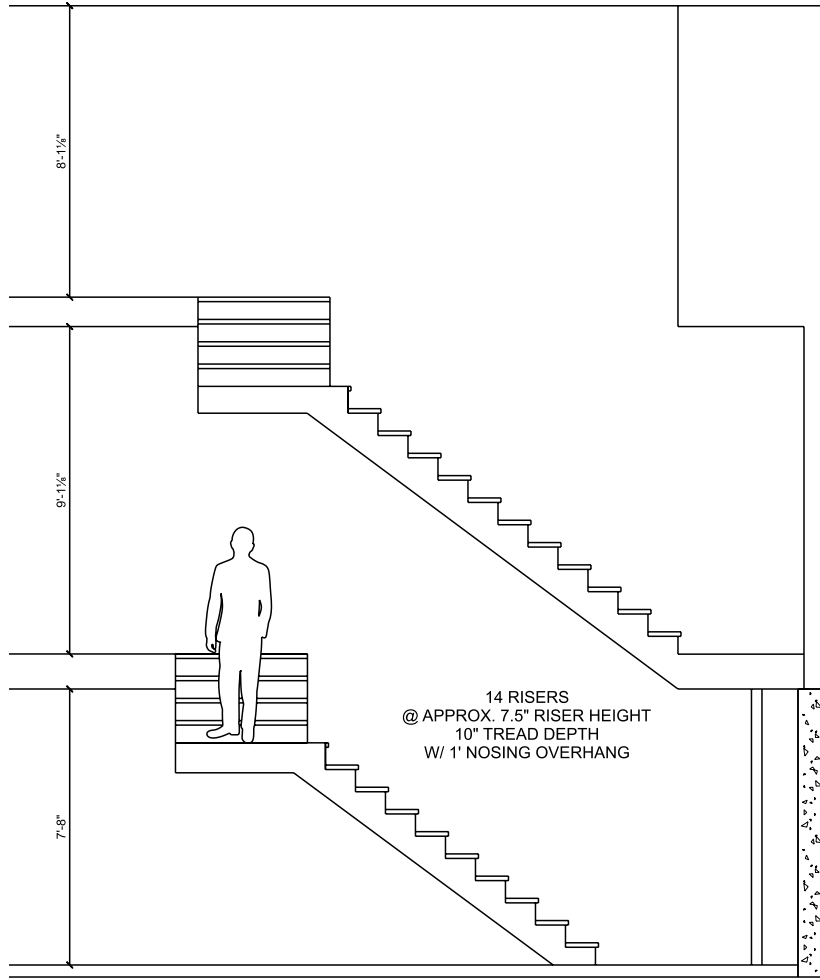
ADDITIONAL SECTIONS



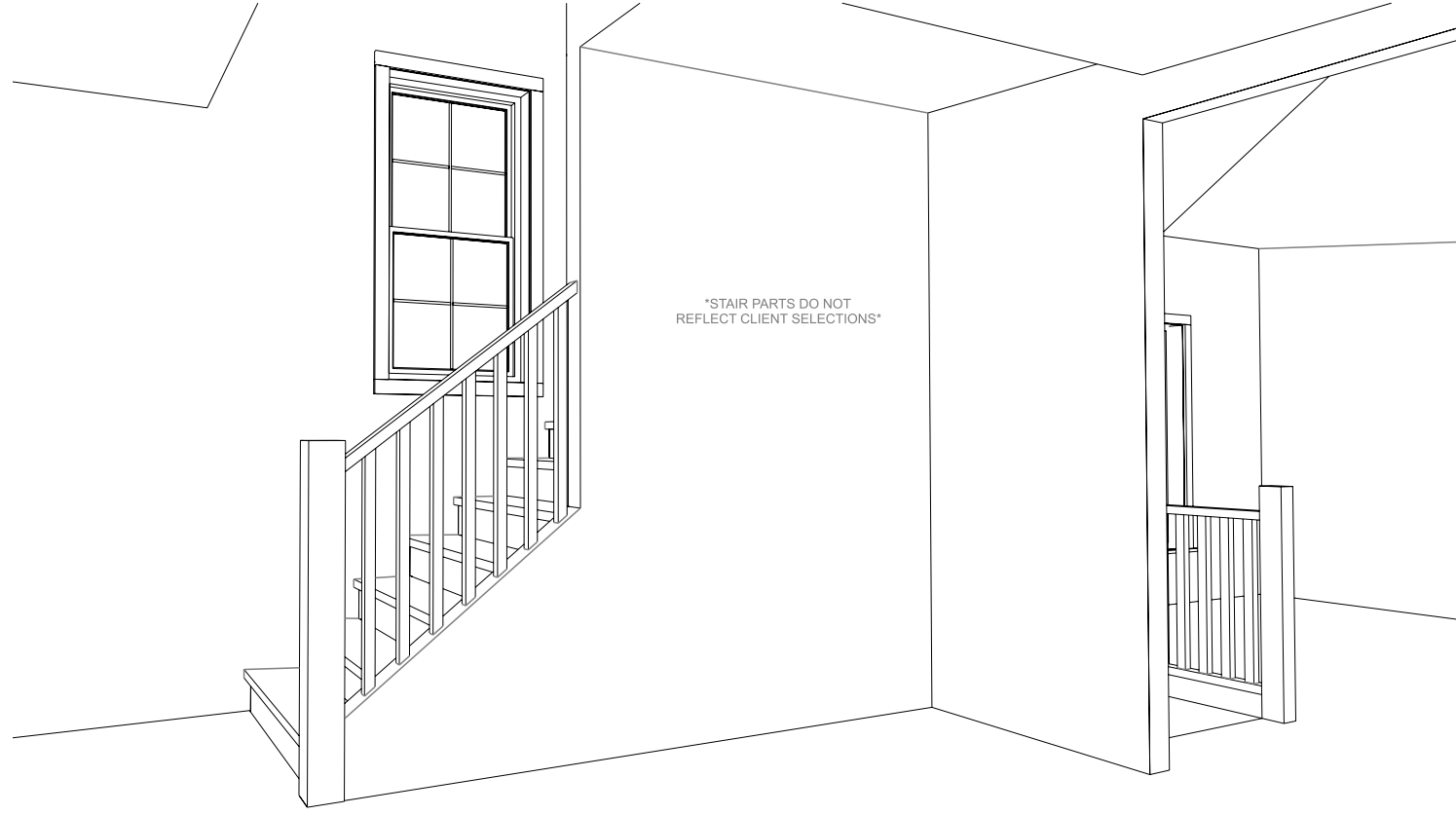
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STAIR DETAIL
SCALE: 3/16" = 1'-0"



