

**MINUTES
BOARD OF ZONING APPEALS
REVIEW MEETING
LAKEWOOD CITY HALL
AUDITORIUM
FEBRUARY 15, 2024
6:30 P.M.
MEETING IS RECORDED
<https://www.lakewoodoh.gov/videos-2/>**

1. ROLL CALL

Members Present

Michael Alexander, Chair
Jillian Bolino, Vice Chair
Matt Markling
Jeffrey Pigott
Anthony Santiago

Administrative Staff

Michelle Nochtta, Senior Planner, Secretary
Justin Maskaluk, Property Maintenance Inspector
Andrew Fleck, Assistant Prosecutor

During the 6:00 p.m. pre-review meeting the applications and minutes were discussed by the board members and board staff.

2. APPROVE MINUTES OF THE JANUARY 18, 2024 MEETING

A motion was made by Mr. Pigott, seconded by Mr. Santigo to **APPROVE the January 18, 2024 meeting minutes**. Mr. Alexander, Mr. Markling, Mr. Pigott, Mr. Santigo voted yea, and Ms. Bolino abstained; the motion passed.

3. OPENING REMARKS

Ms. Nochtta read the Opening Remarks into the record.

OLD BUSINESS

**4. Docket No. 12-19-23
12500 Edgewater Dr.
The Waterford Condominiums**

Applicant Bobby Rolen, Rolen Brothers Fence Co. Inc., for the Waterford Condo Association, proposes the installation of two sections of fence with 4 gates in front of the front foundation wall. Each section exceeds the allowable length, height, distance from foundation wall, and number of allowable gates, as proposed. The property is located in the MH, Multi-Family High Density District. (Page 4)

For the section of fence proposed on the East side of the property as an "Enter Only" gate:

- Variance 1: The maximum permitted height for a fence in the front yard is 3 feet, proposed fence is 6 ft. Request a variance of 3 ft. in height to install a fence that is 6 feet tall and 63 feet long, as proposed. Pursuant to section 1153.03(c)(2)A (Ord. 08-2021. Passed 5-17-21.)

- Variance 2: The maximum permitted length of the fence is 55% of the foundation wall, which is given as 80 feet, 55% of 80 feet is 44 feet. The proposed fence is 63 ft. in length. Request a variance of 19 feet in length, as proposed. Pursuant to section 1153.03(c)(2)B (Ord. 08-2021. Passed 5-17-21.)
- Variance 3: The maximum distance from any portion of the primary structure is eight feet, the fence will be 10 feet away at its nearest and 73 ft. away at its furthest. Request a variance to allow the fence to be further than 8 feet from the primary structure, as proposed. 1153.03(c)(2)C (Ord. 08-2021. Pursuant to section Passed 5-17-21.)
- Variance 4: No gate shall be included in the fence, as proposed the fence has a gate for a car and a gate for pedestrians. Request a variance to permit two gates in the fence, as proposed. Pursuant to section 1153.03(c)(2)E (Ord. 08-2021. Passed 5-17-21.)

For the section of fence proposed on the West side of the property as “Exit Only”:

- Variance 5: The maximum permitted height for a fence in the front yard is 3 feet, proposed fence is 6 ft. Request a variance of 3 ft. in height to install a fence that is 6 feet tall and 50 feet long, as proposed. Pursuant to section 1153.03(c)(2)A (Ord. 08-2021. Passed 5-17-21.)
- Variance 6: The maximum permitted length of the fence is 55% of the foundation wall, which is given as 80 feet, 55% of 80 feet is 44 feet. The proposed fence is 50 ft. in length. Request a variance of 6 feet in length, as proposed. Pursuant to section 1153.03(c)(2)B (Ord. 08-2021. Passed 5-17-21.)
- Variance 7: The maximum distance from any portion of the primary structure is eight feet, the fence will be 10 feet away at its nearest and 60 ft. away at its furthest. Request a variance to allow the fence to be further than 8 feet from the primary structure, as proposed. 1153.03(c)(2)C (Ord. 08-2021. Pursuant to section Passed 5-17-21.)
- Variance 8: No gate shall be included in the fence, as proposed the fence has a gate for a car and a gate for pedestrians. Request a variance to permit two gates in the fence, as proposed. Pursuant to section 1153.03(c)(2)E (Ord. 08-2021. Passed 5-17-21.)

David Solinas, Waterford Condominiums, Property Manager, and Mike Jelarcic, Sales Engineer for the project, were present to explain the updated request. Discussion was about an issue with safety and large automobiles, trash collection; fencing on the west and east sides were planned for the future, and a previous concern with the Fire Marshall was resolved. Staff had not received any communication prior to the meeting regarding the project. Public comment was closed as no one addressed the item.

A motion was made by Mr. Santiago, seconded by Ms. Bolino to **APPROVE the request for eight variances as proposed.** Mr. Alexander, Ms. Bolino, Mr. Markling, Mr. Pigott, and Mr. Santiago voted yea; the motion passed.

NEW BUSINESS

5. **Docket No. 02-05-24**
1352 Kenilworth Ave.

Apartments

Applicant and property owner Doug Seib, RDS Investment LLC, proposes lot split and consolidation of a small portion of land that has an existing masonry single car garage on it. The portion will be split from 1352 Kenilworth Ave. and added to 1356-58 Kenilworth Ave. The garage is closer than the permitted 6 inches to the north and west boundary lines. The property is located in the R2, Single- and Two-Family District. (Page 17)

- Variance 1: Per a survey provided by the current owner, the existing masonry garage is 1.2 inches from the western property line. The required minimum setback for a masonry garage is 6 inches. Request a variance for the garage location and the property line to remain unchanged on the west side of the property at 1.2 inches when this portion of the parcel is split from 1352 Kenilworth Ave. and added to 1356-58 Kenilworth Ave, as proposed. Pursuant to 1121.10(a)(1) ADDITIONAL ACCESSORY STRUCTURE REGULATIONS (Ord. 32-16. Passed 9-6-2016.)
- Variance 2: Per a survey provided by the current owner, the existing masonry garage is 4.8 inches from the northern property line. The required minimum setback for a masonry garage is 6 inches. Request a variance for the property line and garage to remain unchanged on the north side of the property at 4.8 inches when this portion of the parcel is split from 1352 Kenilworth Ave. and added to 1356-58 Kenilworth Ave, as proposed. Pursuant to 1121.10(a)(1) ADDITIONAL ACCESSORY STRUCTURE REGULATIONS (Ord. 32-16. Passed 9-6-2016.)

Doug Seib, applicant and property owner was present to explain the request. The members had no questions. Staff had not received any communication prior to the meeting regarding the project. Public comment was closed as no one addressed the item. Staff provided administrative comments.

A motion was made by Ms. Bolino, seconded by Mr. Pigott to **APPROVE the request for two variances as proposed**. Mr. Alexander, Ms. Bolino, Mr. Markling, Mr. Pigott, and Mr. Santiago voted yea; the motion passed.

6. Docket No. 02-06-24 1062 Leedale Ave.

Applicant Samuel Diaquila AIA of AMSR LLC, for property owner Patrick Tournoux, proposes the construction of a garage that is 550 sq. ft. in area and 15 feet, 11 inches in height at the mid-span. Exceeds maximum rear lot coverage and height as proposed. The property is located in the R1H, Single-Family High Density District. (Page 19)


- Variance 1: Maximum permitted lot coverage is 25% of the rear yard, calculated at 2,040, 25% of 2,040 is 510 sq ft. Proposed garage is 550 sq ft or 27% as proposed. Request a variance to exceed maximum rear lot coverage by 40 square feet as proposed. Pursuant to 1121.09(c) MAXIMUM ACCESORY LOT COVERAGE (Ord. 91-95. Passed 10-7-1996.)
- Variance 2: Maximum permitted height is 15 feet calculated at the mid-span. The calculated height of the proposed garage is 15 feet, 11 inches. Request a variance to exceed maximum calculated height by 11 inches, as proposed. Pursuant to section 1121.05(b) HEIGHT REGULATIONS (Ord. 91-95 Passed 10-7-96)

Samuel Diaquila AIA of AMSR LLC, applicant was present to explain the request. Discussion ensued about the size of the current garage, the need for setbacks, the garage overhang, and the size of the proposed garage was close to that of a small house. Staff had not received any communication prior to the meeting regarding the project. Public comment was closed as no one addressed the item. Staff stated the adjacent property garage structures were similar to the current garage and provided administrative comments.

A motion was made by Mr. Pigott, seconded by Mr. Markling to **APPROVE the request for two variances as proposed**. Mr. Alexander, Mr. Markling, Mr. Pigott voted yea, and Ms. Bolino and Mr. Santiago voted nay; the motion passed.

ADJOURN

A motion was made by Ms. Bolino, seconded by Mr. Pigott to **ADJOURN** the meeting at 7:02 p.m. All the members voted yea; the motion passed.



Signature

3-21-24

Date





Oath

(You need not give an oath if you object. If you object to giving an oath, please notify the hearing officer or secretary before signing below.)

I, the undersigned, hereby solemnly swear that the testimony I give at this proceeding will be the truth, the whole truth and nothing but the truth:

PRINT NAME:

SIGN NAME:

- 1. David Salinas
- 2. Mike Jelavic
- 3. Douglas Seib
- 4. Sam Dineen
- 5. _____
- 6. _____
- 7. _____
- 8. _____
- 9. _____
- 10. _____
- 11. _____

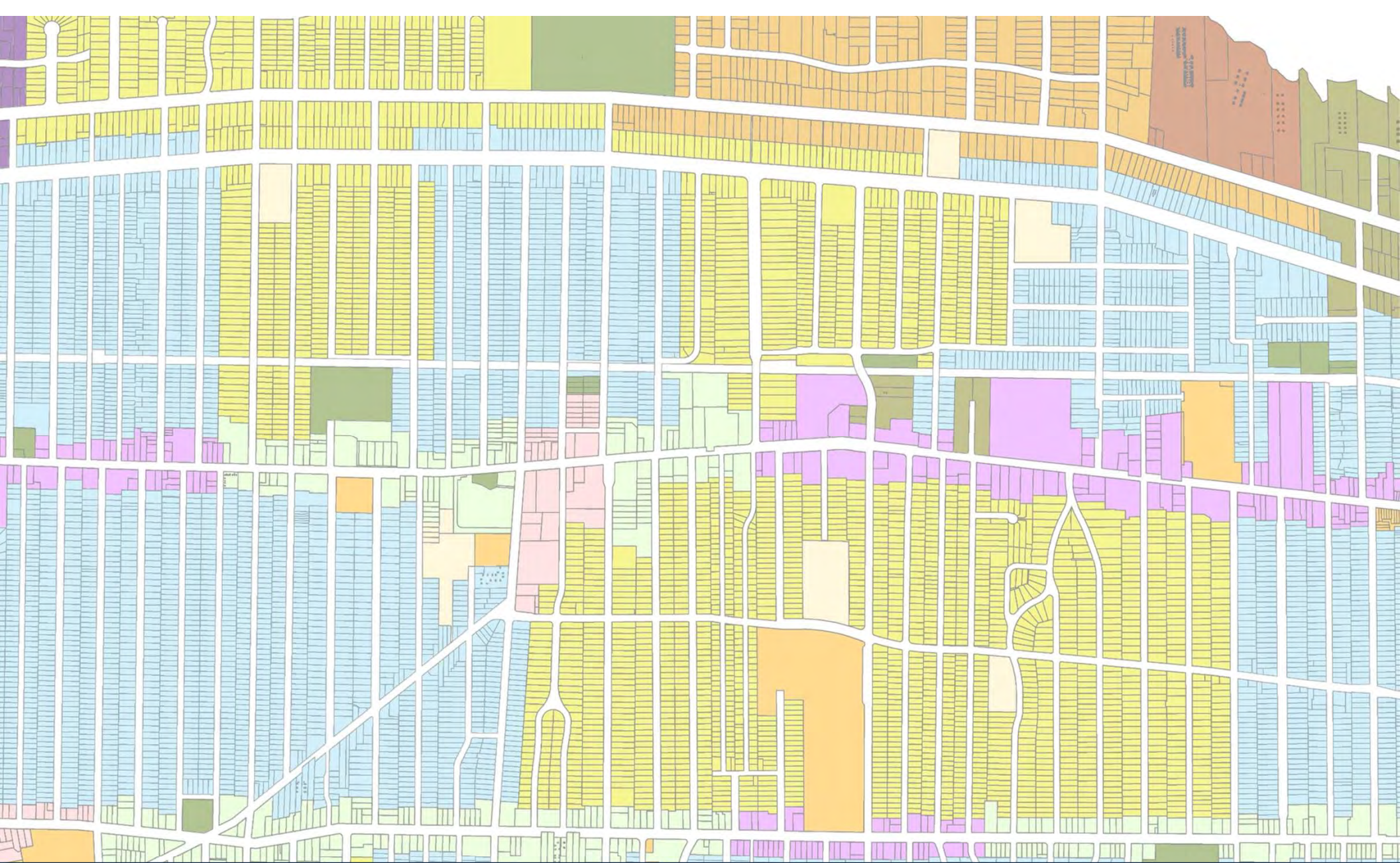
- 1. [Signature]
- 2. [Signature]
- 3. Douglas Seib
- 4. [Signature]
- 5. _____
- 6. _____
- 7. _____
- 8. _____
- 9. _____
- 10. _____
- 11. _____

Prepared by: The City of Lakewood Law Department, 12650 Detroit Ave., Lakewood, Ohio 44107

FOR CITY USE ONLY

Lakewood Administrative Procedure: ABR/BBS Citizens Advisory Civil Svc. Dangerous Dog Income Tax Appeals Loan Approval Nuisance Abatement Appeals Parking Planning Zoning Appeals Other:

Date of Proceeding: Thursday, February 15, 2024



Board of Zoning Appeals

1173.04 Variances

Factors to be considered and weighed when determining whether an applicant will experience practical difficulty:

1. Whether there exist site conditions (narrowness, shallowness, or topography) unique to property in question that are not applicable generally to other lands or structures in same zoning district;
2. Whether property in question is located near a non-conforming or non-harmonious use, structure, or site conditions, or whether property in question abuts a less restrictive zoning district;
3. Whether property in question will yield a reasonable return or whether there can be any beneficial use of property without the variance(s);
4. Whether variance(s) is substantial;
5. Whether essential character of neighborhood would be substantially altered or whether adjoining properties would suffer a substantial detriment as a result of the variance(s);
6. Whether variance(s) would adversely affect delivery of governmental services (e.g., water, sewer, refuse removal);
7. Whether property owner purchased property with knowledge of zoning restriction;
8. Whether property owner's predicament feasibly can be obviated through some method other than a variance(s); and
9. Whether spirit/intent of Code would be observed, and substantial justice done by granting the variance(s).

(Ord. 91-95. Passed 10-7-1996.)





Board of Zoning Appeals-

Pre-review: 6:00-6:30 p.m.

Regular Meeting: 6:30 p.m.

Members

Chair: Michael Alexander

Vice Chair: Jillian Bolino

Matt Markling

Jeffrey Pigott

Anthony Santiago

Staff

Board Secretary: Michelle Nochta

Legal Counsel: Andrew Fleck

Building Department: Justin Maskaluk

Board of Zoning Appeals

FEBRUARY 15, 2024

Agenda

1. Roll Call
2. Vote to approve the *January 18, 2024*, meeting minutes
3. Opening Remarks

NEW BUSINESS

5. 12500 Edgewater- The Waterford Condominiums- Applicant Bobby Rolens for Waterford Condo Association
6. 1352 Kenilworth- Applicant and property owner Doug Seib
7. 1062 Leedale- Sam Diaquila for property owner Patrick Tournoux



Roll Call



Board of Zoning Appeals



Approve Meeting Minutes for
January 18, 2024



Board of Zoning Appeals



Opening Remarks



Board of Zoning Appeals



Docket No. 12-19-23
12500 Edgewater Dr.
The Waterford Condominiums

Applicant Bobby Rolens, Rolen Brothers Fence Co. Inc., for the Waterford Condo Association, proposes the installation of a one hundred, thirteen-foot, six-inch (113', 6") high flat top ornamental fence, including entrance and exit gates. The property is located in the MH, Multi-Family High Density District.



1. **Docket No. 12-19-23-**
12500 Edgewater Dr.

The Waterford Condominiums

Applicant Bobby Rolen, Rolen Brothers Fence Co. Inc., for the Waterford Condo Association, proposes the installation of two sections of fence with 4 gates in front of the front foundation wall. Each section exceeds the allowable length, height, distance from the foundation wall, and number of allowable gates, as proposed. The property is located in the MH, Multi-Family High Density District. (Page 4)

For the section of fence proposed on the East side of the property as an “Enter Only” gate:

- **Variance 1:** The maximum permitted height for a fence in the front yard is 3 feet, the proposed fence is 6 feet. Request a variance of 3 ft. in height to install a fence that is 6 feet tall and 63 feet long, as proposed. Pursuant to section 1153.03©(2)A (Ord. 08-2021. Passed 5-17-21.)
- **Variance 2:** The maximum permitted length of the fence is 55% of the foundation wall, which is given as 80 feet, 55% of 80 feet is 44 feet. The proposed fence is 63 ft. in length. Request a variance of 19 feet in length, as proposed. Pursuant to section 1153.03©(2)B (Ord. 08-2021. Passed 5-17-21.)
- **Variance 3:** The maximum distance from any portion of the primary structure is eight feet, the fence will be 10 feet away at its nearest and 73 ft. away at its furthest. Request a variance to allow the fence to be further than 8 feet from the primary structure, as proposed. 1153.03©(2)C (Ord. 08-2021. Pursuant to section Passed 5-17-21.)
- **Variance 4:** No gate shall be included in the fence, as proposed the fence has a gate for a car and a gate for pedestrians. Request a variance to permit two gates in the fence, as proposed. Pursuant to section 1153.03©(2)E (Ord. 08-2021. Passed 5-17-21.)

For the section of fence proposed on the West side of the property as “Exit Only”:

- **Variance 5:** The maximum permitted height for a fence in the front yard is 3 feet, the proposed fence is 6 feet. Request a variance of 3 ft. in height to install a fence that is 6 feet tall and 50 feet long, as proposed. Pursuant to section 1153.03(c)(2)A (Ord. 08-2021. Passed 5-17-21.)
- **Variance 6:** The maximum permitted length of the fence is 55% of the foundation wall, which is given as 80 feet, 55% of 80 feet is 44 feet. The proposed fence is 50 ft. in length. Request a variance of 6 feet in length, as proposed. Pursuant to section 1153.03(c)(2)B (Ord. 08-2021. Passed 5-17-21.)
- **Variance 7:** The maximum distance from any portion of the primary structure is eight feet, the fence will be 10 feet away at its nearest and 60 ft. away at its furthest. Request a variance to allow the fence to be further than 8 feet from the primary structure, as proposed. 1153.03(c)(2)C (Ord. 08-2021. Pursuant to section Passed 5-17-21.)
- **Variance 8:** No gate shall be included in the fence, as proposed the fence has a gate for a car and a gate for pedestrians. Request a variance to permit two gates in the fence, as proposed. Pursuant to section 1153.03(c)(2)E (Ord. 08-2021. Passed 5-17-21.)



