

**MINUTES
BOARD OF ZONING APPEALS
REVIEW MEETING
LAKEWOOD CITY HALL
AUDITORIUM
MARCH 16, 2023
6:30 P.M.
MEETING IS RECORDED
<https://www.lakewoodoh.gov/videos-2/>**

1. ROLL CALL

Members Present

Jillian Bolino
Megan Otter, Chair
Jeffrey Pigott
Anthony Santiago

Administrative Staff

Michelle Nocht, Senior Planner, Secretary
Justin Maskaluk, Property Maintenance Inspector
Andrew Fleck, Assistant Prosecutor

A motion was made by Ms. Otter, seconded by Ms. Bolino to **EXCUSE** the absence of Michael Alexander, Vice Chair. All in favor, the motion passes.

2. APPROVE MINUTES OF THE FEBRUARY 16, 2023 MEETING

A motion was made by Ms. Otter, seconded by Mr. Santiago to **APPROVE** the February 16, 2023 meeting minutes. All the members voting yea, the motion passed.

3. OPENING REMARKS

Ms. Nocht read the Opening Remarks into record.

OLD BUSINESS

**4. Docket No. 12-32-22*
1655 Roosevelt Ave.**

Applicant homeowner Christopher Walling proposes the construction of a new garage on the site of a previously demolished garage. The proposed garage has a calculated height of 17 feet, permitted maximum is 15 feet. The property is in the R1H, Single Family High-Density Residential District. (Page 3)

- Variance 1: Request a variance to exceed the maximum permitted height of an accessory structure. The maximum permitted accessory structure height is 15 feet calculated. The proposed garage height is calculated at 17 feet. Request a variance to exceed the permitted maximum height by 2 feet, as proposed. Pursuant to section 1121.05(b) Height Regulations (Ord. 91-95. Passed 10-7-1996.)
- Variance 2: Request a variance to reduce the minimum required side yard setback of an accessory structure. The permitted minimum setback for a wood structure is 18 inches. Request a variance to reduce the side setback of the garage on the south side to 12 inches, as proposed. Pursuant to section 1121.10(a) (Ord. 32-16. Passed 9-6-2016.)

*The applicant has requested a deferral from the March 16, 2023 meeting.

At the request of the applicant, the item was deferred. No action was required from the members.

**5. Docket No. 02-02-23
2183 Eldred Ave.**

Applicant Susan Broadwater of Beegan Architecture for property owner Daniel Boich proposes the construction of a new garage. The proposed garage has a calculated height of 17 feet, permitted maximum is 15 feet. The property is in the R1H, Single Family High-Density Residential District. (Page 4)

- Variance 1: Request a variance to exceed the maximum permitted height of an accessory structure. The maximum permitted accessory structure height is 15 feet calculated. The proposed garage height is calculated at 16 feet 4 inches. Request a variance to exceed the permitted maximum height by 1 foot 4 inches feet, as proposed. Pursuant to section 1121.05(b) Height Regulations (Ord. 91-95. Passed 10-7-1996.)

Paul Beegan, Beegan Architecture was present to explain the request. The members thanked the applicant for the modifications; the proposed garage height had been reduced by 8 inches from the previous month's submittal. Public comment was closed as no one addressed the item. Staff did not receive any public comment prior to the meeting.

A motion was made by Ms. Otter, seconded by Ms. Bolino to **APPROVE** the request as presented. Ms. Bolino, Ms. Otter, Mr. Pigott, and Mr. Santiago voting yea, the motion passed.

NEW BUSINESS

**6. Docket No. 03-04-23
1209 Westlake Ave.**

Applicant and property owner Armand Borick proposes the construction of a 173 sq ft. single-story addition on the back of the house. The proposal will increase the lot coverage to 30% of the lot, where 25% is permitted, and reduce the rear setback to 34 feet 5 inches, where 40 feet is required. Property is located in the R2 Single- and Two-Family Residential District. (Page 11)

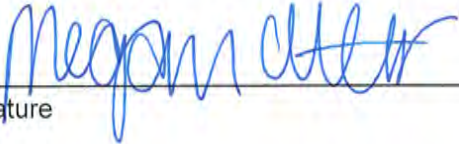
- Variance 1: Request a variance to exceed the maximum permitted lot coverage of a primary structure. Maximum permitted primary lot coverage is 25%. The proposed 173 sq foot single story addition will increase the lot coverage to a total of 1,052 square feet which is 30% on the 3,500 sq foot lot. Request a variance to exceed primary lot coverage by 5%. Pursuant to section 1123.09(a) Maximum Lot Area Coverage Regulations (Ord. 91-95. Passed 10-7-1996.)
- Variance 2: Request a variance to reduce the rear yard setback of a primary structure. Required primary structure setback from the rear property line is 40 feet, the proposed single story 173 sq ft addition will reduce the setback on the 3,500 sq ft lot to 34 feet and 5 inches. Request a variance to reduce the required rear setback by 5 feet 7 inches as proposed, pursuant to Schedule 1123.07 Minimum Yard Requirements (Ord. 91-95. Passed 10-7-1996.)