STAIR DETAIL
SCALE: NOT TO SCALE



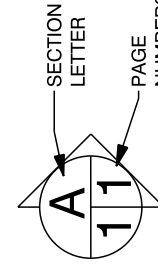
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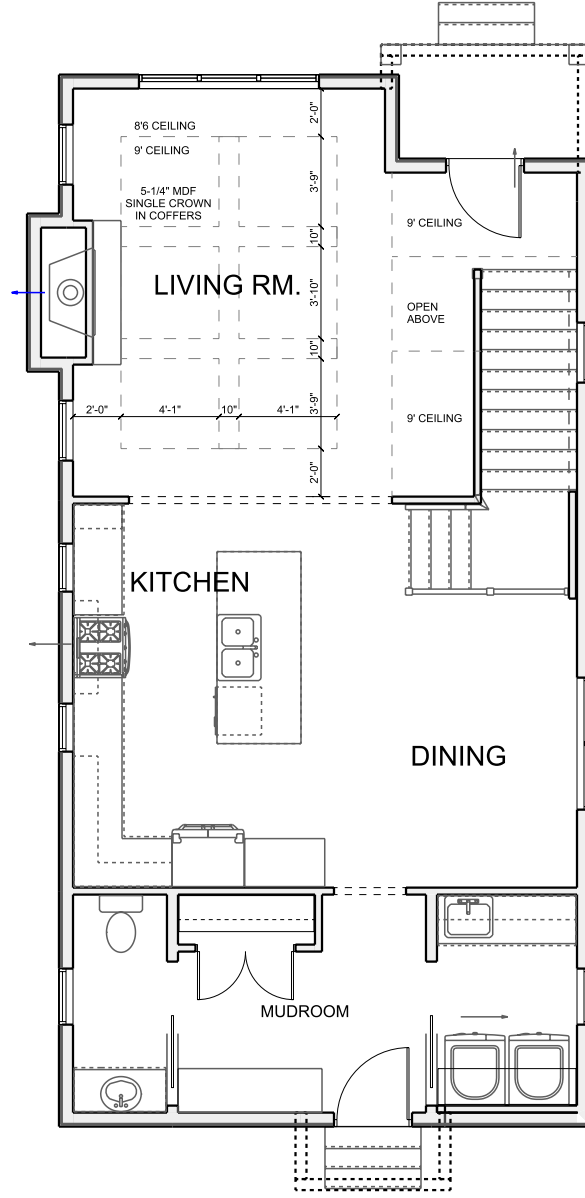
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SCALE: As Noted
DATE: 10/23/2025

PAGE:
11
STAIR DETAIL

CEILING DETAILS - MAIN FLOOR

SCALE: 1/8" = 1'-0"

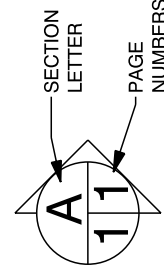
9' WALL HEIGHTS
 6'8" DOOR HEIGHTS
 8' SQ. DRYWALL OPENINGS
 UNLESS OTHERWISE NOTED



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DRAWN BY:

SCALE: 1/8" = 1'-0"

DATE: 10/23/2025

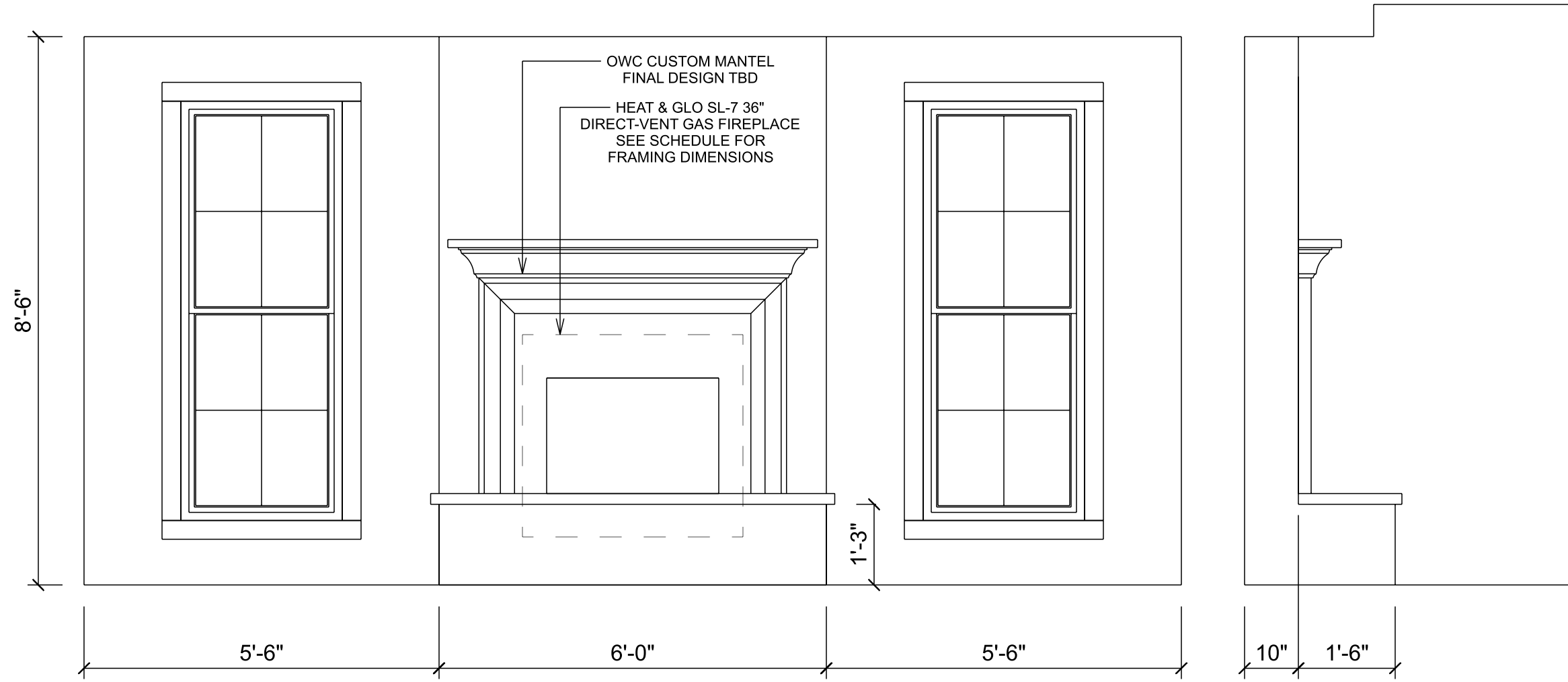
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12

CEILING DETAILS

GREAT ROOM FIREPLACE ELEVATION

SCALE: 1/2" = 1'-0"