12500 Edgewater Dr.



Waterford
Condominiums

Google
Edgewater Dr

Imagery ©2023 Google, Imagery ©2023 CNES / Airbus, Maxar Technologies, Map data ©2023 United States



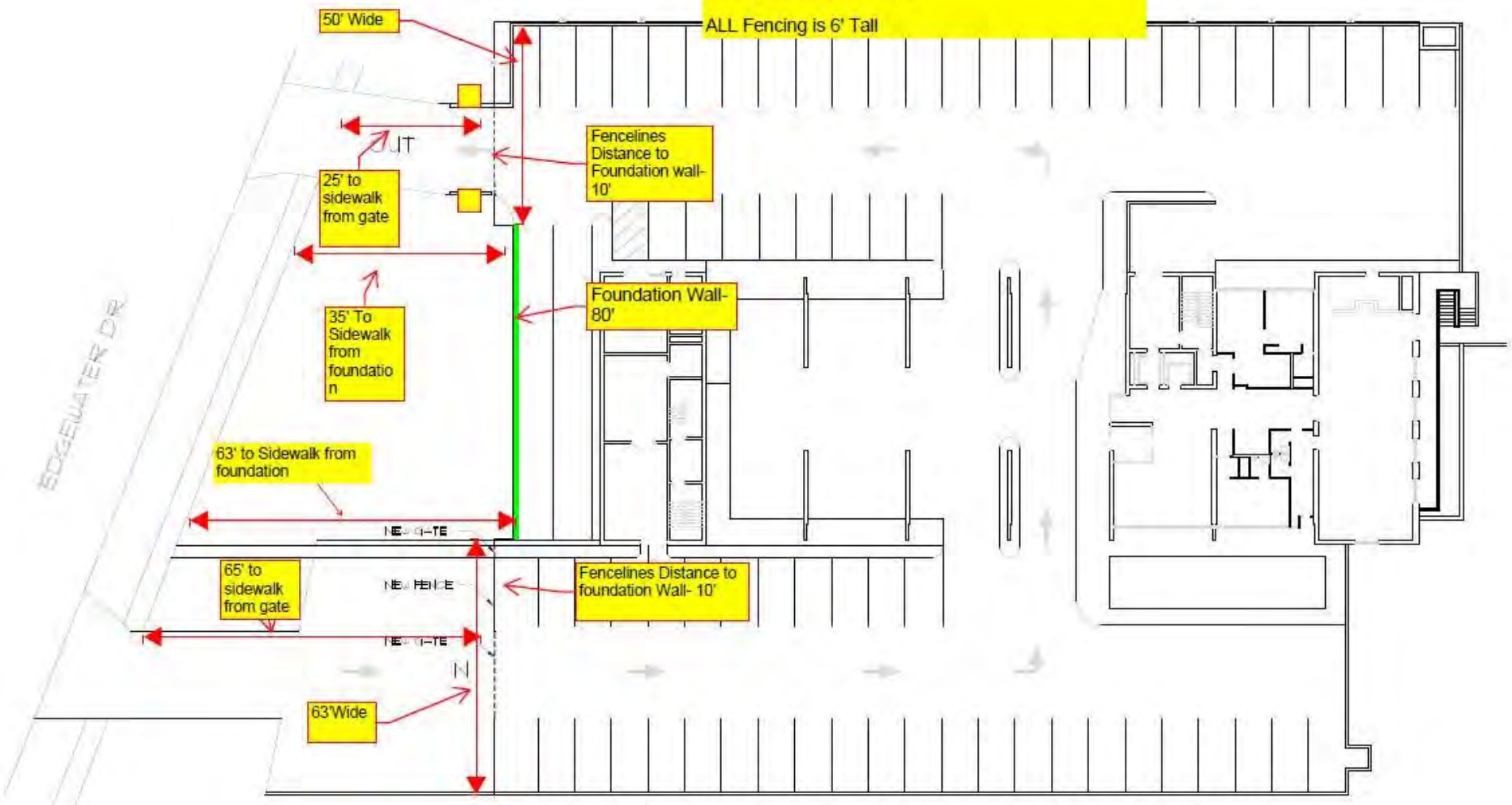
12500 Edgewater



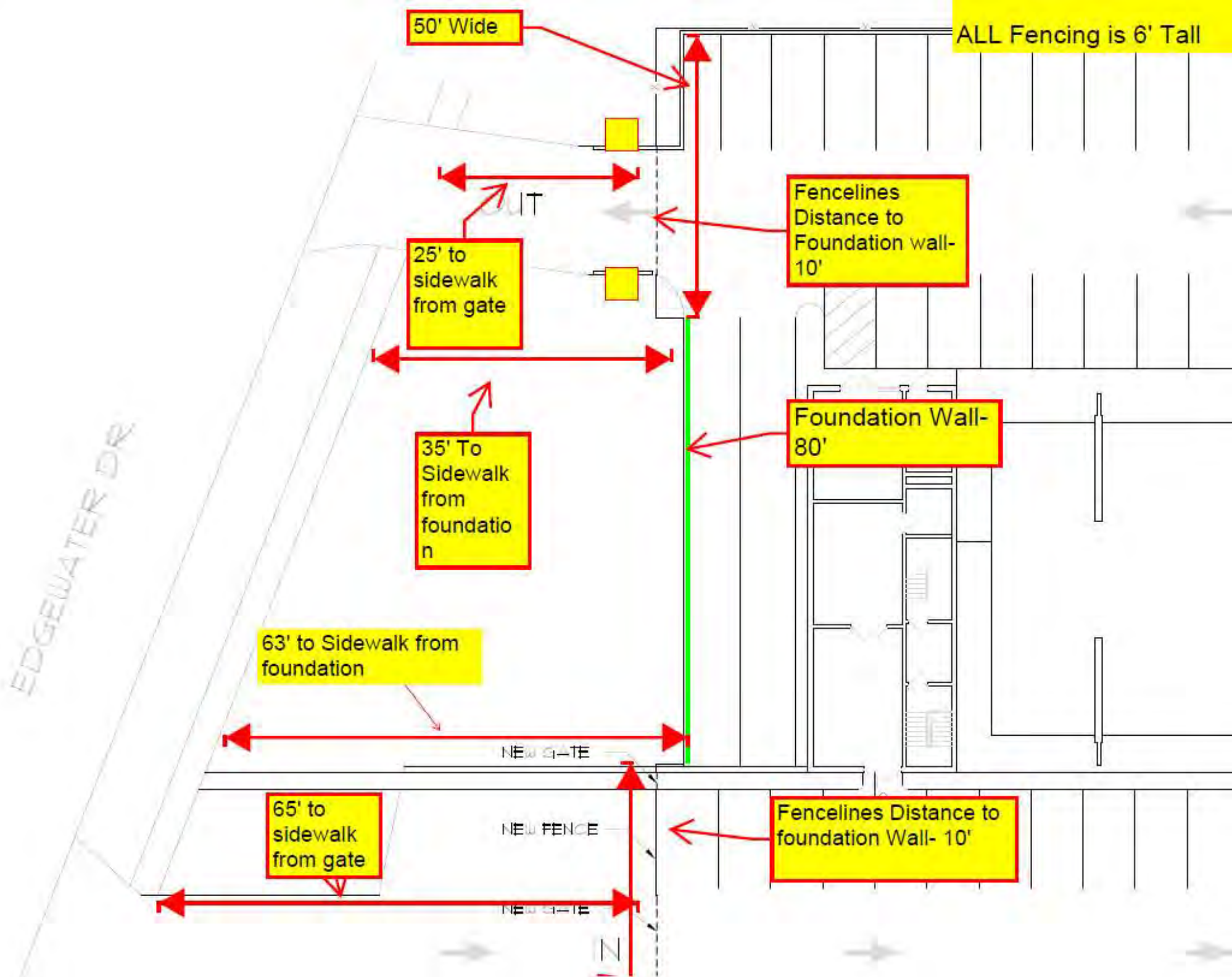
Total Width of Lot- 200'
 Total Depth of lot- 350'
 Length of Fence- 129'
 Length of Foundation wall- 80'
 Distance of fence from Foundation- West side- 11' / East Side - Within Foundation
 How long does gate take to open- Appx 5 seconds
 Gate will have option to be opened via transmitter, fob, keycode or telephone entry.
 Knox Keyswitch will be installed for first responders
 Deliveries will be handles via telephone entry system or repeat delivery drivers will be given a key code.
 Building tenants will continue to park as they always have.
 Gates will be kept close all hours of the day, unless otherwise determined in the future.
 NO guard will be at the gates.

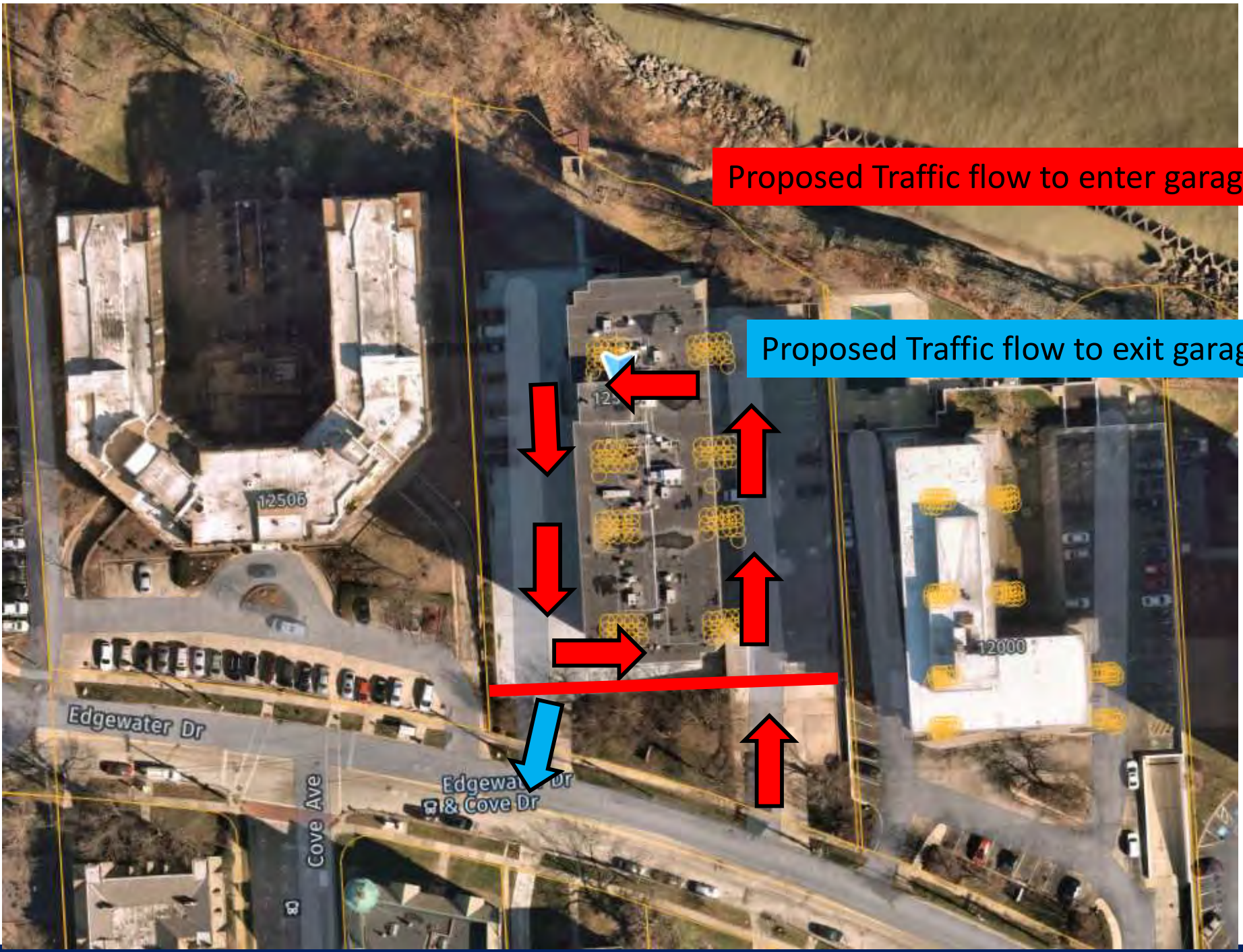
12500 Edgewater

There Will be 2 slide gates and 2 man gates. 1 on each side.
Man gates will be 42" Wide
Slidegates will be 15' wide
ALL Fencing is 6' Tall