Armand Borick, property owner and applicant was present to explain the request. Staff provided administrative comments. Public comment was closed as no one addressed the item. Staff did not receive any public comment prior to the meeting. The members had no issue with the proposal.

A motion was made by Ms. Otter, seconded by Mr. Pigott to **APPROVE** the request for Variance 1 and Variance 2. Ms. Bolino, Ms. Otter, Mr. Pigott, and Mr. Santiago voting yea, the motion passed.

ADJOURN

A motion was made by Ms. Otter, seconded by Ms. Bolin to **ADJOURN** the meeting at 7:27 p.m. All the members voting yea, the motion passed.

Signature 

Date 4/20/2023

**BOARD OF ZONING APPEALS
PRE-REVIEW MEETING SUMMARY
DECEMBER 19, 2019
LAKEWOOD CITY HALL
6:00 P.M.
EAST CONFERENCE ROOM**

MEMBERS AND ADMINISTRATIVE STAFF PRESENT

**Jillian Bolino
Megan Otter
Jeffrey Piggot
Anthony Santiago
Justin Maskulak
Andrew Fleck
Michelle Nochta**

Member of the public- Mr. and Mrs. Armand Borick

SUMMARY OF DISCUSSION

The PowerPoint presentation given at the regular meeting was shown by Ms. Nochta. Ms. Nochta described the variance requests and the administrative comments. The second docket applicant submitted revised drawings that reduced the height, and those changes were discussed. Ms. Otter announced her plans to move to Westlake, if all went according to plan her last meeting would be the May 2023 meeting. All the members wished her well.



Oath

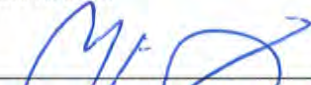

(You need not give an oath if you object. If you object to giving an oath, please notify the hearing officer or secretary before signing below.)

I, the undersigned, hereby solemnly swear that the testimony I give at this proceeding will be the truth, the whole truth and nothing but the truth:

PRINT NAME:

SIGN NAME:

- 1. PAUL BEEGAN
- 2. ARMANDO BORICK
- 3. _____
- 4. _____
- 5. _____
- 6. _____
- 7. _____
- 8. _____
- 9. _____
- 10. _____
- 11. _____

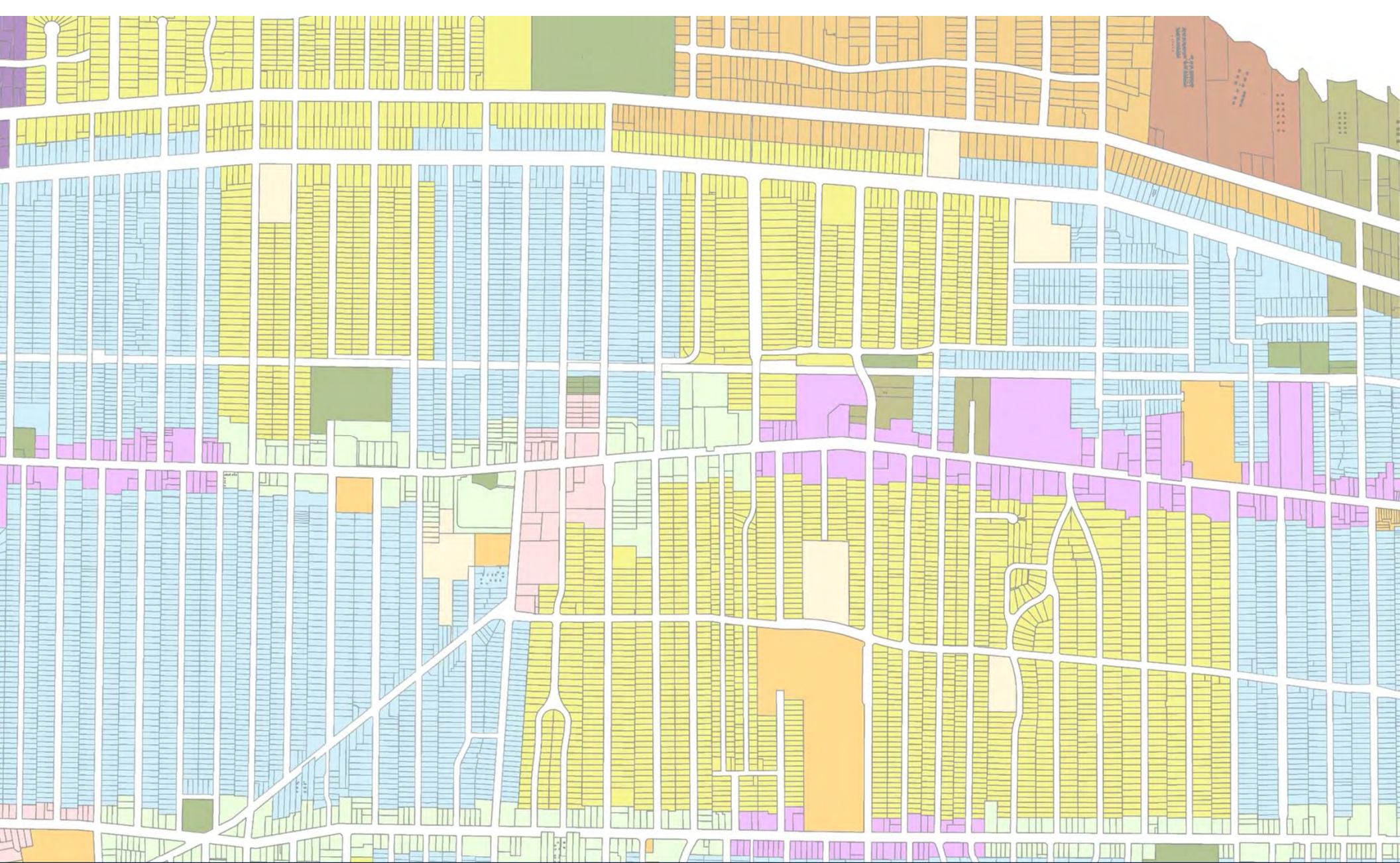
- 
- 
- _____
- _____
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- _____
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- _____