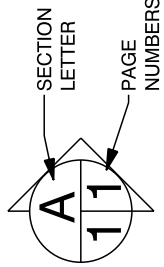


Old World
CUSTOM HOMES

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LEON RESIDENCE

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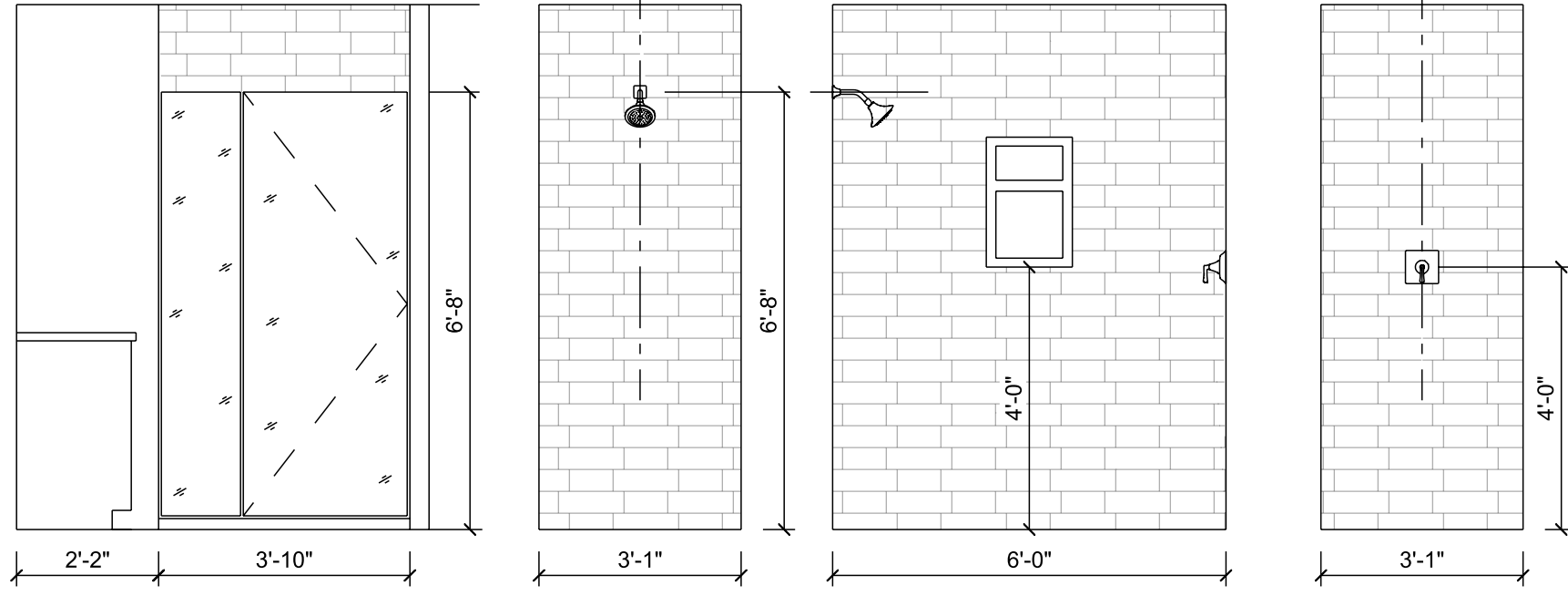


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SCALE: 1/2" = 1'-0"

PAGE:
13

DATE: 10/23/2025

GREAT ROOM ELEVATION



MASTER SHOWER DETAIL

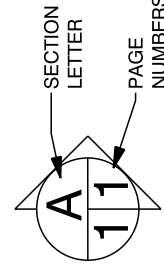
SCALE: 3/8" = 1'-0"



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LEON RESIDENCE

1114 FOREST ROAD
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DRAWN BY:

SCALE: 3/8" = 1'-0"

DATE: 10/23/2025

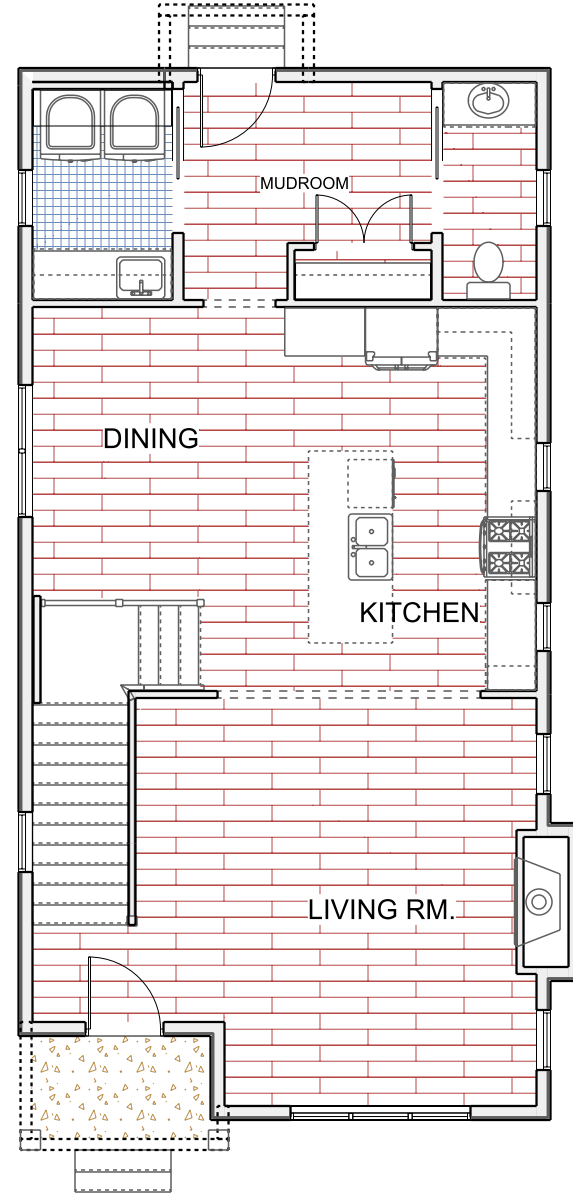
PAGE:

14

ADDITIONAL DETAILS

FLOOR FINISHES - MAIN FLOOR

SCALE: 1/8" = 1'-0"



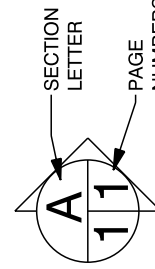
	FULL HEIGHT WALL TILE
	CARPET
	LVT
	LVP
	CONCRETE
HATCH SHOWING PLACEMENT ONLY	



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DRAWN BY:
SCALE: 1/8" = 1'-0"