12500 Edgewater



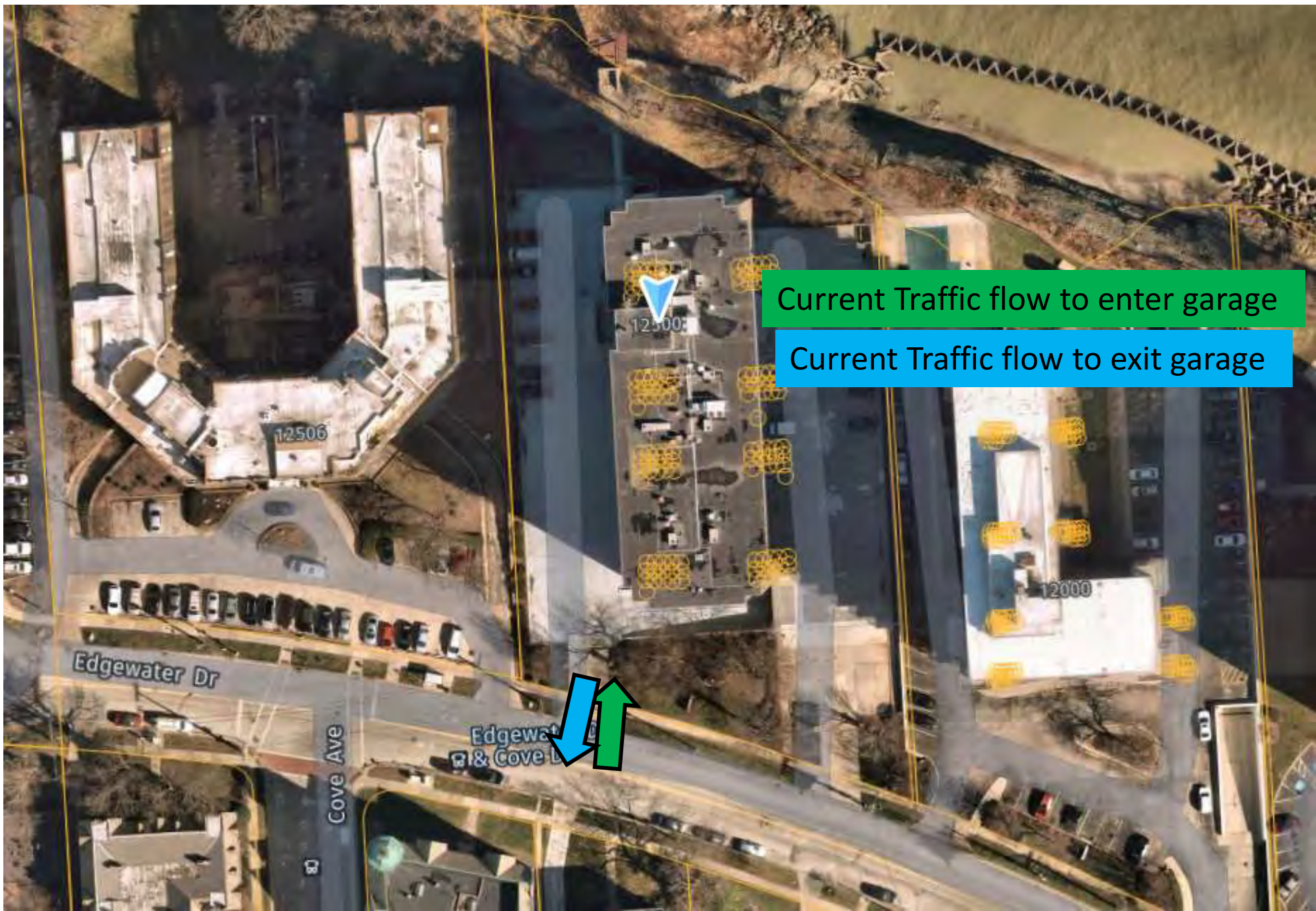


Proposed Traffic flow to enter garage

Proposed Traffic flow to exit garage

12500 Edgewater





Current Traffic flow to enter garage

Current Traffic flow to exit garage



12500 Edgewater



12500 Edgewater



12500 Edgewater



Order photo ×















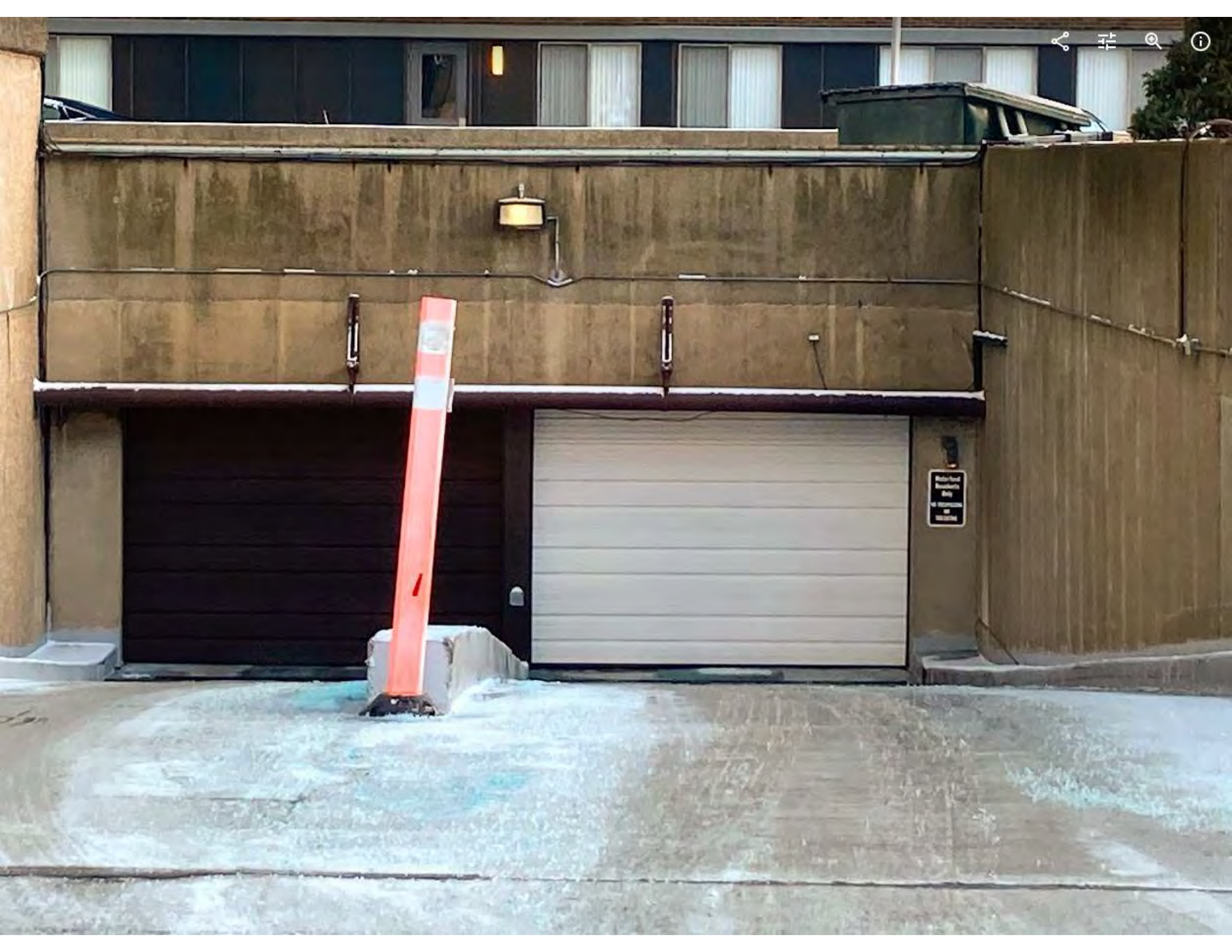


NO PARKING
ANY TIME

NO PARKING
ANY TIME

WATER

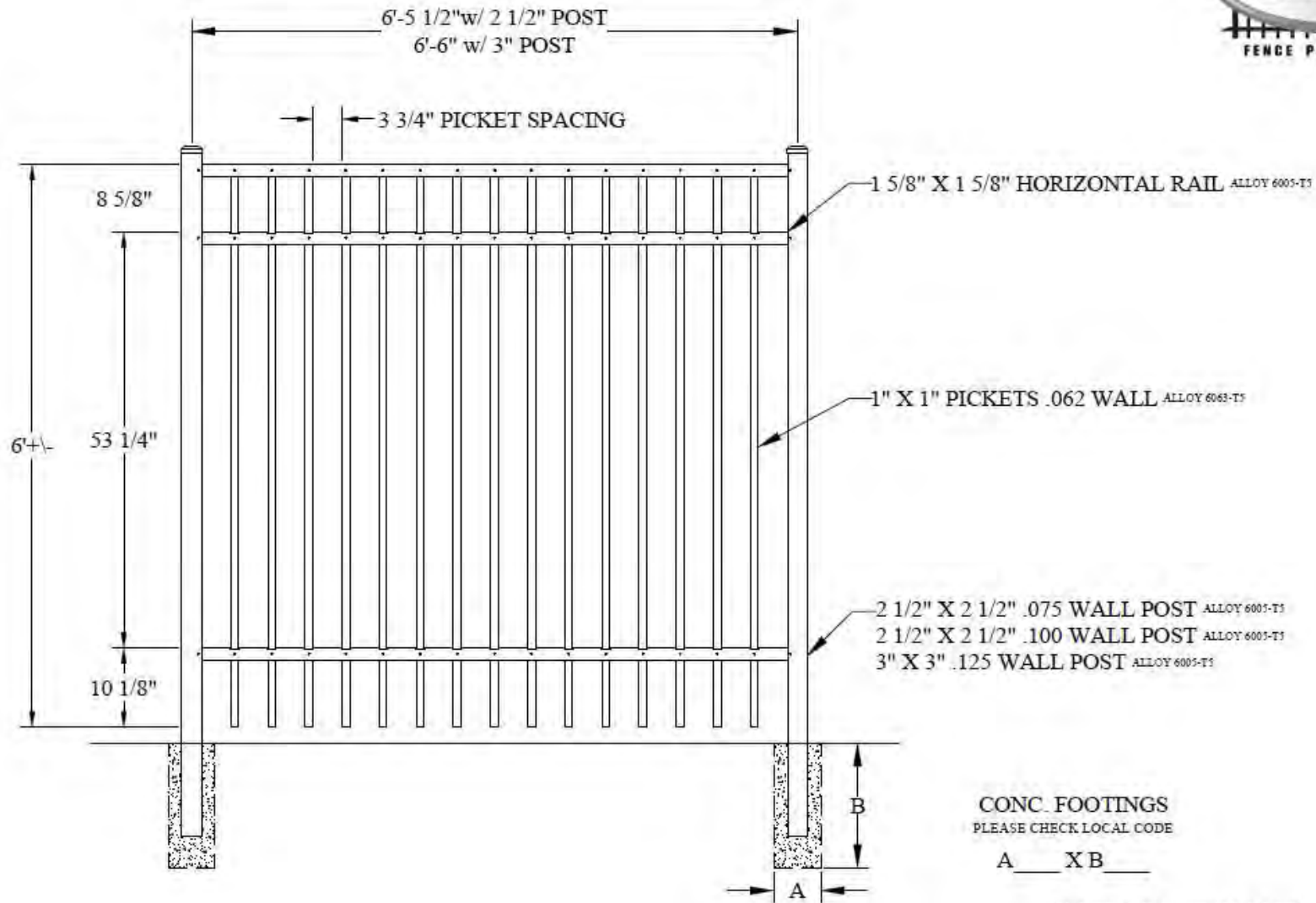




Water-Safe
Resistant
Only
Use
at
100°F/38°C







CONC. FOOTINGS
PLEASE CHECK LOCAL CODE
A X B

This drawing is the property of Elite Fence Products, Inc. It is not to be reproduced, copied, or traced in whole or part without written permission. See product specifications for installation requirements.

NOTE: DRAWING NOT TO SCALE. ALL SECTIONS COME FULLY ASSEMBLED.

EFF-20 INDUSTRIAL	6' HIGH 3-RAIL ALUMINUM FENCE PANEL	CONTRACTOR:	COLOR:	50925 RICHARD W. BLVD CHESTERFIELD TOWNSHIP, MI 48051 WWW.ELITEFENCE.COM 1-800-783-1331
	R-1-16 V.1.0 KS KS STD DRAWING	FABRIC:	DATE:	



12500 Edgewater

INDUSTRIAL GRADE



Elite Decorative Aluminum Fencing

Fencing being provided is on (Page 12) – Style EFF-20 (Black)

Slidegates will be the same style fence (Page13)- They will both be Ziptrack gates style EFF-20 (Black)

I want to note this fencing is very close to a match for the balcony railings.

EFF-20 No Picket Thru Bottom



12500 Edgewater



EFF-20 ZipTrack™

- GATES AVAILABLE TO SECURE ANY OPENING
- TUBULAR DIAGONAL BRACING, SO NO TRUSS RODS OR CABLES TO BREAK OR ADJUST
- 5-YEAR LIMITED WARRANTY

Elite Decorative Aluminum Fencing

Fencing being provided is on (Page 12) – Style EFF-20 (Black)

Slidegates will be the same style fence (Page13)- They will both be Ziptrack gates style EFF-20 (Black)

I want to note this fencing is very close to a match for the balcony railings.



12500 Edgewater

Owner/agent responses- 1173.04 Variances

Applicant responses to the factors to be considered and weighed when determining whether an applicant will experience practical difficulty:

In order to for a variance request to be approved, applicants must demonstrate how their request meets the Practical Difficulty Test based on the below factors. The Board of Zoning Appeals must consider and weigh each response on its merits.

(1) Whether there exist site conditions, such as narrowness, shallowness, or topography, unique to the property in question that are not applicable generally to other lands or structures in the same zoning district;

Yes. This is a multi unit building that has had an uprise in theft in the parking areas. The way the building is situated on the property makes the gate and fence in front of the building necessary for theft deterrent.

(2) Whether the property in question is located near a non-conforming or non-harmonious use, structure, or site conditions, or whether the property in question abuts a less restrictive zoning district;

NA

(3) Whether the property in question will yield a reasonable return or whether there can be any beneficial use of the property without the variance(s);

No. Without the variance there will be no way to secure the parking area from potential theft.

(4) Whether the variance(s) is substantial;

No. I believe this to be a modest request. The fence will be set back from the public right a way and is not solid but an open fence that is decorative in nature but also provides security around the parking lot.



Owner/agent responses- 1173.04 Variances

Applicant responses to the factors to be considered and weighed when determining whether an applicant will experience practical difficulty:

(5) Whether the essential character of the neighborhood would be substantially altered or whether adjoining properties would suffer a substantial detriment as a result of the variance(s);

No. The fence is black aluminum ornamental which has a classic wrought iron look to it without the worry of rusting. The fence is decorative in style and will not take away from the character of the property or neighboring properties.

(6) Whether the variance(s) would adversely affect the delivery of governmental services (e.g., water, sewer, refuse removal);

No. The fence will not adversely affect the delivery of governmental services, it will have Knox keyswitch for first responders. There will be options for the gates to be opened via transmitter, FOB, keycode, or telephone entry.

(7) Whether the property owner purchased the property with knowledge of the zoning restriction;

When purchased the theft was not a prominent issue as it has now become.

(8) Whether the property owner's predicament feasibly can be obviated through some method other than a variance(s); and

No. Without the variance, a fence and gate cannot be installed to alleviate the theft issues.

(9) Whether the spirit and intent of the Code would be observed and substantial justice done by granting the variance(s).

Yes. The spirit and intent of the code would be observed as the fence will be used as a theft deterrent and nothing else.



Administrative Comments

- An additional reason for the fence given by the condominium association is to prevent heavy trucks from driving onto the garage deck, which applicants has stated can damage the integrity of the underground garage.
- A stop bar and a height limiter could be installed without a variance to prevent large trucks from driving onto the parking deck
- If the fence were placed at or behind the front foundation line no variance would be required.
- There are no other such fences with gates at the other properties on the north side of Edgewater between W 115th and Cove
- The Public Works director does not oppose the installation so long as there is no adverse impact to traffic flow on Edgewater Drive due to the gates. If traffic flow on the public street is impacted because the gates are causing traffic to back up onto the public street the project will need to be reevaluated.
- The Applicant has worked with the fire marshal to ensure that the proposal will meet safety standards
- There is one ramp down into the garage on the west side of the building. The garage has roll-up doors for security which are keep closed.
- Currently traffic to the garage is in and out is mainly through the west entrance. The proposed set-up would only allow cars to enter on the east side, and loop around the property to enter the garage and exit only on the west side

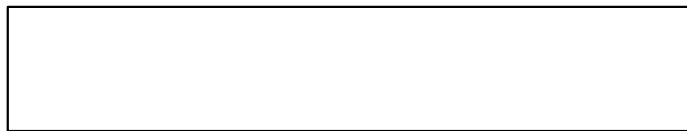
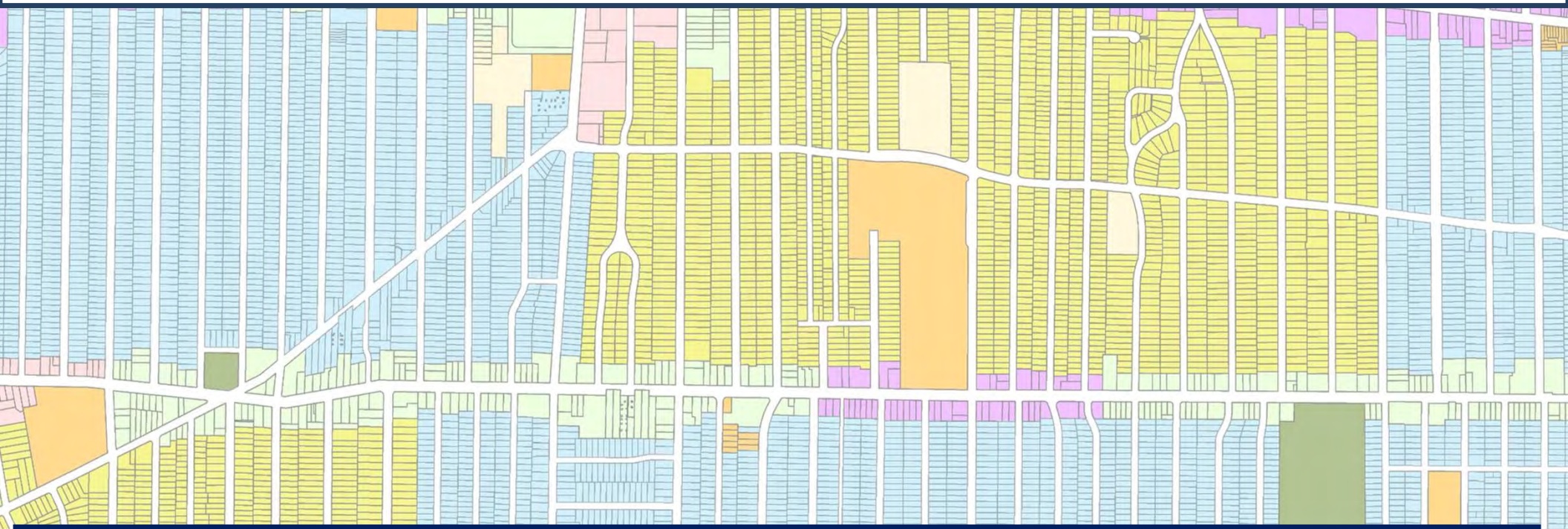




Public Comment

Received via email-

Meeting attendee(s)



1. **Docket No. 12-19-23-**
12500 Edgewater Dr.

The Waterford Condominiums

Applicant Bobby Rolen, Rolen Brothers Fence Co. Inc., for the Waterford Condo Association, proposes the installation of two sections of fence with 4 gates in front of the front foundation wall. Each section exceeds the allowable length, height, distance from the foundation wall, and number of allowable gates, as proposed. The property is located in the MH, Multi-Family High Density District. (Page 4)

For the section of fence proposed on the East side of the property as an “Enter Only” gate:

- **Variance 1:** The maximum permitted height for a fence in the front yard is 3 feet, the proposed fence is 6 feet. Request a variance of 3 ft. in height to install a fence that is 6 feet tall and 63 feet long, as proposed. Pursuant to section 1153.03©(2)A (Ord. 08-2021. Passed 5-17-21.)
- **Variance 2:** The maximum permitted length of the fence is 55% of the foundation wall, which is given as 80 feet, 55% of 80 feet is 44 feet. The proposed fence is 63 ft. in length. Request a variance of 19 feet in length, as proposed. Pursuant to section 1153.03©(2)B (Ord. 08-2021. Passed 5-17-21.)
- **Variance 3:** The maximum distance from any portion of the primary structure is eight feet, the fence will be 10 feet away at its nearest and 73 ft. away at its furthest. Request a variance to allow the fence to be further than 8 feet from the primary structure, as proposed. 1153.03©(2)C (Ord. 08-2021. Pursuant to section Passed 5-17-21.)
- **Variance 4:** No gate shall be included in the fence, as proposed the fence has a gate for a car and a gate for pedestrians. Request a variance to permit two gates in the fence, as proposed. Pursuant to section 1153.03©(2)E (Ord. 08-2021. Passed 5-17-21.)

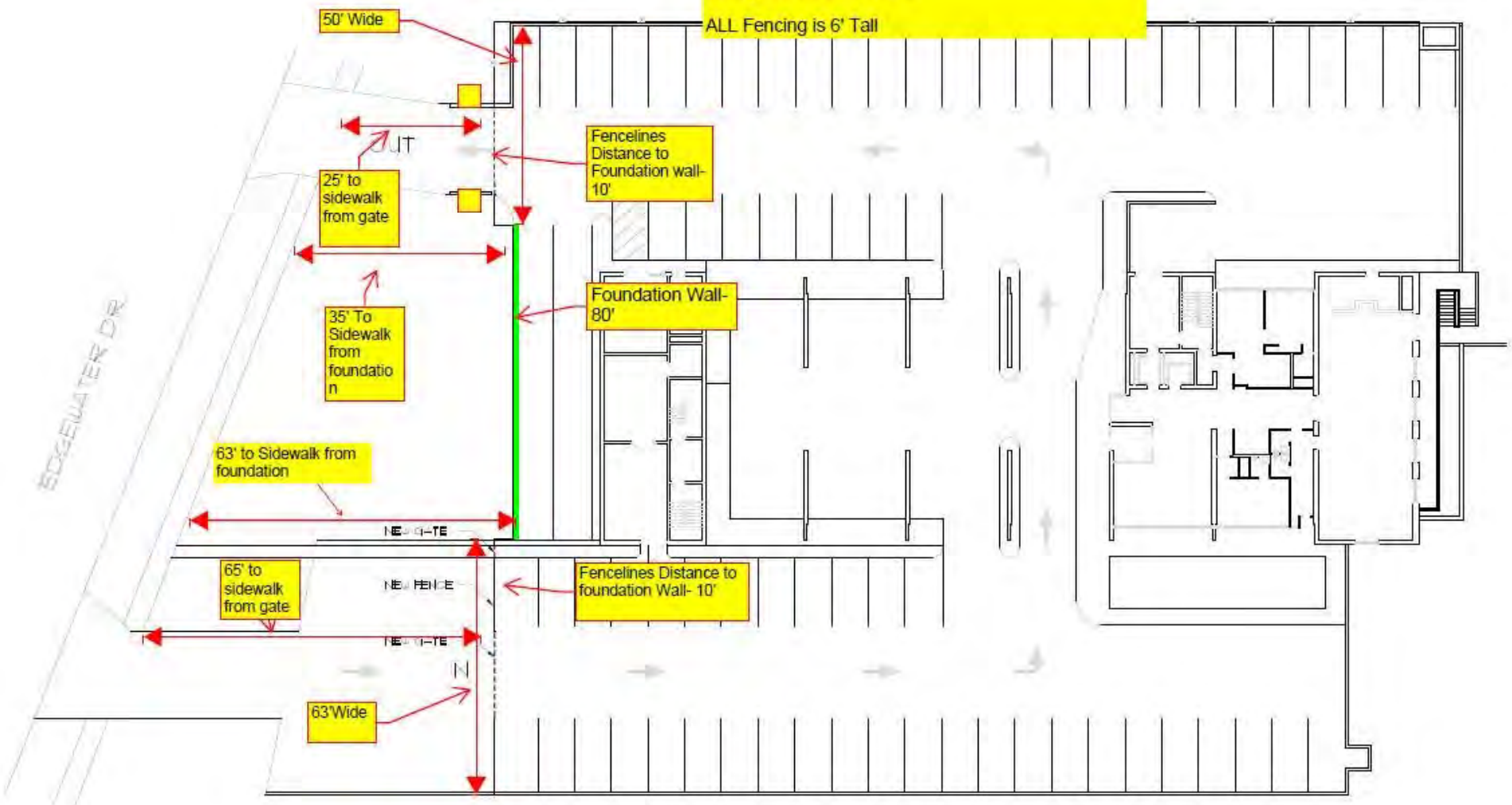
For the section of fence proposed on the West side of the property as “Exit Only”:

- **Variance 5:** The maximum permitted height for a fence in the front yard is 3 feet, the proposed fence is 6 feet. Request a variance of 3 ft. in height to install a fence that is 6 feet tall and 50 feet long, as proposed. Pursuant to section 1153.03(c)(2)A (Ord. 08-2021. Passed 5-17-21.)
- **Variance 6:** The maximum permitted length of the fence is 55% of the foundation wall, which is given as 80 feet, 55% of 80 feet is 44 feet. The proposed fence is 50 ft. in length. Request a variance of 6 feet in length, as proposed. Pursuant to section 1153.03(c)(2)B (Ord. 08-2021. Passed 5-17-21.)
- **Variance 7:** The maximum distance from any portion of the primary structure is eight feet, the fence will be 10 feet away at its nearest and 60 ft. away at its furthest. Request a variance to allow the fence to be further than 8 feet from the primary structure, as proposed. 1153.03(c)(2)C (Ord. 08-2021. Pursuant to section Passed 5-17-21.)
- **Variance 8:** No gate shall be included in the fence, as proposed the fence has a gate for a car and a gate for pedestrians. Request a variance to permit two gates in the fence, as proposed. Pursuant to section 1153.03(c)(2)E (Ord. 08-2021. Passed 5-17-21.)