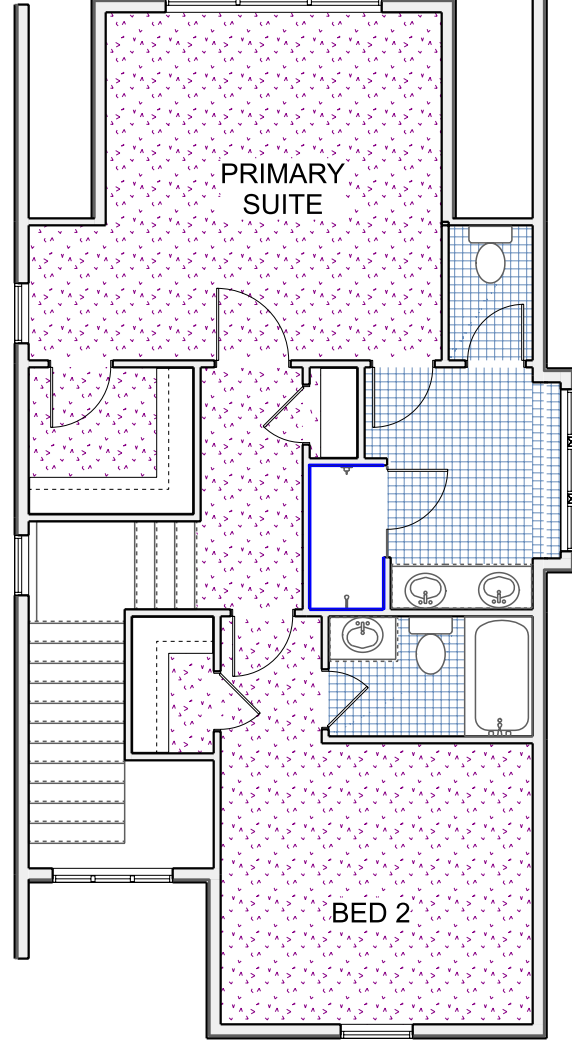
PAGE:

15

DATE: 10/23/2025 FLOOR FINISHES - MAIN FLOOR

FLOOR FINISHES - SECOND FLOOR

SCALE: 1/8" = 1'-0"



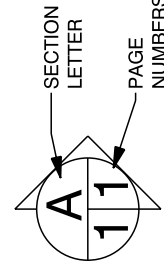
	FULL HEIGHT WALL TILE
	CARPET
	LVT
	LVP
	CONCRETE
HATCH SHOWING PLACEMENT ONLY	



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DRAWN BY:

SCALE: 1/8" = 1'-0"

PAGE: **16**

DATE: 10/23/2025 FLOOR FINISHES - SECOND FLOOR

GENERAL CONSTRUCTION NOTES

MISCELLANEOUS:

FOR ANY ELEMENTS OF CONSTRUCTION NOT SPECIFICALLY NOTED ON THESE PLANS, COMPLY WITH THE LATEST EDITION OF THE OBOA RESIDENTIAL CODE OF OHIO, UNLESS LOCAL BUILDING AND ZONING DEPARTMENTS ADGERE TO A SPECIFIC EDITION.

TRUSSES:

ALL TRUSSES ARE TO BE DESIGNED BY THE TRUSS MANUFACTURER WITH DETAIL DRAWINGS DESCRIBING TRUSS LAYOUTS AND LOAD CALCULATIONS USED TO DESIGN THE TRUSSES. IT IS THE BUILDER AND/OR OWNERS RESPONSIBILITY TO SUPPLY ANY/OR ALL OF THIS INFORMATION IF REQUESTED BY THE BUILDING DEPARTMENT TO ISSUE BUILDING PERMITS.

LIVE LOADS:

IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THAT ALL POINT LOADS TRANSFER TO THE FOUNDATION OR SPECIFIED BEARING LOCATIONS. STRUCTURE SHALL BE DESIGNED TO RESIST MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS PER RCO. 301.5

CONCRETE:

ALL CONCRETE SHALL COMPLY WITH ACI 318-08: "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" AND ACI 318-03: "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI. ALL EXTERIOR CONCRETE SHALL BE AIR-TRAINED PER RCO SECTION 402.2.

LUMBER:

IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THAT ALL LUMBER USED FOR THIS PROJECT MEETS OR EXCEEDS THE MINIMUM REQUIREMENTS OF STRENGTH AND MOISTURE CONTENT SET FORTH BY THE STATE AND LOCAL BUILDING CODES. PER RCO 502.1

TYP. SPF #2 OR BETTER Fb.....875 PSI

WALL STUDS SHALL BE A MINIMUM OF 2X6'S @ 16" O.C. AND SHALL BE ONE PIECE FULL HEIGHT AND A MINIMUM OF (2) STUDS AT EACH SIDES OF ALL OPENINGS THROUGH ALL WALLS UNLESS NOTED OTHERWISE

ALL EXTERIOR WALLS TO HAVE VAPOR BARRIER PER RCO 601.3
ALL EXTERIOR WALLS TO HAVE WATER RESISTANT BARRIER PER RCO 703.2
ALL WALL COVERINGS SHALL BE CAPABLE OF RESISTING WIND LOADS IN ACCORDANCE WITH TABLES 301.2(2) AND 301.2(3) PER RCO 703.1.2.

REFER TO THE TYPICAL WALL SECTION FOR SUBFLOOR AND ROOF SHEATHING THICKNESS AND MATERIAL TYPES.

BUILDING THERMAL ENVELOPE:

THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT INFILTRATION PER RCO. 1102.4.1. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSIONS AND CONTRACTION. THE FOLLOWING SHALL BE CAULKED, GASKETED, WEATHERSTRIPPED OR OTHERWISE SEALED WITH AN AIR BARRIER MATERIAL, SUITABLE FILM OR SOLID MATERIAL:

- ALL JOINTS, SEAMS, AND PENETRATIONS
- SITE-BUILT WINDOWS, DOORS, AND SKYLIGHTS
- OPENINGS BETWEEN WINDOW AND DOOR ASSEMBLIES AND THEIR RESPECTIVE JAMBS AND FRAMINGS
- UTILITY PROTECTIONS
- DROPPED CEILINGS OR CHASES ADJACENT TO THE THERMAL ENVELOPE
- KNEE WALLS
- WALLS & CEILINGS SEPARATING THE GARAGE FROM CONDITIONED SPACES
- BEHIND TUBS AND SHOWERS ON EXTERIOR WALLS
- ATTIC ACCESS OPENINGS
- OTHER SOURCES OF INFILTRATION

GENERAL CODE REQUIREMENTS

REFERENCE SECTIONS 1061.3 AND CHAPTER 44 OF THE RESIDENTIAL CODE OF OHIO

ROOFS:

ROOF SHINGLES SHALL BE APPLIED OVER A MINIMUM OF ONE POLY OF #15 FELT SHALL BE LAID PARALLEL TO THE EAVES, WITH A 2" TOP LAP AND 4" END LAP. FOR A ROOF WITH A 4/12 OR LESS PITCH REFER TO RCO SECTION 905.2. ICE GUARD AND WATERSHIELD AT ALL EAVES AND VALLEYS.

ATTICS:

ALL ENCLOSED ATTICS AND RAFTER SPACES SHALL HAVE CROSS VENTILATION WITH THE NET FREE VENTILATING AREA NOT LESS THAN 1/300 OF THE AREA TO BE VENTILATED. ALL OPENINGS SHALL BE PROTECTED AGAINST THE ENTRANCE OF SNOW AND RAIN.

MECHANICALS:

ALL PLUMBING, ELECTRICAL, HEATING AND COOLING SYSTEMS SHALL COMPLY WITH ALL ORDINANCES SET FORTH BY THE LOCAL GOVERNING BUILDING AND ZONING DEPARTMENTS. PLUMBING SHALL ALSO COMPLY WITH THE OHIO PLUMBING CODE. ELECTRICAL SHALL ALSO COMPLY WITH THE NATIONAL ELECTRIC CODE AND THE 2019 RESIDENTIAL CODE OF OHIO.

SMOKE & CARBON DETECTORS:

ALL SMOKE & CARBON DETECTORS SHALL BE HARDWIRED & INTERCONNECTED WITH A BATTERY BACK-UP. THEY SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH ADDITIONAL STORY OF THE BUILDING PER RCO. 314.3 AND 315.1

FIRESTOPPING:

SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: CONCEALED SPACES OF STUD WALLS AND PARTITIONS AT THE CEILING AND FLOOR, OR ROOF LEVELS. AT ALL INTERCONNECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES SUCH AS OCCURS AR SOFFITS OVER CABINETS, DROP CEILINGS, ETC. ALSO AROUND VENTS, PIPES, AND CHIMNEYS AT CEILING AND FLOOR LEVELS, WITH NONCOMBUSTABLE MATERIALS.

INSULATION:

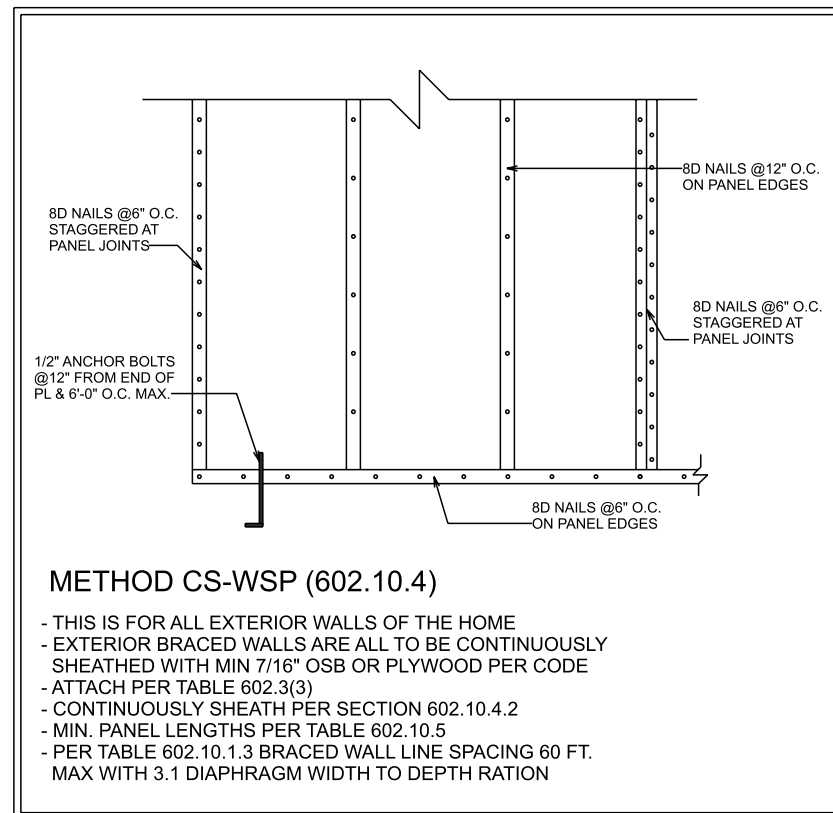
INSULATION SHALL BE INSTALLED AND ALSO COMPLY WITH ALL MINIMUM ORDINANCES SET FORTH BY THE LOCAL GOVERNING BUILDING AND ZONING DEPARTMENTS. REFER TO THE TYPICAL WALL SECTIONS FOR R-VALUES AND LOCATIONS.

SHEATHING:

EXTERIOR WALLS & ROOF SHALL BE CONTINUOUSLY SHEATHED WITH MIN. 7/16" OSB OR PLYWOOD PER SECTION 602.10 NAILED W/ 8D NAILS AT 6" O.C. AT ALL PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS.

FIREPLACES:

ALL CHIMNEYS AND FIREPLACES SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS OF 2013 RCO AND INSTALLED PER THE ORDINANCES SET FORTH BY THE LOCAL GOVERNING BUILDING AND ZONING DEPARTMENTS. IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THE ROUGH-OPENING DIMENSIONS FOR ALL PRE-FAB FIREPLACES WITH THE ACTUAL UNIT TO BE INSTALLED, PRIOR TO FRAMING.



METHOD CS-WSP (602.10.4)

- THIS IS FOR ALL EXTERIOR WALLS OF THE HOME
- EXTERIOR BRACED WALLS ARE ALL TO BE CONTINUOUSLY SHEATHED WITH MIN 7/16" OSB OR PLYWOOD PER CODE
- ATTACH PER TABLE 602.3(3)
- CONTINUOUSLY SHEATH PER SECTION 602.10.4.2
- MIN. PANEL LENGTHS PER TABLE 602.10.5
- PER TABLE 602.10.1.3 BRACED WALL LINE SPACING 60 FT. MAX WITH 3.1 DIAPHRAGM WIDTH TO DEPTH RATION

BRACED WALL PANELS (NOT TO SCALE)

STAIR REQUIREMENTS:

- MIN. STAIR WIDTH EXCLUDING WALL HANDRAIL.....3'-0"
- MINIMUM TREAD DEPTH.....9"
- MAXIMUM RISER HEIGHT.....8-1/4"
- MAXIMUM VARIANCE IN RISER HEIGHT.....3/8"
- MAXIMUM NOSING PROJECTION.....1"
- MINIMUM HEADROOM HEIGHT AT STAIR ANGLE.....6'-8"
- MINIMUM/MAXIMUM HANDRAIL HEIGHT.....34" / 38"
- MAXIMUM BALUSTER SPACING (CLEAR OPENING).....<4"
- MINIMUM GUARDRAIL HEIGHT AT STAIRS.....34"
- MINIMUM GUARDRAIL HEIGHT AT DECKS & BALCONIES.....36"
- MAXIMUM HAND GRIP WIDTH.....2-1/4"
- MINIMUM DISTANCE BETWEEN WALL AND HANDRAIL.....1-1/2"

LEON RESIDENCE

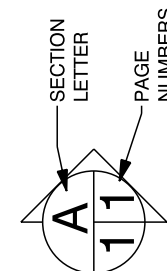
1114 FOREST ROAD
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GENERAL NOTES



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FIREPLACE FRAMING SPECIFICATIONS					
	H&G SL-7 36"	H&G RUTHERFORD 42"	H&G COTTAGEWOOD 42"	SIMPLIFIRE ALLUME PLATINUM 50"	H&G VESPER 42"
FRAMING WIDTH	42"	53-7/8"	51-1/2"	51"	48-1/2"
FRAMING HEIGHT	38-1/4"	74-1/4"	59-3/4"	19-3/4"	34-1/4"
FRAMING DEPTH	16-1/4"	28-1/2"	28-1/2"	2X6	19-3/4"