12500 Edgewater Dr.

There Will be 2 slide gates and 2 man gates. 1 on each side.
Man gates will be 42" Wide
Slidegates will be 15' wide
ALL Fencing is 6' Tall

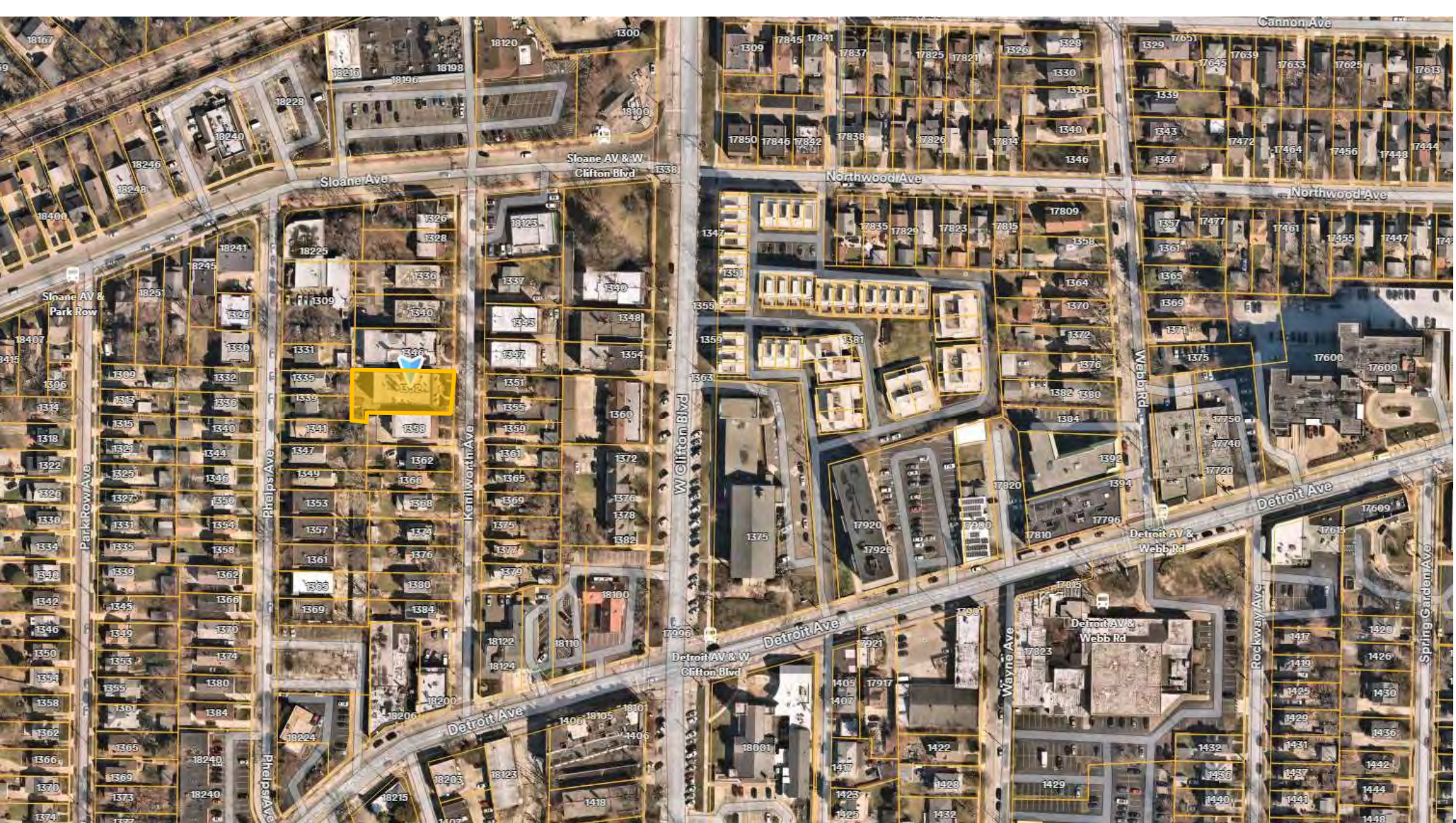


12500 Edgewater



Total Width of Lot- 200'
 Total Depth of lot- 350'
 Length of Fence- 129'
 Length of Foundation wall- 80'
 Distance of fence from Foundation- West side- 11' / East Side - Within Foundation
 How long does gate take to open- Appx 5 seconds
 Gate will have option to be opened via transmitter, fob, keycode or telephone entry.
 Knox Keyswitch will be installed for first responders
 Deliveries will be handles via telephone entry system or repeat delivery drivers will be given a key code.
 Building tenants will continue to park as they always have.
 Gates will be kept close all hours of the day, unless otherwise determined in the future.
 NO guard will be at the gates.

12500 Edgewater



**Docket No. 02-05-24
1352 Kenilworth Ave.**

Applicant and property owner Doug Seib, proposes the lot split and consolidation of a small portion of property is located in the R1L, Single-Family, Low-Density District.





1352 Kenilworth Avenue



1352 Kenilworth Avenue

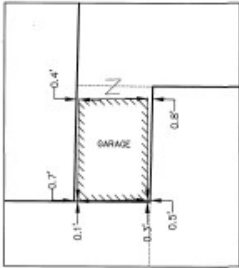
1. Docket No. 02-05-24
1352 Kenilworth Ave.
Apartments

Applicant and property owner Doug Seib, RDS Investment LLC, proposes lot split and consolidation of a small portion of land that has an existing masonry single car garage on it. The portion will be split from 1352 Kenilworth Ave. and added to 1356-58 Kenilworth Ave. The garage is closer than the permitted 6 inches to the north and west boundary lines. The property is located in the R2, Single- and Two-Family District. (Page 17)

- Variance 1: Per a survey provided by the current owner, the existing masonry garage is 1.2 inches from the western property line. The required minimum setback for a masonry garage is 6 inches. Request a variance for the garage location and the property line to remain unchanged on the west side of the property at 1.2 inches when this portion of the parcel is split from 1352 Kenilworth Ave. and added to 1356-58 Kenilworth Ave, as proposed. Pursuant to 1121.10(a)(1 ADDITIONAL ACCESSORY STRUCTURE REGULATIONS (Ord. 32-16. Passed 9-6-2016.)
- Variance 2: Per a survey provided by the current owner, the existing masonry garage is 4.8 inches from the northern property line. The required minimum setback for a masonry garage is 6 inches. Request a variance for the property line and garage to remain unchanged on the north side of the property at 4.8 inches when this portion of the parcel is split from 1352 Kenilworth Ave. and added to 1356-58 Kenilworth Ave, as proposed. Pursuant to 1121.10(a)(1 ADDITIONAL ACCESSORY STRUCTURE REGULATIONS (Ord. 32-16. Passed 9-6-2016.)



1352 Kenilworth Avenue



GARAGE LOCATION DETAIL
SCALE 1"=10'

OWNERS ACCEPTANCE

RDS INVEST, LLC, THE UNDERSIGNED OWNER OF THE LAND SHOWN HEREON, DO HEREBY ACCEPT THIS PLAT OF LOT SPLIT & CONSOLIDATION.

RDS INVEST, LLC MEMBER
COUNTY OF CUYAHOGA } SS
STATE OF OHIO }

BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED THE ABOVE NAMED RDS INVEST, LLC BY ITS MEMBER, WHO ADMITTED THAT THEY DID SIGN THE FOREGOING INSTRUMENT, AND THAT THE SAME WAS THEIR FREE ACT AND DEED AND THE FREE ACT AND DEED OF RDS INVEST, LLC IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY OFFICIAL SEAL AT _____ OHIO, THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC _____
MY COMMISSION EXPIRES: _____

OWNERS ACCEPTANCE

BAILE PROPERTIES, LLC, THE UNDERSIGNED OWNER OF THE LAND SHOWN HEREON, DO HEREBY ACCEPT THIS PLAT OF LOT SPLIT & CONSOLIDATION.

BAILE PROPERTIES, LLC MEMBER
COUNTY OF CUYAHOGA } SS
STATE OF OHIO }

BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED THE ABOVE NAMED BAILE PROPERTIES, LLC BY ITS MEMBER, WHO ADMITTED THAT THEY DID SIGN THE FOREGOING INSTRUMENT, AND THAT THE SAME WAS THEIR FREE ACT AND DEED AND THE FREE ACT AND DEED OF BAILE PROPERTIES, LLC IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY OFFICIAL SEAL AT _____ OHIO, THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC _____
MY COMMISSION EXPIRES: _____

PLAT OF LOT SPLIT AND CONSOLIDATION FOR RDS INVESTMENT, LLC

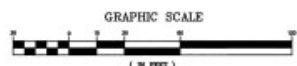
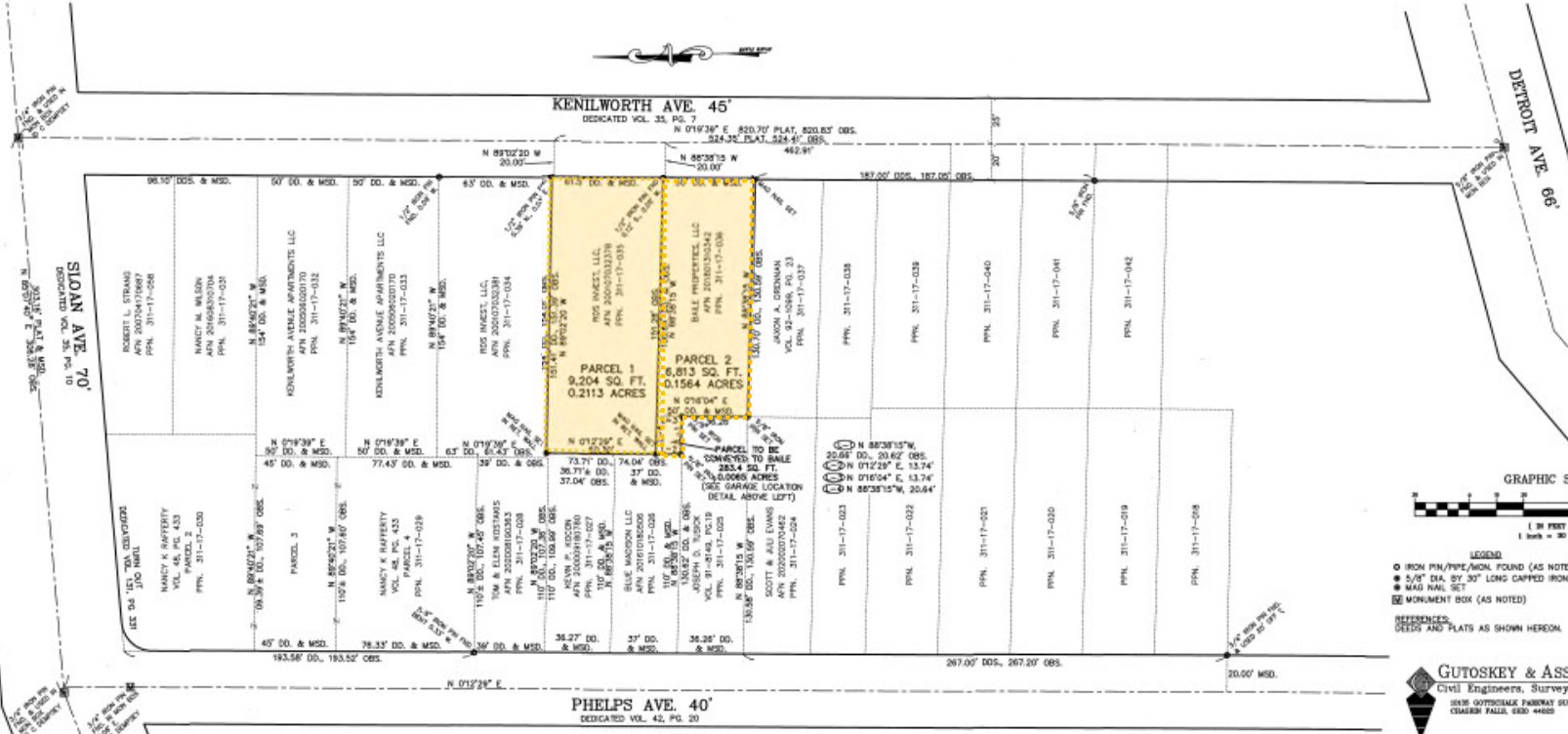
SITUATED IN THE CITY OF LAKEWOOD, COUNTY OF CUYAHOGA AND STATE OF OHIO AND KNOWN AS BEING PART OF ORIGINAL ROCKPORT TOWNSHIP SECTION NO. 23 DECEMBER, 2023

I HEREBY CERTIFY THAT I HAVE SURVEYED THE PREMISES AND PREPARED THE ATTACHED PLAT IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 4733.37 OF THE OHIO ADMINISTRATIVE CODE. DIMENSIONS ARE BASED ON THE US SURVEY FOOT AND EXPRESSED IN FEET AND DECIMAL PARTS THEREOF. BEARINGS ARE BASED ON OHIO STATE PLANE COORDINATES, NORTH ZONE 3403, NAD83 (OGRS 2011A) ALL OF WHICH I DECLARE TO BE CORRECT TO THE BEST OF MY KNOWLEDGE.

JOSEPH GUTOSKEY, P.S. 7567 DATE 1/16/24



THE INTENT OF THIS PLAT IS TO SPLIT A 283.4 SQ. FT. PARCEL OFF THE SOUTHWEST CORNER OF PARCEL 311-17-033 AND CONSOLIDATE IT WITH PPN 311-17-032.



- LEGEND
- IRON PIN/PIPE/ROCK FOUND (AS NOTED)
- 5/8" DIA. BY 30" LONG CAPPED IRON PIN SET I.D. GUTOSKEY PS 7567
- MAG NAIL SET
- MONUMENT BOX (AS NOTED)
REFERENCES:
DEEDS AND PLATS AS SHOWN HEREON.

GUTOSKEY & ASSOCIATES INC.
Civil Engineers, Surveyors and Land Planners
1636 COTTAGEWAY PARKWAY SUITE 4 CLEVELAND, OHIO 44115
TEL (440) 545-8900 JOEG@GUTOSKEY.COM

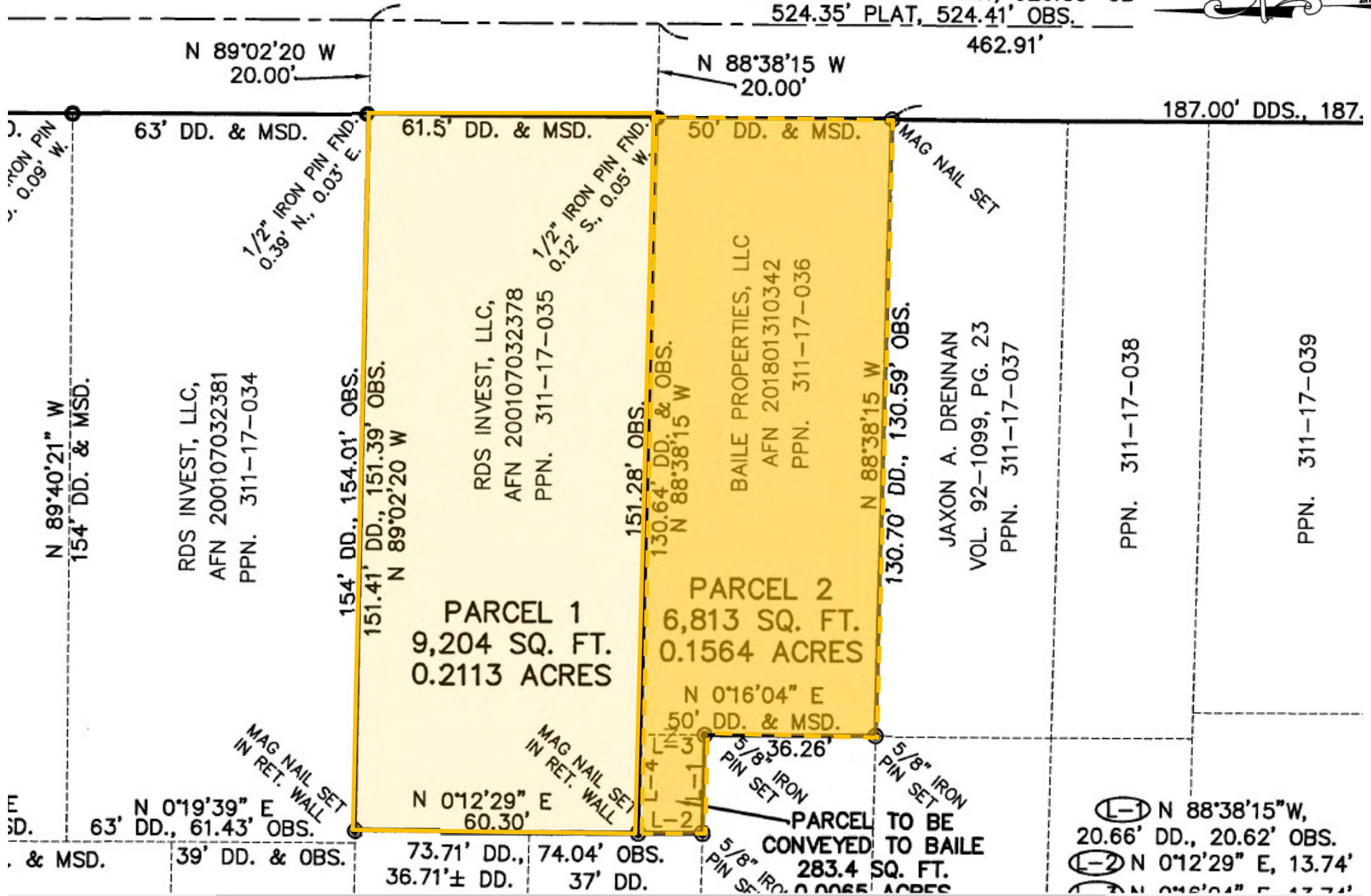
CONTRACT No. 23-3953
REVISED JAN. 11, 2024