OVERALL BUILDING DIMENSIONS	
LENGTH	45'-0"
WIDTH	23'-4"
HEIGHT	28'-8"

POURED CONCRETE INFORMATION	
LOCATION/TYPE	COMPRESSIVE STRENGTH
INTERIOR SLABS (EXCEPT GARAGE)	2500 PSI
FOUNDATION WALLS	3000 PSI
PORCH & GARAGE SLABS	3500 PSI

LEON RESIDENCE

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LAKESWOOD OH 44107

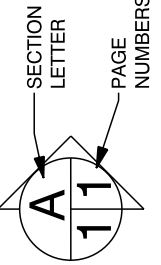
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SCHEDULES



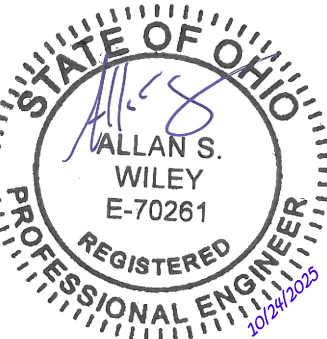
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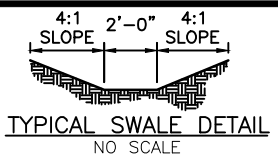
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LEGEND

- CAPPED REBAR TO BE SET
- CURVE DATA
- ⊗ EXISTING FIRE HYDRANT
- ⊗ EXISTING VALVE
- EXISTING MANHOLE
- EXISTING BOX INLET
- EXISTING CURB INLET
- ⊗ EXISTING LIGHT POLE
- ⊗ EXISTING POWER POLE
- FLOW DIRECTION OF DRAINAGE
- 00.00 NEW FINISHED GRADE ELEVATION
- 00.0 EXISTING FINISHED GRADE ELEVATION
- 00.00 NEW FINISHED TOP CONCRETE GRADE ELEVATION
- C.O. NEW LATERAL CLEAN OUT
- NEW TEMPORARY EROSION CONTROL (SILT SOXX)
- NEW TEMPORARY EROSION CONTROL AT INLET, USE ADS FLEXSTORM
- 780 NEW FINISHED GRADE CONTOURS
- 780 EXISTING GRADE CONTOURS
- SAN EXISTING SANITARY SEWER
- LAT EXISTING SANITARY LATERAL
- LAT NEW SANITARY LATERAL
- ST EXISTING STORM SEWER
- RD EXISTING STORM LATERAL
- RD NEW STORM LATERAL
- W EXISTING WATER MAIN
- WS EXISTING WATER SERVICE
- WS NEW WATER SERVICE
- E NEW UTILITY SERVICE



UTILITY CONNECTION NOTES:
 1. SANITARY LATERAL TO BE 6" AT 1.00% MIN.
 2. STORM LATERAL TO BE 6" AT 1.00% MIN.
 3. SANITARY WILL ENTER HOME UNDER FOOTER.
 4. WATER WILL ENTER HOME THROUGH A SLEEVE IN THE WALL A MIN. OF 2' ABOVE SANITARY AND WILL BE 1" DIAMETER COPPER.

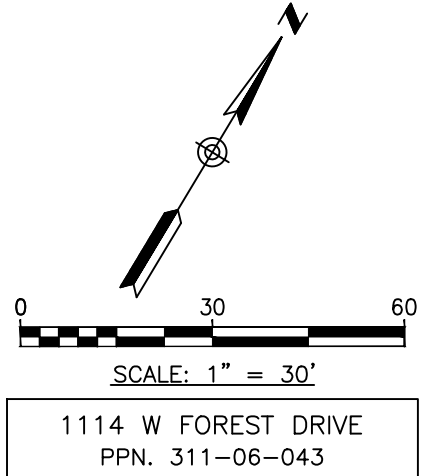
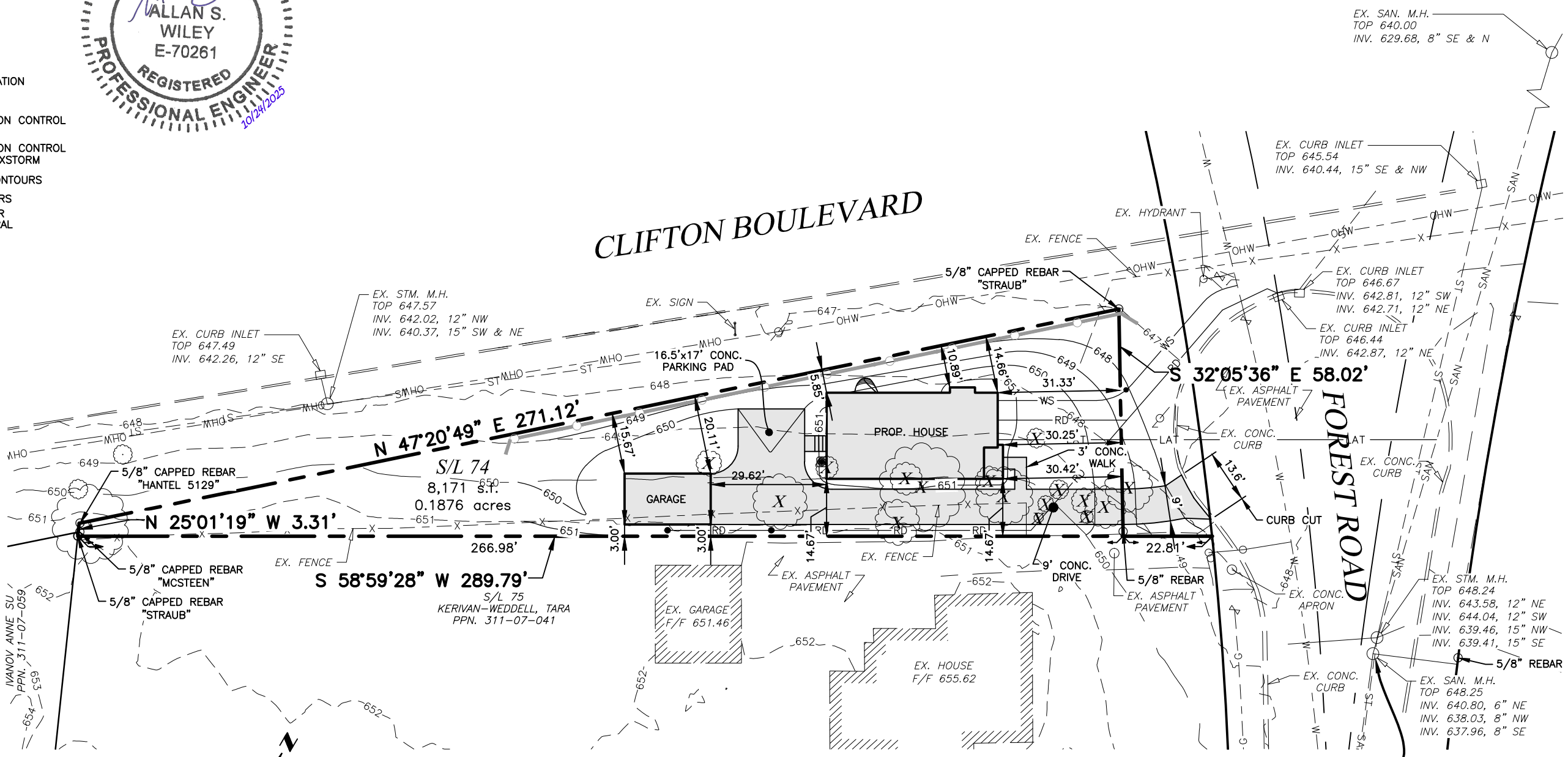


REVISIONS:

X EXISTING TREE TO BE REMOVED

PLOT PLAN NOTES:

1. THIS PLAN SHALL NOT BE CONSIDERED A BOUNDARY SURVEY OF THE PARCEL SHOWN. LATERAL INVERT ELEVATIONS AND LOCATIONS ARE APPROXIMATE. CONTRACTOR TO FIELD VERIFY ACTUAL LATERAL INVERT ELEVATION AND LOCATION PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES ON THE LOT PRIOR TO THE EXCAVATION OF THE FOUNDATION. EXISTING UNDERGROUND UTILITIES AND PAVEMENT ARE SHOWN PER COUNTY RECORDS.
3. EXISTING CONTOURS SHOWN ARE REPRESENTATIVE OF FIELD WORK DATED OCTOBER 2025.
4. FOUNDATION DIMENSIONS ARE MEASURED TO THE OUTSIDE CORNER OF FOUNDATION WALL OR BRICK FACE IF APPLICABLE.
5. FOUNDATION DRAIN SUMP PUMP IS REQUIRED FOR FOOTER DRAINS, USE MINIMUM 1% SLOPE TO STORM SEWER.
6. 2% SLOPE FOR SWALES IS PREFERRED, 1% MINIMUM.
7. MOWABLE AREAS OF THE YARD ARE NOT TO EXCEED 3:1 SLOPE UNLESS OTHERWISE SHOWN ON PLAN.
8. CONTRACTOR MUST CHECK THE BENCHMARK ELEVATION WITH THE TOP OF CURB ELEVATIONS SHOWN ON THE PLAN PRIOR TO START OF CONSTRUCTION.
9. ALL CONSTRUCTION TRAFFIC IS RESTRICTED TO THE CONSTRUCTION ENTRANCE.
10. REMOVE EXISTING CONCRETE AS NEEDED FOR NEW WORK.
11. CONTRACTOR TO WORK WITH UTILITY COMPANIES ON RELOCATIONS AS NEEDED FOR NEW WORK.
12. THE CITY OF WESTLAKE ENGINEERING DEPARTMENT MUST BE NOTIFIED TWENTY-FOUR (24) HOURS IN ADVANCE FOR ALL REQUIRED INSPECTIONS.
13. PRIOR TO CONSTRUCTION, BASEMENT AND FOOTER ELEVATIONS ARE TO BE VERIFIED BY THE BUILDER/CONTRACTOR AND IF A DISCREPANCY EXISTS BETWEEN THE HOUSE PLANS AND THIS PLOT PLAN, THE CITY OF WESTLAKE AND GBC DESIGN, INC., SHALL BE NOTIFIED.
14. FACE/FRONT OF MAILBOXES SHALL BE INSTALLED 12" FROM BACK OF CURB OR EDGE OF PAVEMENT.



BENCHMARK
ELEV. 648.25

BUILDER:
 OLD WORLD CUSTOM HOMES, LLC
 7054 MEARS GATE DR. NW
 NORTH CANTON, OHIO 44720
 ANDREW EGGEMAN
 330-494-0228

LOT BENCHMARK:
 C.L. RIM OF SANITARY MANHOLE LOCATED AS SHOWN ON PLOT PLAN.
 ELEV. 648.25

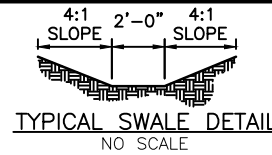
PLOT PLAN PREPARED FOR
 OLD WORLD CUSTOM HOMES
 SUBLOT NO. 74 IN THE CLIFTON PARK ALLOTMENT
 202309180243
 SITUATED IN THE CITY OF LAKEWOOD
 COUNTY OF CUYAHOGA, STATE OF OHIO

PREPARED BY:
GBC DESIGN, INC.
 565 White Pond Dr. Akron, OH 44320-1123
 Phone 330-836-0228 www.GBCDesign.com

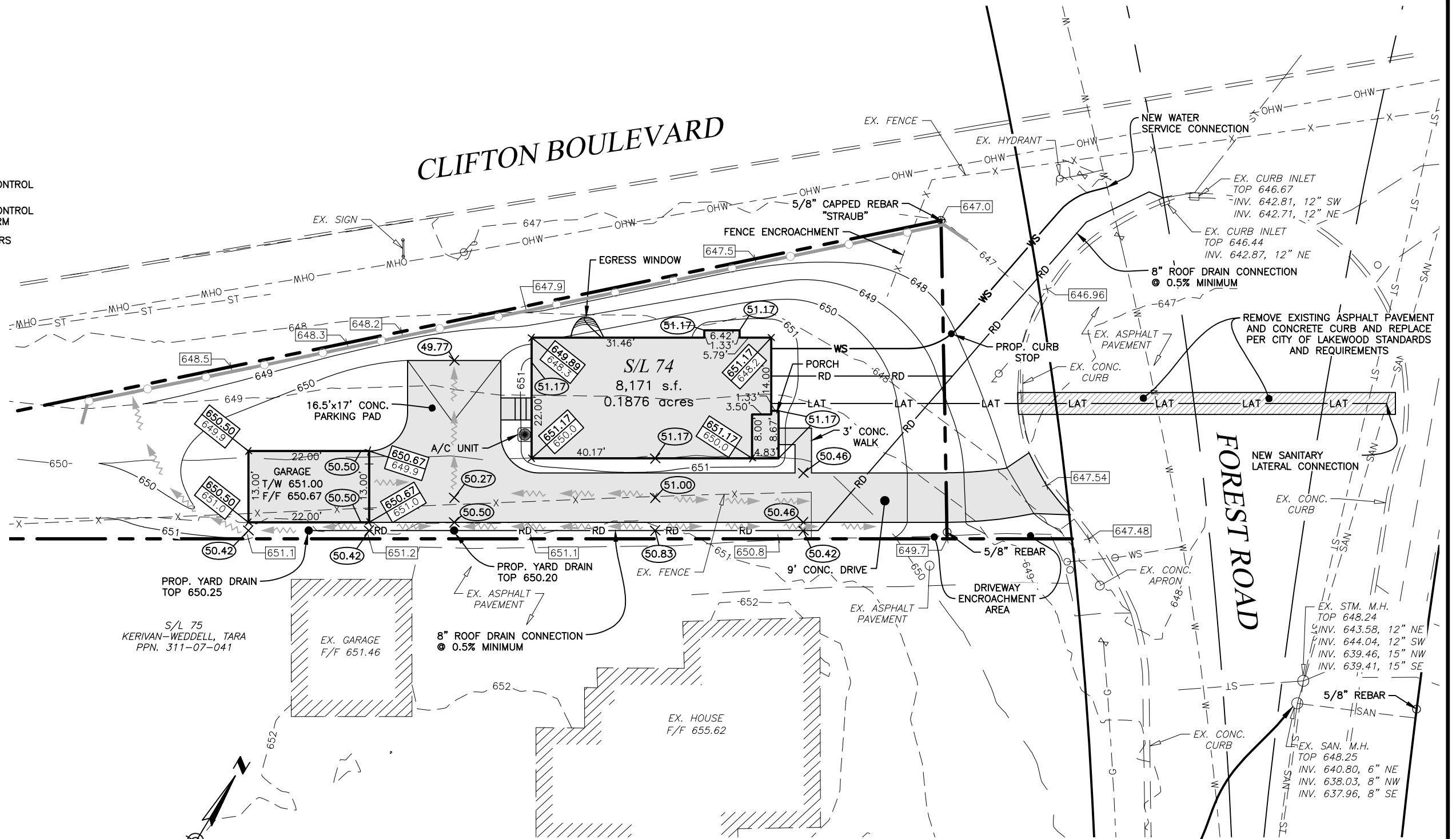
PAGE 1 OF 2
 DATE: 10/24/2025
 DRAWN BY: BAW
 PROJECT No. 58188