1352 Kenilworth Avenue

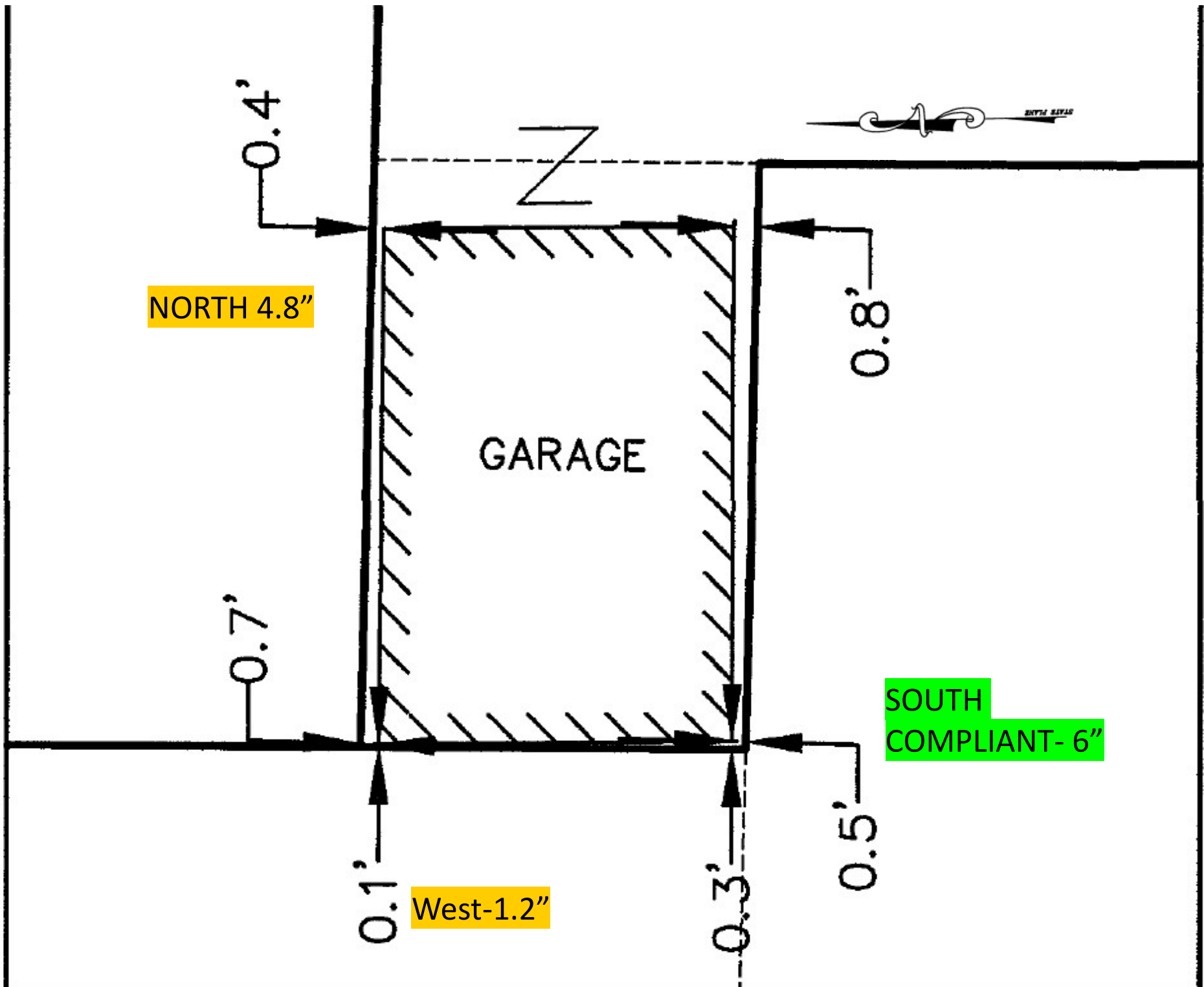
KENILWORTH AVE. 45'

DEDICATED VOL. 35, PG. 7

N 0°19'39" E 820.70' PLAT, 820.83' OB
524.35' PLAT, 524.41' OBS.



1352 Kenilworth Avenue





1352 Kenilworth Avenue



1358

135

1352 Kenilworth Avenue



1352 Kenilworth Avenue



1352 Kenilworth Avenue



1352 Kenilworth Avenue



1352 Kenilworth Avenue

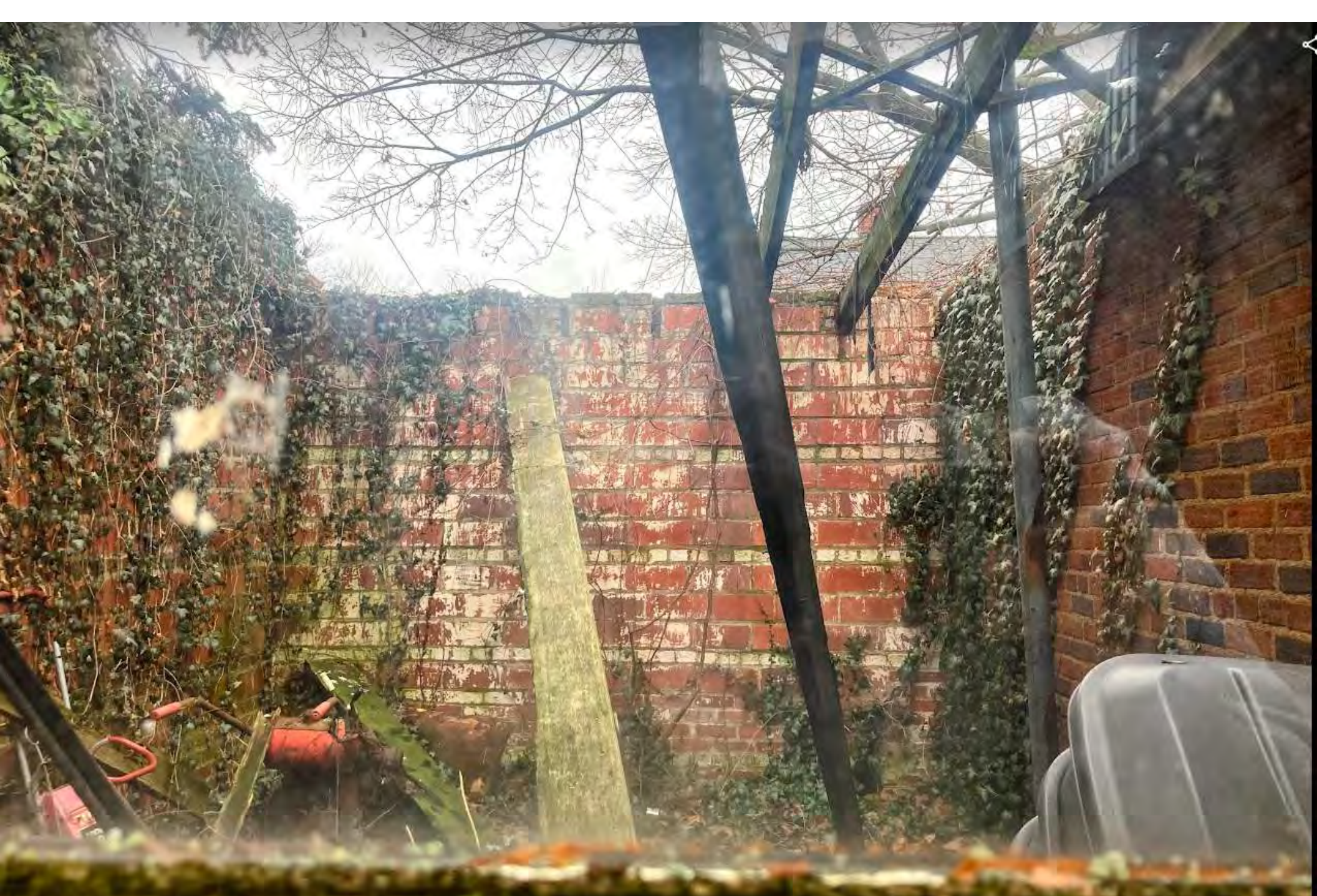




1352 Kenilworth Avenue



1352 Kenilworth Avenue



1352 Kenilworth Avenue



1352 Kenilworth Avenue



1352 Kenilworth Avenue

Owner/agent responses- 1173.04 Variances.

(1) Whether there exist site conditions, such as narrowness, shallowness, or topography, unique to the property in question that are not applicable generally to other lands or structures in the same zoning district;

no

(2) Whether the property in question is located near a non-conforming or non-harmonious use, structure, or site conditions, or whether the property in question abuts a less restrictive zoning district;

no

(3) Whether the property in question will yield a reasonable return or whether there can be any beneficial use of the property without the variance(s);

?

(4) Whether the variance(s) is substantial;

yes

(5) Whether the essential character of the neighborhood would be substantially altered or whether adjoining properties would suffer a substantial detriment as a result of the variance(s);

haha NO

(6) Whether the variance(s) would adversely affect the delivery of governmental services (e.g., water, sewer, refuse removal);

NO

(7) Whether the property owner purchased the property with knowledge of the zoning restriction;

?

(8) Whether the property owner's predicament feasibly can be obviated through some method other than a variance(s); and

No

(9) Whether the spirit and intent of the Code would be observed and substantial justice done by granting the variance(s).

yes



Administrative Comments

- Lot Split and Consolidation request has been heard and approved by Planning Commission, contingent on BZA approval of two minor area variance requests.
- The garage is existing, it will not be any further or closer to the property lines than it has been for at least 30 years
- New owners will assume violations to repair.



1352 Kenilworth Avenue



Public Comment

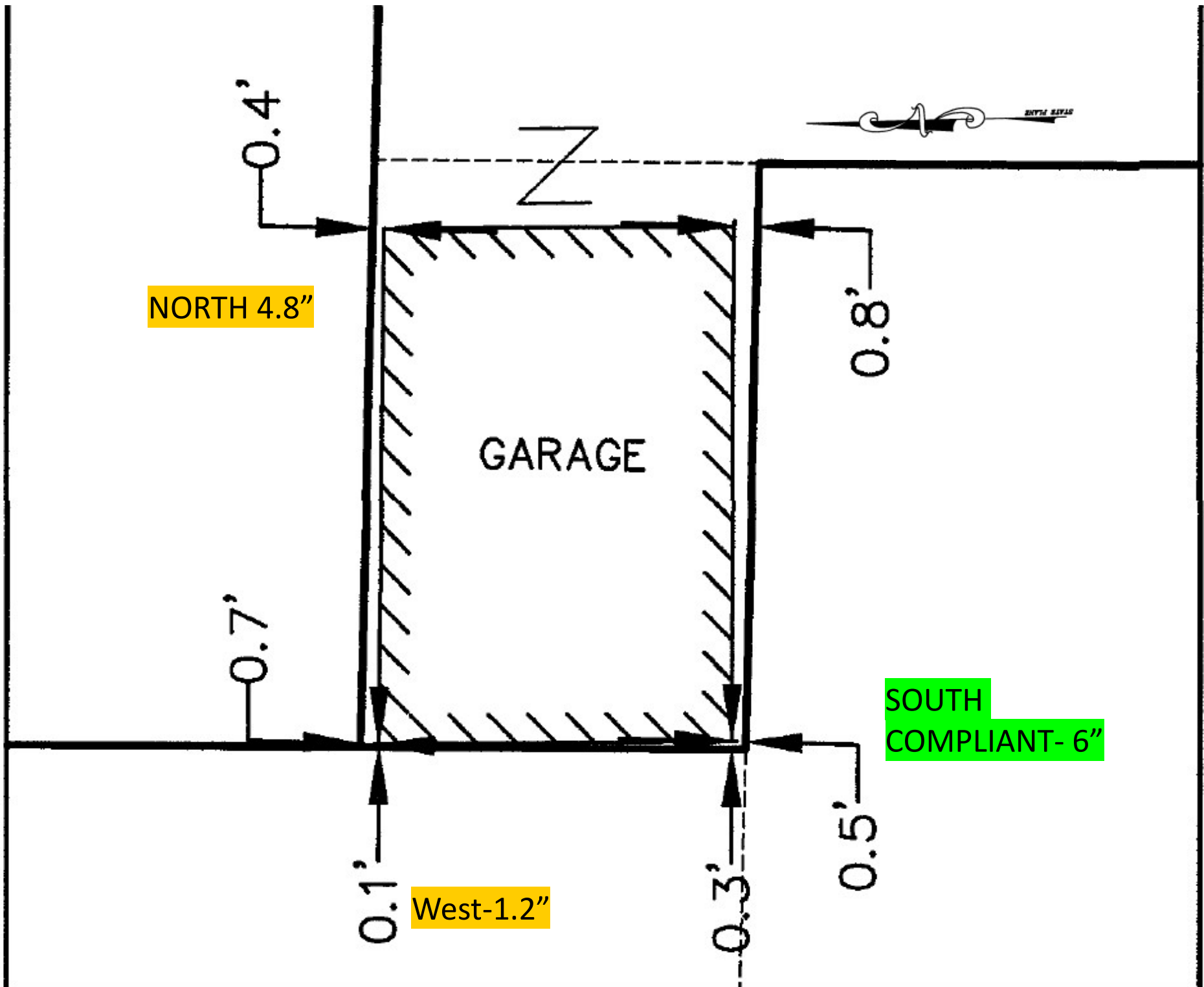
Received via email-

Meeting attendee(s)



1352 Kenilworth Avenue





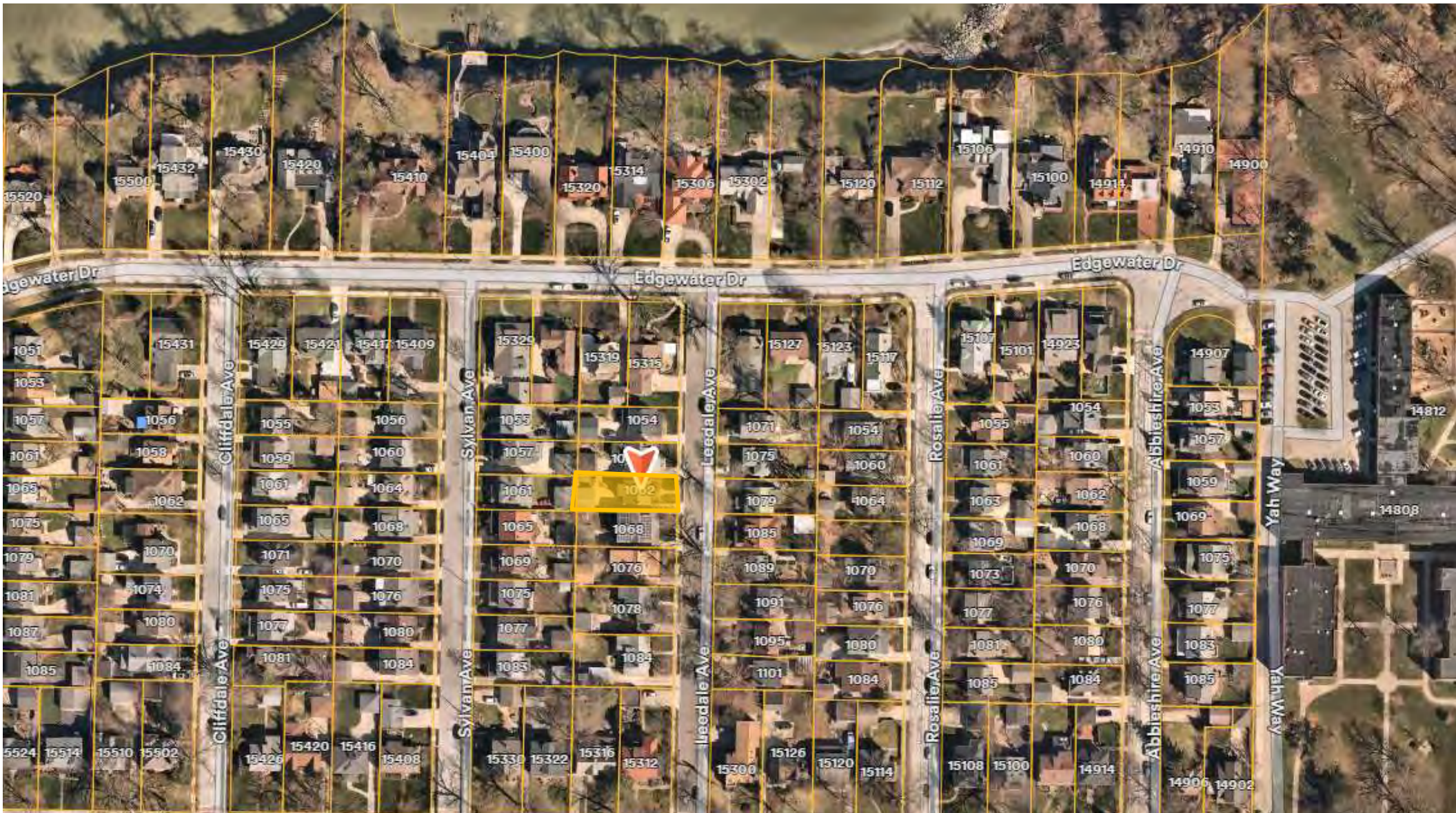
1. Docket No. 02-05-24
1352 Kenilworth Ave.
Apartments

Applicant and property owner Doug Seib, RDS Investment LLC, proposes lot split and consolidation of a small portion of land that has an existing masonry single car garage on it. The portion will be split from 1352 Kenilworth Ave. and added to 1356-58 Kenilworth Ave. The garage is closer than the permitted 6 inches to the north and west boundary lines. The property is located in the R2, Single- and Two-Family District. (Page 17)

- Variance 1: Per a survey provided by the current owner, the existing masonry garage is 1.2 inches from the western property line. The required minimum setback for a masonry garage is 6 inches. Request a variance for the garage location and the property line to remain unchanged on the west side of the property at 1.2 inches when this portion of the parcel is split from 1352 Kenilworth Ave. and added to 1356-58 Kenilworth Ave, as proposed. Pursuant to 1121.10(a)(1 ADDITIONAL ACCESSORY STRUCTURE REGULATIONS (Ord. 32-16. Passed 9-6-2016.)
- Variance 2: Per a survey provided by the current owner, the existing masonry garage is 4.8 inches from the northern property line. The required minimum setback for a masonry garage is 6 inches. Request a variance for the property line and garage to remain unchanged on the north side of the property at 4.8 inches when this portion of the parcel is split from 1352 Kenilworth Ave. and added to 1356-58 Kenilworth Ave, as proposed. Pursuant to 1121.10(a)(1 ADDITIONAL ACCESSORY STRUCTURE REGULATIONS (Ord. 32-16. Passed 9-6-2016.)