LEGEND

- CAPPED REBAR TO BE SET
- COO CURVE DATA
- ⊗ EXISTING FIRE HYDRANT
- ⊗ EXISTING VALVE
- EXISTING MANHOLE
- EXISTING BOX INLET
- EXISTING CURB INLET
- ⊗ EXISTING LIGHT POLE
- ⊗ EXISTING POWER POLE
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- LAT EXISTING SANITARY LATERAL
- LAT NEW SANITARY LATERAL
- ST EXISTING STORM SEWER
- RD EXISTING STORM LATERAL
- RD NEW STORM LATERAL
- W EXISTING WATER MAIN
- WS EXISTING WATER SERVICE
- WS NEW WATER SERVICE
- E NEW UTILITY SERVICE



REVISIONS:



SCALE: 1" = 20'
1114 W FOREST DRIVE
PPN. 311-06-043

FINISH FLOOR ELEVATION	653.01
TOP OF WALL ELEVATION (8'-0" WALL)	651.83
GARAGE ELEVATION	650.50
BASEMENT FLOOR ELEVATION	644.17
TOP OF FOOTING ELEVATION	643.83
BOTTOM OF FOOTING ELEVATION	643.17

LOT BENCHMARK:
C.L. RIM OF SANITARY MANHOLE LOCATED AS SHOWN ON PLOT PLAN.
ELEV. 648.25

PLOT PLAN PREPARED FOR
OLD WORLD CUSTOM HOMES
SUBLOT NO. 74 IN THE CLIFTON PARK ALLOTMENT
202309180243
SITUATED IN THE CITY OF LAKEWOOD
COUNTY OF CUYAHOGA, STATE OF OHIO

PREPARED BY:
GBC DESIGN, INC.
565 White Pond Dr. Akron, OH 44320-1123
Phone 330-836-0228 www.GBCDesign.com

BUILDER:
OLD WORLD CUSTOM HOMES, LLC
7054 MEARS GATE DR. NW
NORTH CANTON, OHIO 44720
ANDREW EGGEMAN
330-494-0228

PAGE 2 OF 2
DATE: 10/24/2025
DRAWN BY: BAW
PROJECT No. 58188

PPN: 311-06-043
LEON, JASON
AMT \$195,000.00
CONV \$780.00
44750

202309180243 DEED
09/18/2023 10:56 AM
RCPT# 20230918000073
PAID BY COASTAL TITLE /



CUYAHOGA COUNTY FISCAL OFFICE

GENERAL WARRANTY DEED

Order No. 2308021235CO

K2 HOLDINGS LLC, AN OHIO LIMITED LIABILITY COMPANY, of Cuyahoga County, the Grantor, for valuable consideration paid, grant(s), with general warranty covenants, to Jason Leon, an unmarried man, whose tax-mailing address is 1114 W. Forest Road, Lakewood, OH 44107, the following real property:

SEE EXHIBIT "A" ATTACHED HERETO.

Subject to easements and restrictions of record.

Prior Instrument Reference: 202212050140 of the Deed Records of CUYAHOGA County, Ohio.

EXHIBIT A

Situated in the City of Lakewood, County of Cuyahoga, and State of Ohio:

And known as being of Sublot No. 74 in the Clifton Park Land and Improvement Company's reallocation of the Clifton Park allotment of part of original Rockport, Township Sec. No. 23 recorded in Volume 29 of Maps, Page 11 of Cuyahoga County Records and bounded and described as follows:

Beginning on the Southerly line of said Sublot No. 74 at the Southwesterly corner of Parcel No. 86 conveyed to the State of Ohio by Deed dated March 29, 1962 and recorded in Volume 10363 Page 503 of Cuyahoga County Records;

Thence Westerly along the Southerly line of said Sublot. No. 74, 265.24 feet to the Southwesterly corner thereof;

Thence Northerly along the Westerly line of said Sublot No. 74, 3.13 feet to the Southwesterly corner of Parcel No. 86-LA conveyed to the State of Ohio by Deed dated March 29, 1962 and recorded in Volume 10363, Page 601 of Cuyahoga County Records;

Thence Easterly along the Southerly line of said Parcel 86- LA to the Northeasterly corner of the aforesaid Parcel No. 86 conveyed to the State of Ohio;

Thence Southerly along the Westerly line of said Parcel No. 86 to the place of beginning, be the same more or less, but subject to all legal highways.

Known as: 1114 W Forest Drive, Lakewood, OH 44107

PPN: 311-06-043

This Legal Description Complies with
The Cuyahoga Transfer and
Conveyance Standards and is approved
for transfer.

AUG 03/2023



Agent

Executed this 29 day of August, 2023.

K2 Holdings LLC, an Ohio limited liability company

BY: [Signature]
Kyle Lawrence
Managing Member

STATE OF Ohio

California OF _____
Signed and sworn to before me the 29 day of August, 2023.

[Signature]
Notary Public

Affix stamp/seal:

THIS INSTRUMENT WAS PREPARED BY:
Dennis O'Brien
O'Brien Legal Services, LLC
29550 Detroit Road, Ste. 301
Westlake, OH 44145
(216)685-7571