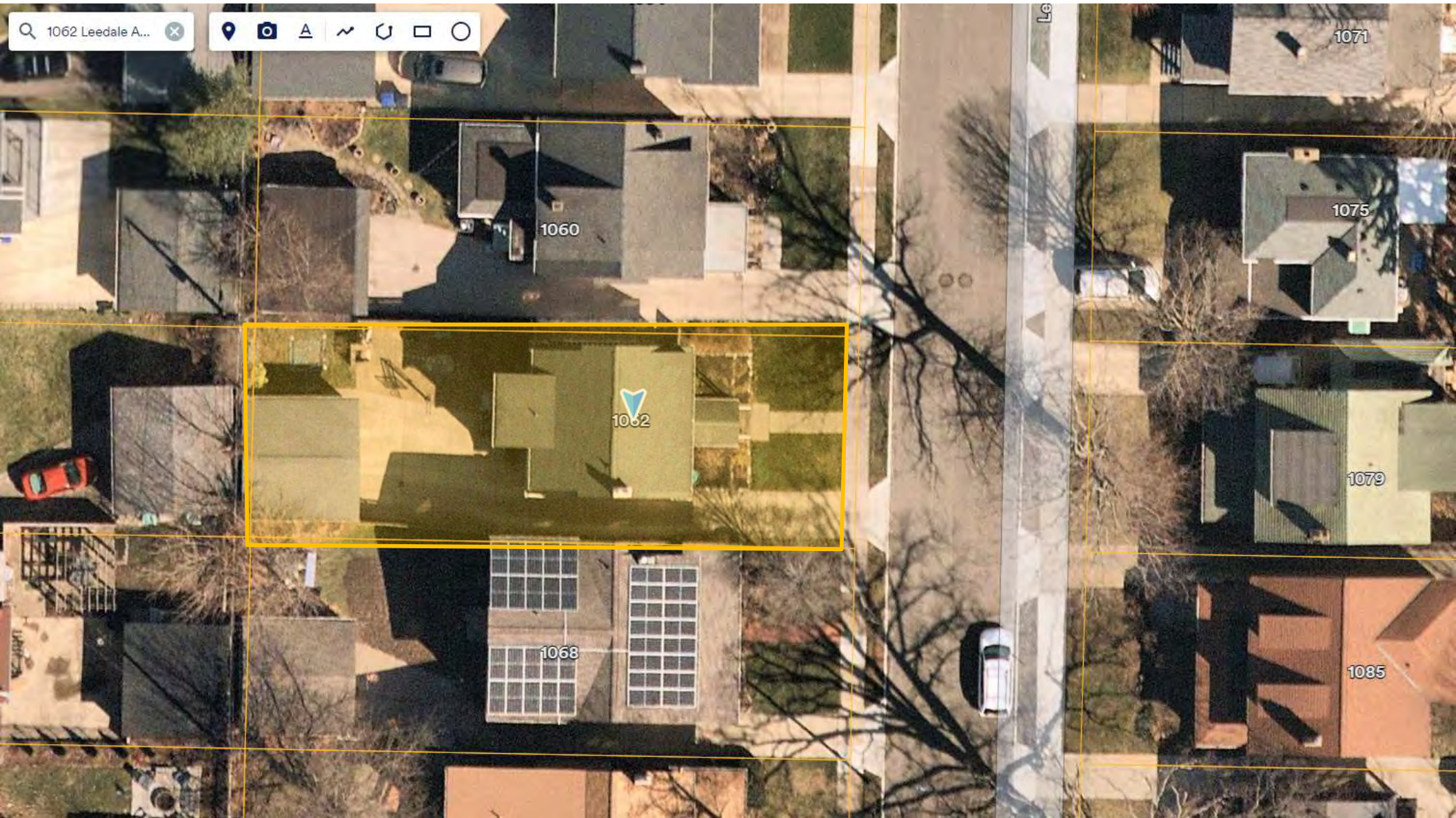
1352 Kenilworth Avenue



**Docket No. 02-06-24
1062 Leedale.**

Applicant Samuel Diaquila of AIA for property owner Patrick Tournoux proposes the construction of a 550 sq. ft. detached garage that exceeds allowable height and rear lot coverage. The property is located in the R1H, Single-Family High-Density District.





1062 Leedale

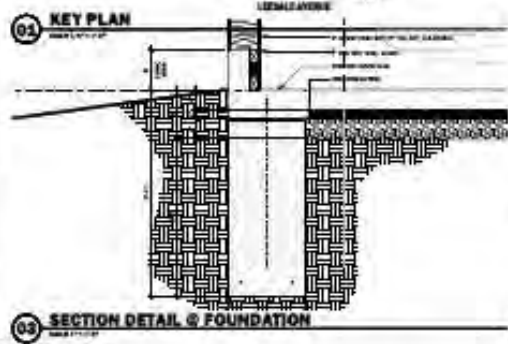
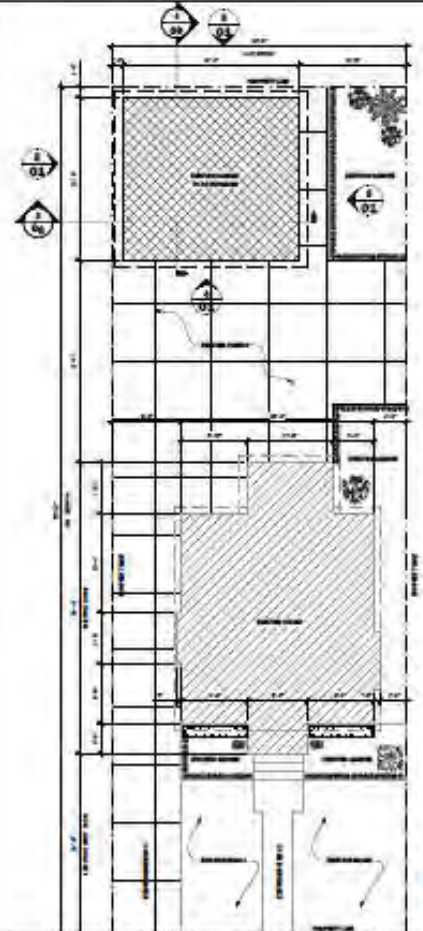
**1. Docket No. 02-06-24
1062 Leedale Ave.**

Applicant Samuel Diaquila AIA of AMSR LLC, for property owner Patrick Tournoux, proposes the construction of a garage that is 550 sq. ft. in area and 15 feet, 11 inches in height at the mid-span. Exceeds maximum rear lot coverage and height as proposed. The property is located in the R1H, Single-Family High Density District. (Page 19)

- Variance 1: Maximum permitted lot coverage is 25% of the rear yard, calculated at 2,040, 25% of 2,040 is 510 sq ft. Proposed garage is 550 sq ft or 27% as proposed. Request a variance to exceed maximum rear lot coverage by 40 square feet as proposed. Pursuant to 1121.09(c) MAXIMUM ACCESSORY LOT COVERAGE (Ord. 91-95. Passed 10-7-1996.)
- Variance 2: Maximum permitted height is 15 feet calculated at the mid-span. The calculated height of the proposed garage is 15 feet, 11 inches. Request a variance to exceed maximum calculated height by 11 inches, as proposed. Pursuant to section 1121.05(b) HEIGHT REGULATIONS (Ord. 91-95 Passed 10-7-96)



1062 Leedale



SUBSTRATE
 Type I House Slab with rebar top and detailing per details and extend across all exterior walls and door openings.
 #1 A7A solid wall sheathing
 2" layer of closed cell polyurethane foam insulation
 Fiberglass batt insulation to fill stud cavity and meet code required R-Value.
 Accoustical foam insulation in level walls between non-generating activities may take place (study room, bathroom, etc.)
 #1 Gypsum board, level V finish except in level above and garage where level IV is sufficient.
 Doors, joint, wall paper or other exterior finish as indicated by Owner.

TYPICAL FLOOR
 #1 Engineered ground laminated flooring, set to be flush with existing finished floor level.
 #1 Engineered ground laminated flooring, glued and nailed to joist.
 1/2" floor joist @ 16" O.C. Unless noted otherwise - see drawings.
 #1 Type X Fiberglas Gypsum board with Level V finish on ceiling at the outside of joist in finished space.
 See drawings for structural steel truss, structural notes, etc.

NEW EXTERIOR WALL CONSTRUCTION:
 Wood shingle roof
 Insulation as per A7A, solid plywood w/ 2" closed framing @ 16" O.C.
 New 5/8" solid double framing
 Sipes 1/2" insulating 2x4 framing
 Outside R20 insulation
 5/8" gypsum board w/ level 5 finish, type for new construction unless noted otherwise.
 Flexible concrete quality, finish and control joints per specifications elsewhere in construction documents.

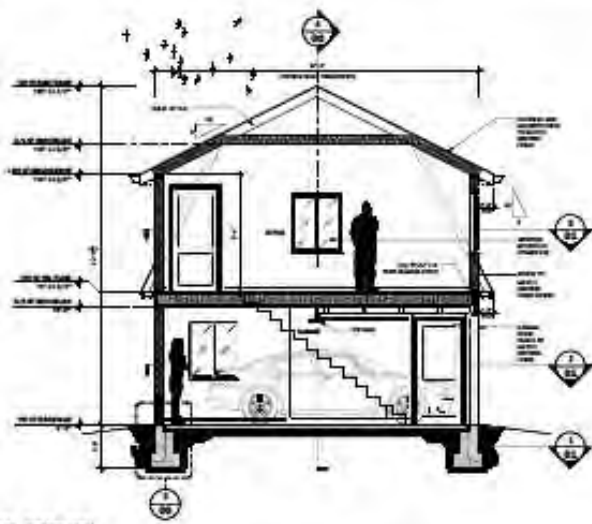
METAL ROOFING
 Standing seam as slope greater than 1:12
 Painted, galvanized steel as slope of 1:12 or less.
 Corrosion Resistant "30" will following working underlayment or
 #10 asphalt saturated building paper, or red cedar paper, depending upon slope.
 Details per S.M.A.C.N.A. and/or C.D.A. guidelines and specifications.
COLD ATTEC:
 Continuous exterior ridge vent
 Rafter to rafter insulation to provide required R-value from eave to ridge.
 Corrosion treated lower eaves metal cladding
 Insulation at eaves as required R-value (min. R-30)
 Finishing if required.

WARM ATTEC:
 2" spray on closed cell polyurethane foam insulation against sheathing
 Fiberglass batt insulation to provide required R-value from eave to ridge and to fill cavity.
 #1 Type X Fiberglas gypsum board.

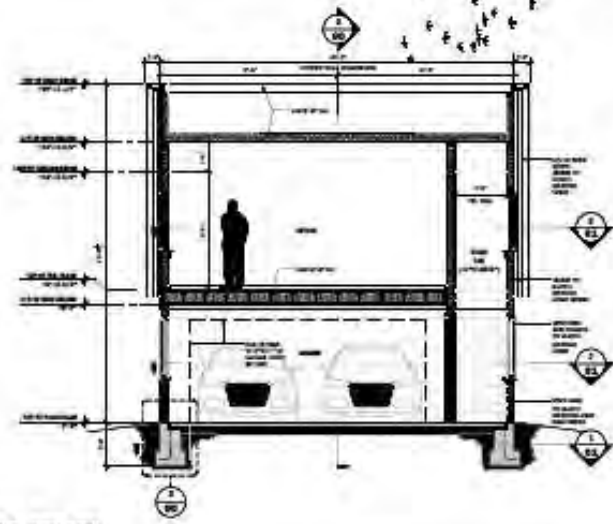
FOUNDATION WALL:
 2" x pressure treated all pine, white oak top CMU w/ lateral rebar set from exterior with concrete with #1 REINFORCING light plate grade rebar extend end by 6" in approved equal.
 #1 dimension 1" long anchor bolts w/ 1/2" O.C. minimum - use at least 2 bolts per each length of plate.
 Class III CMU constructed, grade exterior full height 12 courses (per code).
 Page and waterproof exterior surface at least.
 Form exterior plaster base, bottom of sheathing to below grade.
 Cell polyurethane foam insulation, cover with non-combustible and non-toxic gypsum board.
 CMU foundation wall construction as follows:
 Curved horizontal joint reinforcing @ 16" O.C.
 12 courses or less use 15 bars ground solid full height @ 16" O.C.
 12-14 courses use 15 bars ground solid full height @ 16" O.C.
 15 courses use 15 bars ground solid full height @ 16" O.C.
 Provide 15 footing dowels embedded 4" into footing with a 12" lap by and extending above top of footing and into CMU wall @ 16" O.C.
 12" deep horizontal footing, 3/4" below grade, continuous, if wider than primary wall above in each direction, with (2) #5 bars full length at bottom of footing, 1" above bottom of footing.
 Drain, constructed earth, bearing capacity 1500 psf

ROOF RAFTS, BATTES, etc.
 Fiberglass ceiling sheathing to match existing.
 Copper or Perforated Aluminum flashing in all roof penetrations.
 verify and match existing, maintain slope.
 1/2" thick 1/2" wide water shield membrane, 3/4" wide min. at all seams, valves and valleys and around penetrations. All Asphalt flag, felt underlayment.
 #1 A7A solid wall sheathing coordinate that/where where level and surface is aligned with existing structure.
 If forming a vented roof attic, install insulation air barrier on outside of roof sheathing and seams at eave and ridge to maintain flow.
 2" spray on closed cell polyurethane foam insulation with Fiberglass batt insulation to provide for code minimum req'd R-value.
 primed and painted prior to installation, or both (to be in match existing details).
 1/2" x 1/2" gyp board or certified sheathing existing (verify existing and match).
 2x Studs.
 1/2" wood 1/2" board Cedar or Pine T&G with battens with continuous 1" pressure treated white oak 12 minimum spacing inclusive untreated side.
 Corbel blocks are level ends and equally spaced between horizontal soffits as shown.
 Solid red rubber tails to match existing, install other side as that they are approximately and equally spaced.
 Level finish and trim to match existing and Prior note into block, prior to installation of soffit and battens.
 Perforated aluminum drip edge at eave and soffit.
 Perforated aluminum 5" fast-track gable with 1/2" soffit.

02 GENERAL NOTES



04 SECTION



06 SECTION

GENERAL NOTES & LEGEND

1	2	3	4	5	6	7	8	9	10
11	12	13	14	15	16	17	18	19	20
21	22	23	24	25	26	27	28	29	30
31	32	33	34	35	36	37	38	39	40

REVISIONS

NO.	DATE	DESCRIPTION

Samuel V. Diquito, AIA CSI
 ARCHITECT

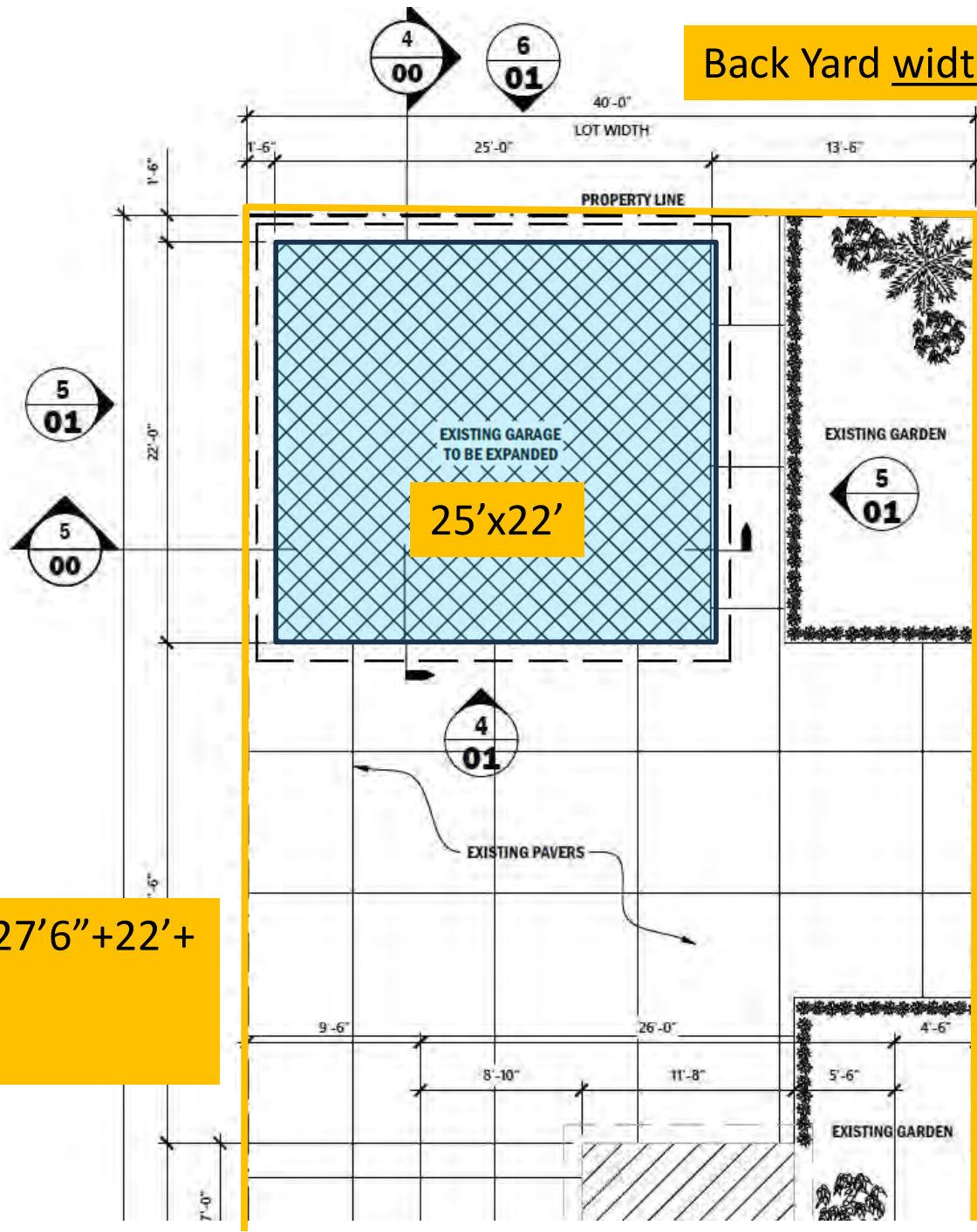
1200 WEST CRYSTAL LANE, DE WITT
 DE WITT, OHIO 43015
 TEL: 614.262.2000
 FAX: 614.262.2001
 WWW: SDV@SDV.COM

Project: **THORNTON RESIDENCE GARAGE**
 10000 W. 10000 N. DE WITT, OHIO
 SHEET: **02**
 DATE: 10/20/2010
 DRAWN BY: **SDV**
 CHECKED BY: **SDV**
 SCALE: **AS SHOWN**

A-02



Back Yard width 40'0"



Side and rear setback- 1'6" as proposed

Rear Yard- 51' x 40'=2,040sqft
25% of 2,040=510 sq ft
Proposed is 550 sq ft or 27%

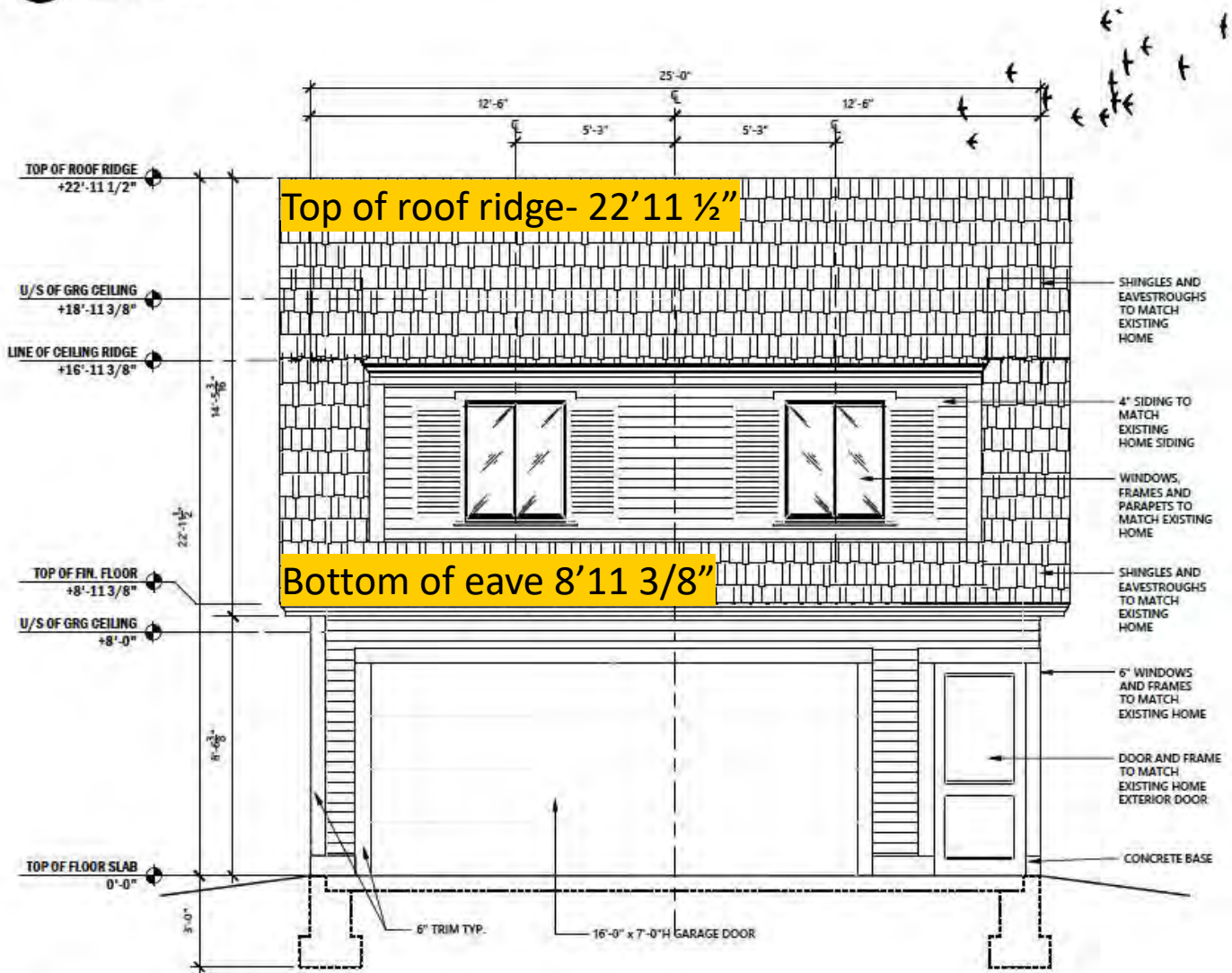
Back yard depth 27'6"+22'+ 1'6"= 51' depth



1062 Leedale

01 FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



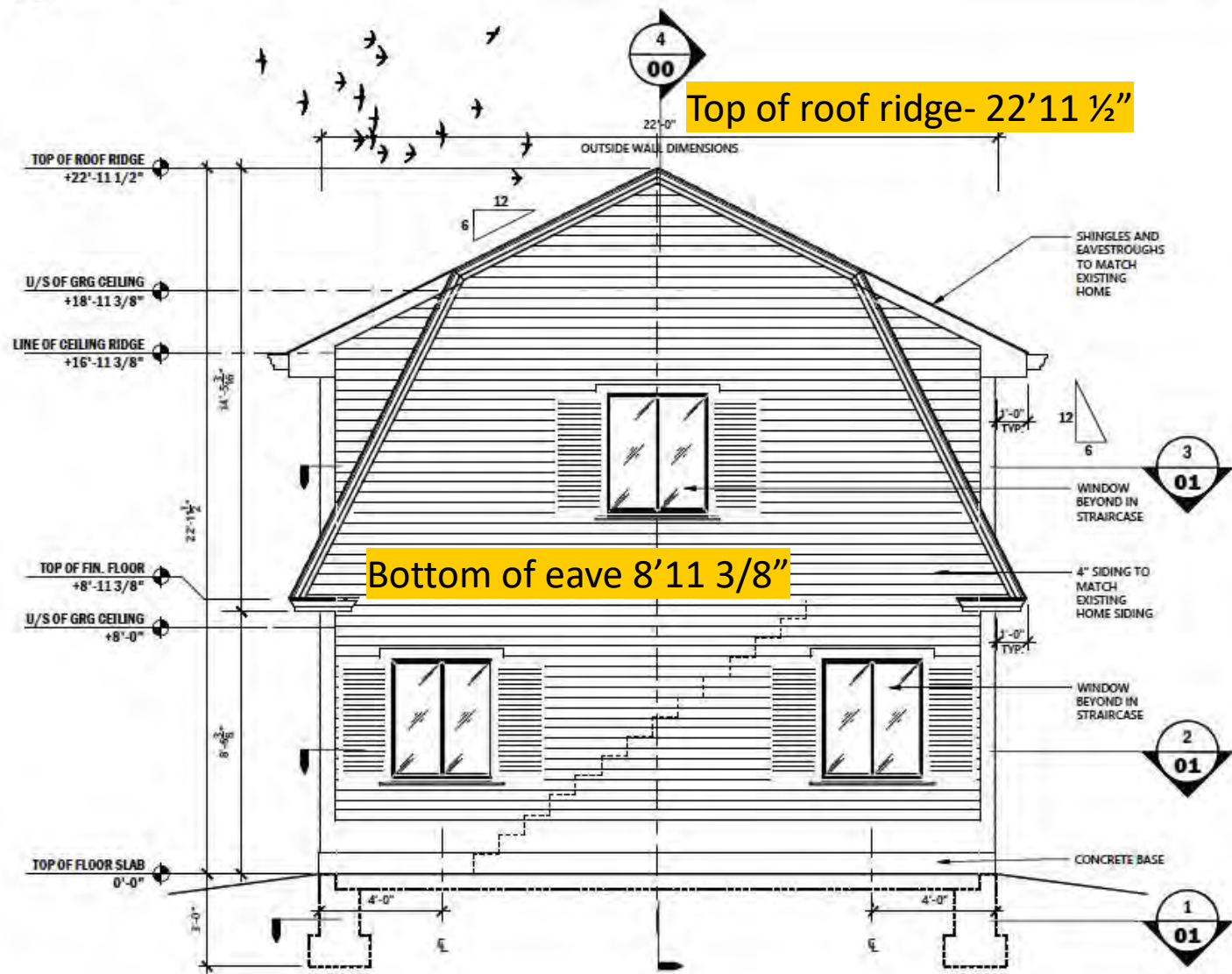
04 FRONT ELEVATION

SCALE: 1/4" = 1'-0"



1062 Leedale

02 GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"



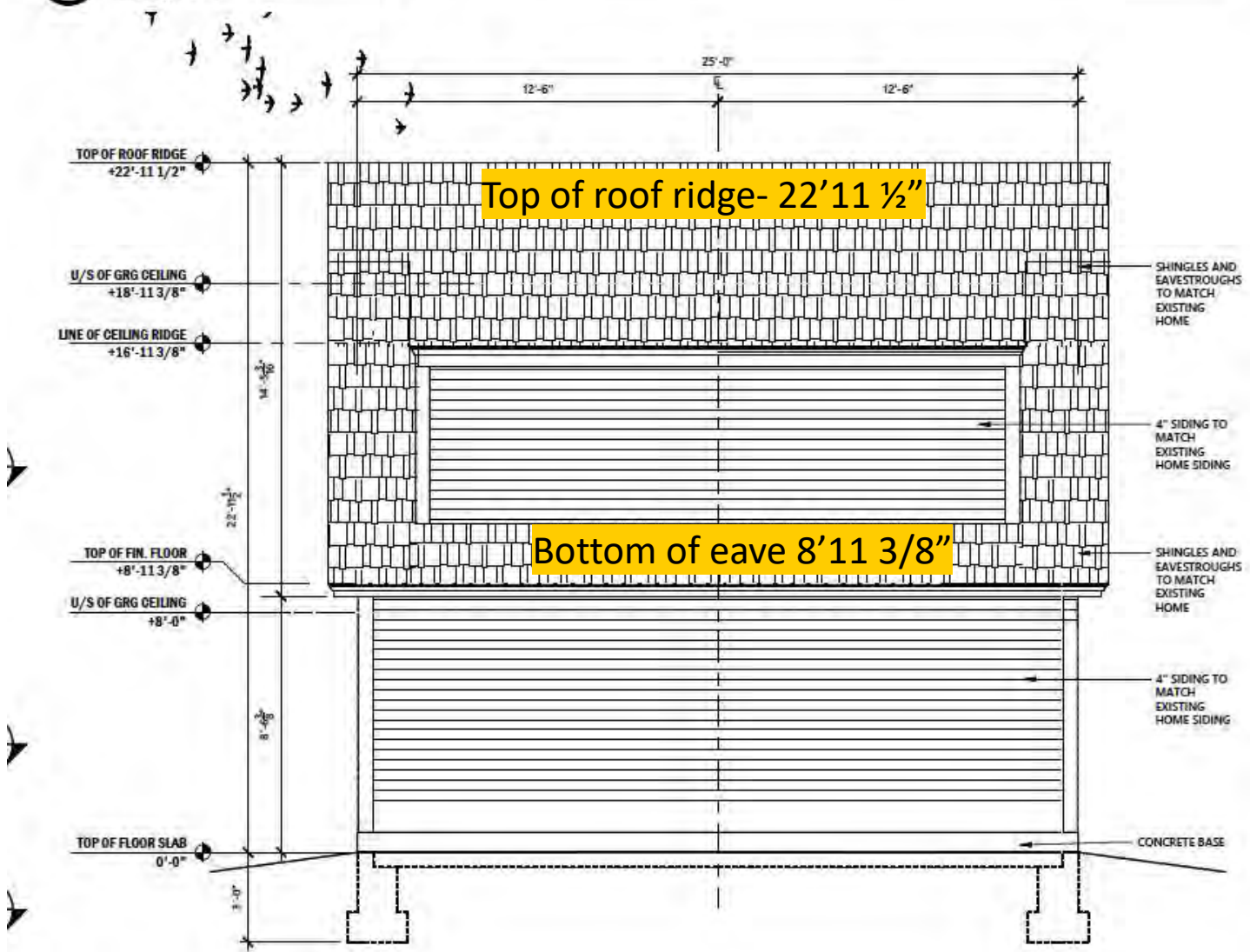
05 TYP. SIDE ELEVATION
SCALE: 1/4" = 1'-0"



1062 Leedale

03 SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



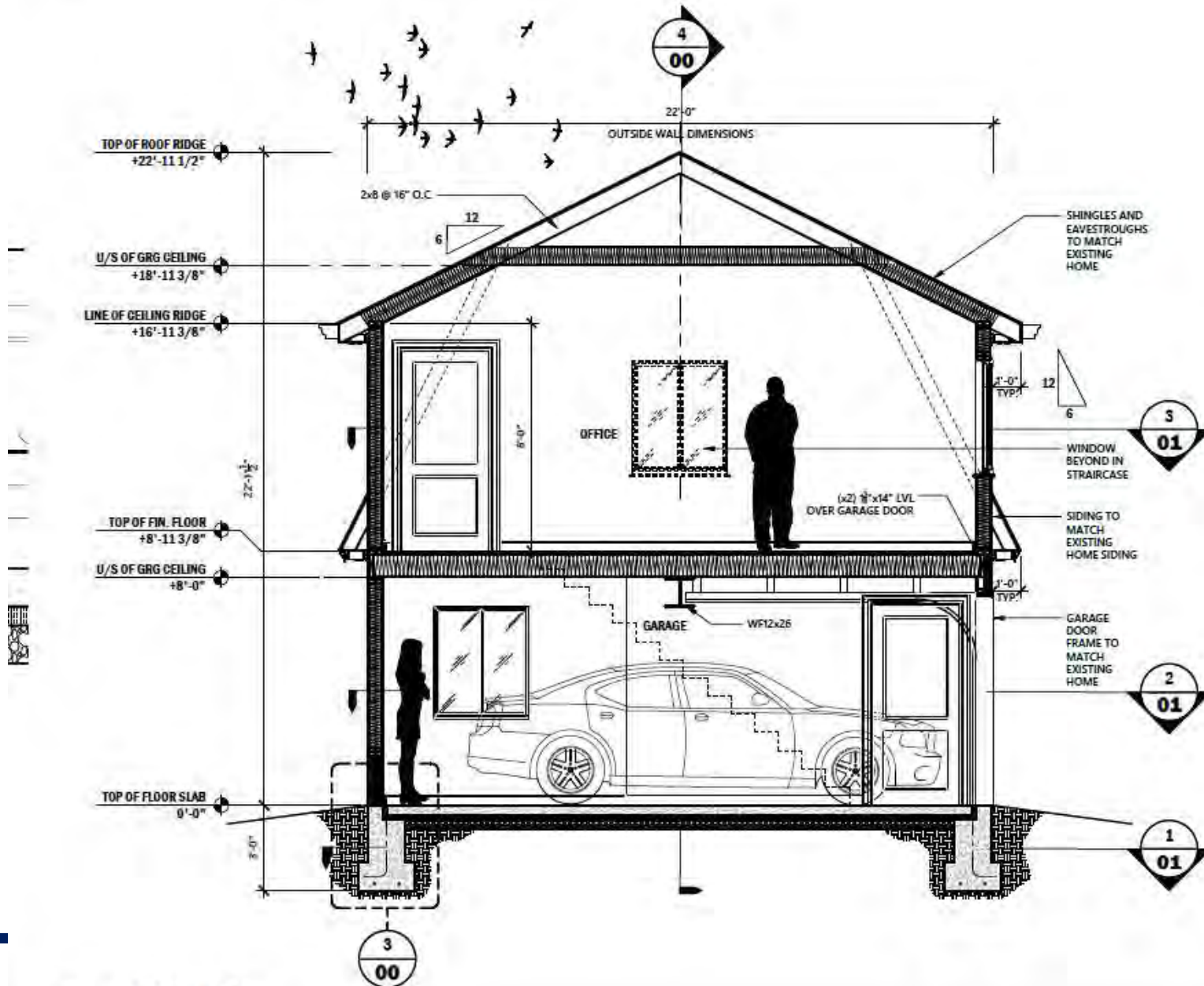
06 REAR ELEVATION

SCALE: 1/4" = 1'-0"



1062 Leedale

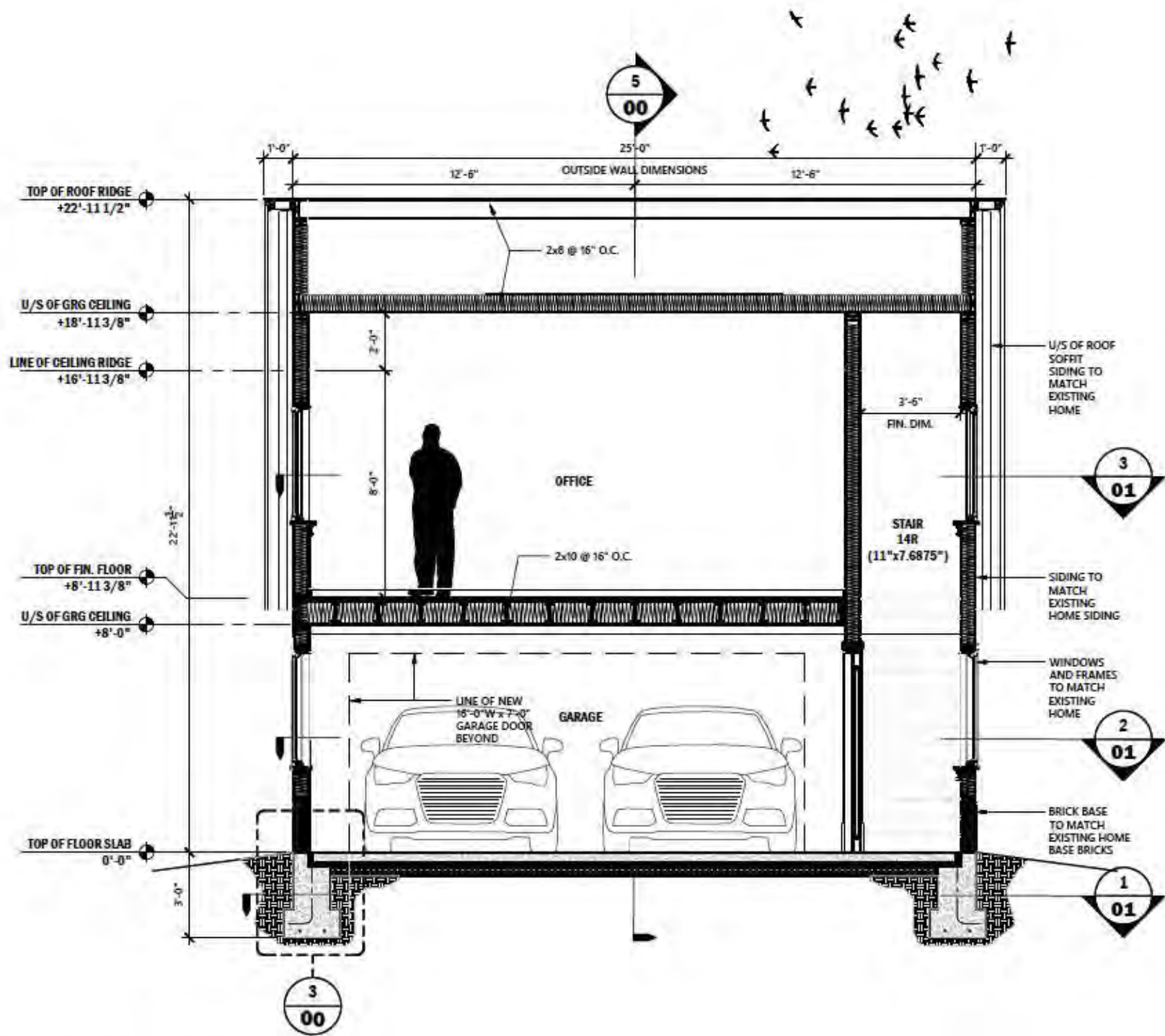
02 GENERAL NOTES



04 SECTION
SCALE: 1/4" = 1'-0"

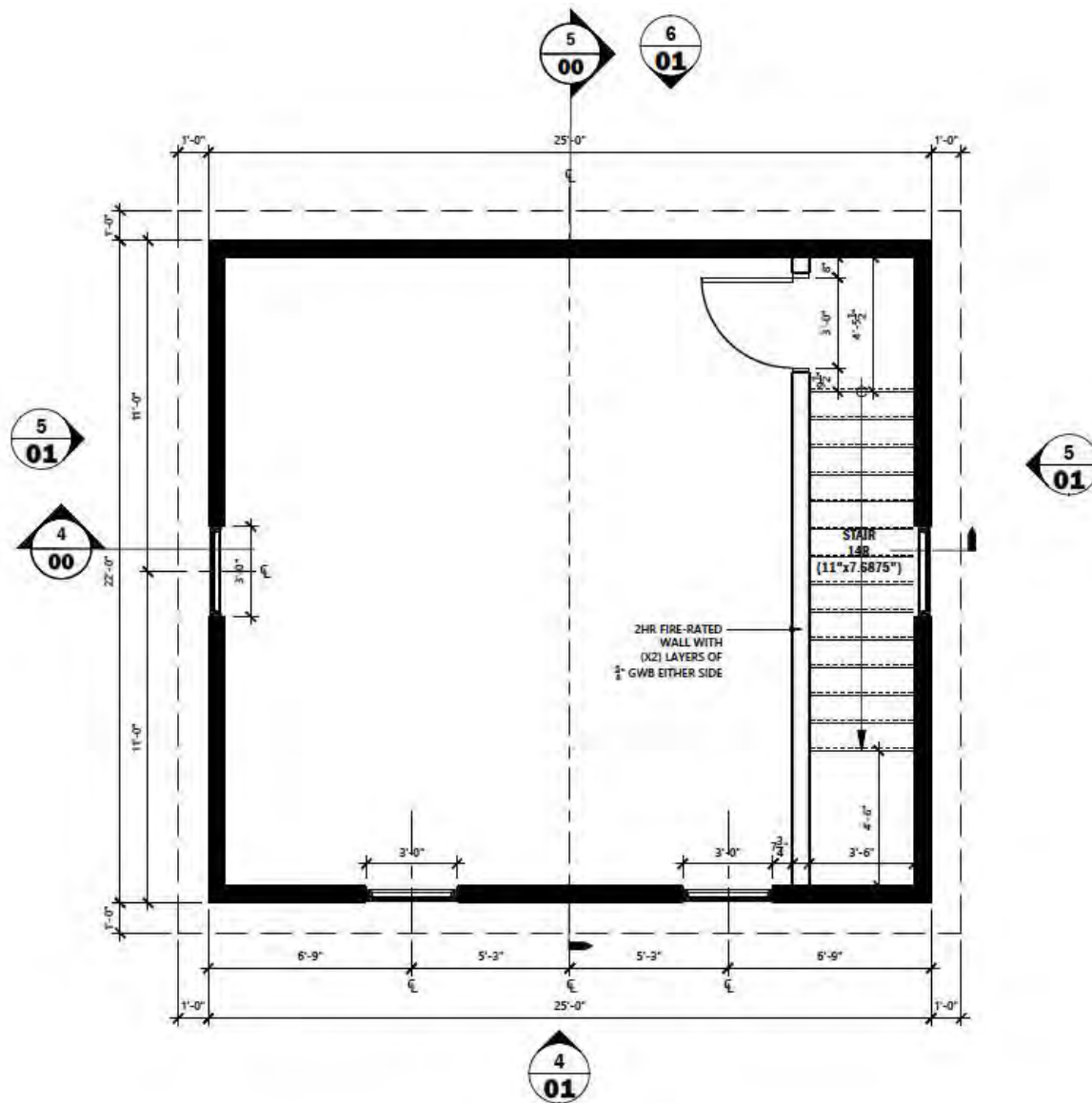
Leedale





05 SECTION
SCALE: 1/4" = 1'-0"

lale

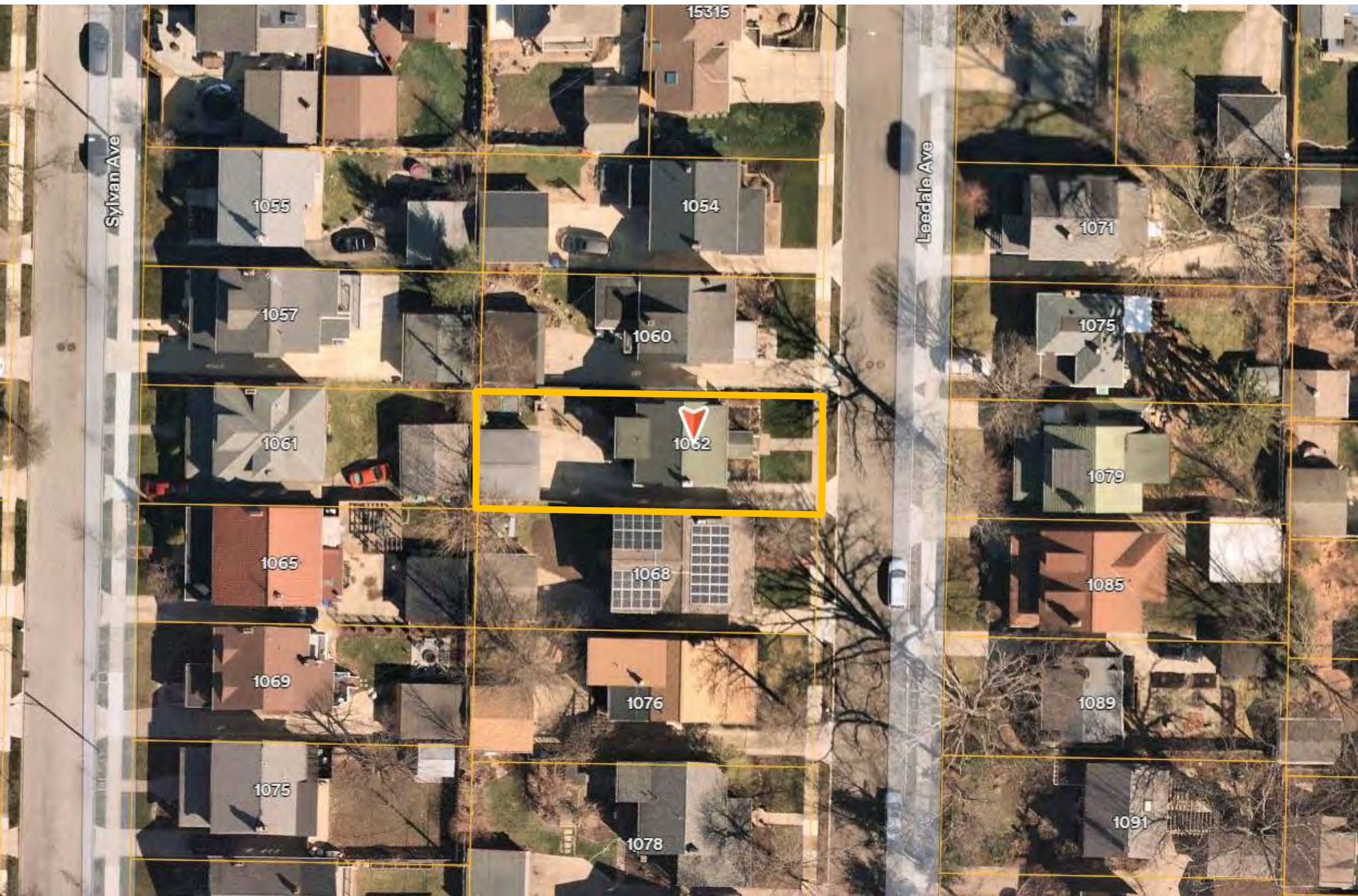


1/

03 SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"



1062 Leedale



1062 Leedale





1062 Leedale



1062 Leedale



1062 Leedale



1062 Leedale



1062 Leedale - looking south

Owner/agent responses- 1173.04 Variances

(1) Whether there exist site conditions, such as narrowness, shallowness, or topography, unique to the property in question that are not applicable generally to other lands or structures in the same zoning district;

Not Applicable.

(2) Whether the property in question is located near a non-conforming or non-harmonious use, structure, or site conditions, or whether the property in question abuts a less restrictive zoning district;

Not Applicable.

(3) Whether the property in question will yield a reasonable return or whether there can be any beneficial use of the property without the variance(s);

No. Reasonable is a relative term. Pat Tournoux and his wife Christina are both longtime Lakewood Residences (house purchased in 1983) as well as long standing active Lakewood citizens and business owners. Pat and Christina are avid golfers. The "relative" factor in this discourse is understanding the very short window of good weather to actively play golf outdoors. The 2nd story space will be equipped with a golf game simulator and swing analysis computer in a large screen format. An 11' ceiling is required to clear a full swing. Year round golf provides the Tournouxes with both physical and mental health benefits provided "returns" that cannot be accessed in the existing garage or main house structure. This proposed 2nd floor space is purely and solely for Tournouxes' personal use.

(4) Whether the variance(s) is substantial;

No. Applicant is requesting a garage height variance from the standard 15' height to 21' - 3 7/8" which is 6' - 3 7/8" above zoning height standard.

Note that no rear lot coverage variance is required as the subject proposed footprint of 550 square feet is less than the allowed 560 square foot coverage allowed (existing rear yard is 2238 square feet).



Owner/agent responses- 1173.04 Variances

(5) Whether the essential character of the neighborhood would be substantially altered or whether adjoining properties would suffer a substantial detriment as a result of the variance(s);

No. This proposed structure is only visible when looking directly west up the property driveway from the street. It's location near the rear and side yard lot lines nestles it amongst adjacent property owners' garage structures. The sensitive attention to matching the main residences details, character, materials and colors will enhance the value of this and adjacent properties.

(6) Whether the variance(s) would adversely affect the delivery of governmental services (e.g., water, sewer, refuse removal);

No. All services and utilities will not be affected whatsoever.

(7) Whether the property owner purchased the property with knowledge of the zoning restriction;

Not Applicable. When purchased in 1983, technology of this nature was not dreamed of.

(8) Whether the property owner's predicament feasibly can be obviated through some method other than a variance(s); and

No. The 11' ceiling height required for a full golf club swing cannot be achieved in any other location.

(9) Whether the spirit and intent of the Code would be observed and substantial justice done by granting the variance(s).

Yes. The spirit and the intent of the Code to prevent unsightly structures which impose on adjacent neighbors. This scheme respects the upscale nature of both Leedale and the adjacent "north of Lake Ave." property values with its attention to good taste. This a clear "common sense" variance request for approval.



Administrative Comments

- Similar BZA Cases – Detached Garages (Mean Heights):
 - • 09-18-20 (18147 Clifton) – Garage/Art Studio (19.67') Lot size 17, 986 square feet, garage 125 ft from the public right of way.
 - • 02-03-19 (1235 Summit) – Garage/Art Studio (16.5')
 - • 07-15-18 (2063 Lakeland) – Denied (16') – Lot space to modify design horizontally
 - • 06-10-18 (2211 Clarence) – Condition: Incidental Storage Only (17') abutting industrial
 - • 03-04-18 (2091 Lakeland) – Denied (16.67') – Lot space to modify design horizontally
 - • 05-08-15 (1636 Alameda) – Condition: Incidental Storage Only (~15.5')
 - • 07-26-13 (1666 Lincoln) – Condition: Incidental Storage Only (~15.5')



Administrative Comments

- The original proposal submitted was a gable style roof that would require a 6 ½ foot height variance. The applicant amended request and submitted a mansard-style roof which reduces the height request to 11” above the 15’ permitted.
- Plans say “existing garage to be expanded” applicant please explain what parts of garage are to be reused?
- The lot is 4,600 sq. ft, the minimum size of a lot in R1H district is 5,000, lot is undersized by today’s zoning requirements, no room to expand horizontally without a variance.
- Abutting adjacent neighbors have single story garages
- Surrounded by other residential properties

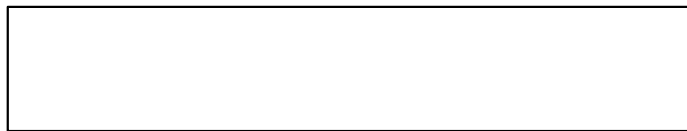
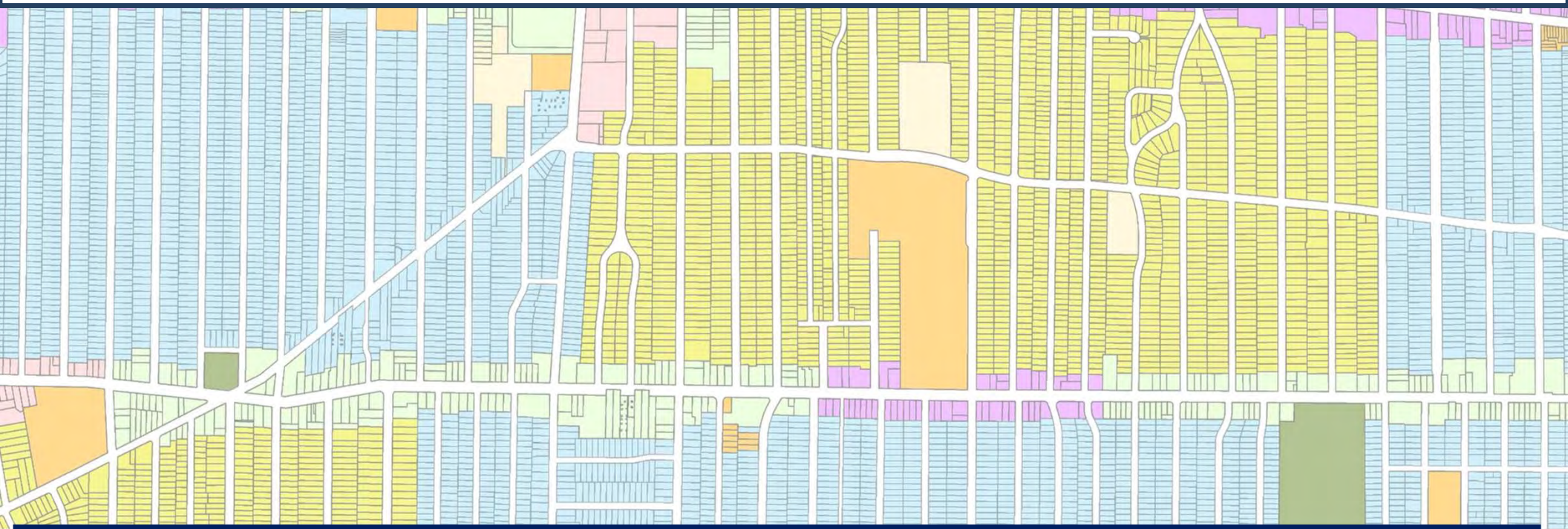




Public Comment

Received via email-

Meeting attendee(s)



**1. Docket No. 02-06-24
1062 Leedale Ave.**

Applicant Samuel Diaquila AIA of AMSR LLC, for property owner Patrick Tournoux, proposes the construction of a garage that is 550 sq. ft. in area and 15 feet, 11 inches in height at the mid-span. Exceeds maximum rear lot coverage and height as proposed. The property is located in the R1H, Single-Family High Density District. (Page 19)

- Variance 1: Maximum permitted lot coverage is 25% of the rear yard, calculated at 2,040, 25% of 2,040 is 510 sq ft. Proposed garage is 550 sq ft or 27% as proposed. Request a variance to exceed maximum rear lot coverage by 40 square feet as proposed. Pursuant to 1121.09(c) MAXIMUM ACCESSORY LOT COVERAGE (Ord. 91-95. Passed 10-7-1996.)
- Variance 2: Maximum permitted height is 15 feet calculated at the mid-span. The calculated height of the proposed garage is 15 feet, 11 inches. Request a variance to exceed maximum calculated height by 11 inches, as proposed. Pursuant to section 1121.05(b) HEIGHT REGULATIONS (Ord. 91-95 Passed 10-7-96)



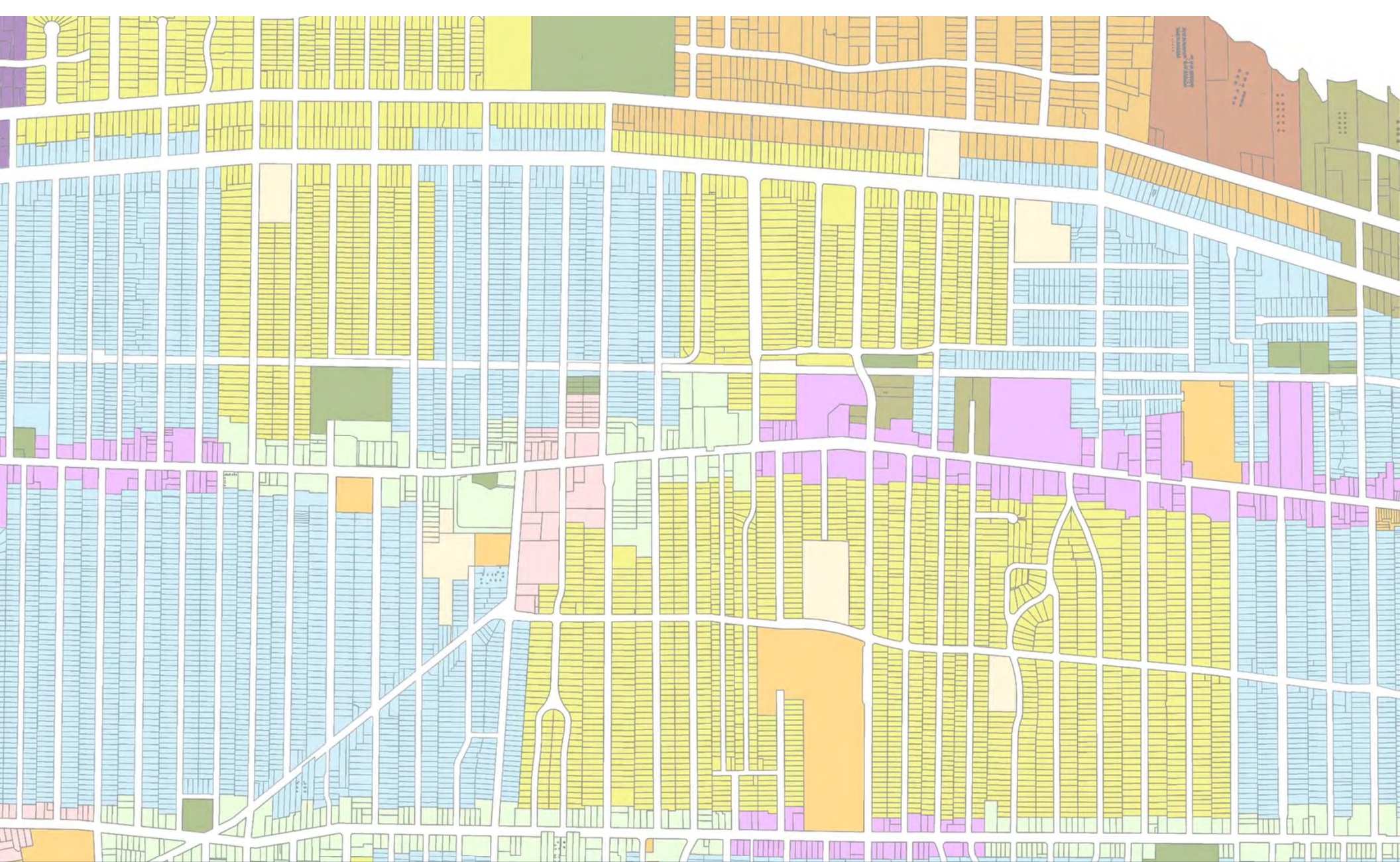
1062 Leedale

A detailed zoning map of a city, showing various colored zones (yellow, blue, orange, green, purple) and street layouts. A large white rectangular box with a black border is centered over the map.

Adjourn



Board of Zoning Appeals



Board of Zoning Appeals