Prepared by: The City of Lakewood Law Department, 12650 Detroit Ave., Lakewood, Ohio 44107

FOR CITY USE ONLY

Lakewood Administrative Procedure: ABR/BBS Citizens Advisory Civil Svc. Dangerous Dog Income Tax Appeals Loan Approval Nuisance Abatement Appeals Parking Planning Zoning Appeals Other:

Date of Proceeding: Thursday, March 16, 2023



Board of Zoning Appeals

1173.04 Variances

Factors to be considered and weighed when determining whether an applicant will experience practical difficulty:

1. Whether there exist site conditions (narrowness, shallowness, or topography) unique to property in question that are not applicable generally to other lands or structures in same zoning district;
2. Whether property in question is located near a non-conforming or non-harmonious use, structure, or site conditions, or whether property in question abuts a less restrictive zoning district;
3. Whether property in question will yield a reasonable return or whether there can be any beneficial use of property without the variance(s);
4. Whether variance(s) is substantial;
5. Whether essential character of neighborhood would be substantially altered or whether adjoining properties would suffer a substantial detriment as a result of the variance(s);
6. Whether variance(s) would adversely affect delivery of governmental services (e.g., water, sewer, refuse removal);
7. Whether property owner purchased property with knowledge of zoning restriction;
8. Whether property owner's predicament feasibly can be obviated through some method other than a variance(s); and
9. Whether spirit/intent of Code would be observed, and substantial justice done by granting the variance(s).

(Ord. 91-95. Passed 10-7-1996.)





Board of Zoning Appeals-

Pre-review: 6:00-6:30 p.m.

Regular Meeting: 6:30 p.m.

Members

Chair: Meghan Otter

Vice Chair: Michael Alexander

Jeffrey Pigott

Jillian Bolino

Anthony Santiago

Staff

Board Secretary: Michelle Nochta

Legal Counsel: Andrew Fleck

Building Department: Justin Maskaluk

Board of Zoning Appeals

March 16, 2023 Agenda

1. Roll Call
2. Vote on February 16, 2023 meeting minutes
3. Opening Remarks
4. **OLD BUSINESS**
5. **DEFERRED BY APPLICANT-1655 Roosevelt Ave.** – applicant and property owner Christopher Walling
6. **2183 Eldred** – applicant Susan Broadwater of Beegan Architecture for the property owner Daniel Boich
7. **NEW BUSINESS**
8. **1209 Westlake-** applicant and property owner Armand Borick
9. Adjourn

A detailed zoning map of a city, showing various colored zones (yellow, blue, green, orange, pink, purple) and street layouts. A large white rectangular box is overlaid in the center of the map.

Roll Call



Board of Zoning Appeals

A detailed zoning map of a city, showing various colored zones (yellow, blue, orange, green, pink) and street layouts. The map is the background of the entire slide.

Approve Meeting Minutes for February 16, 2023



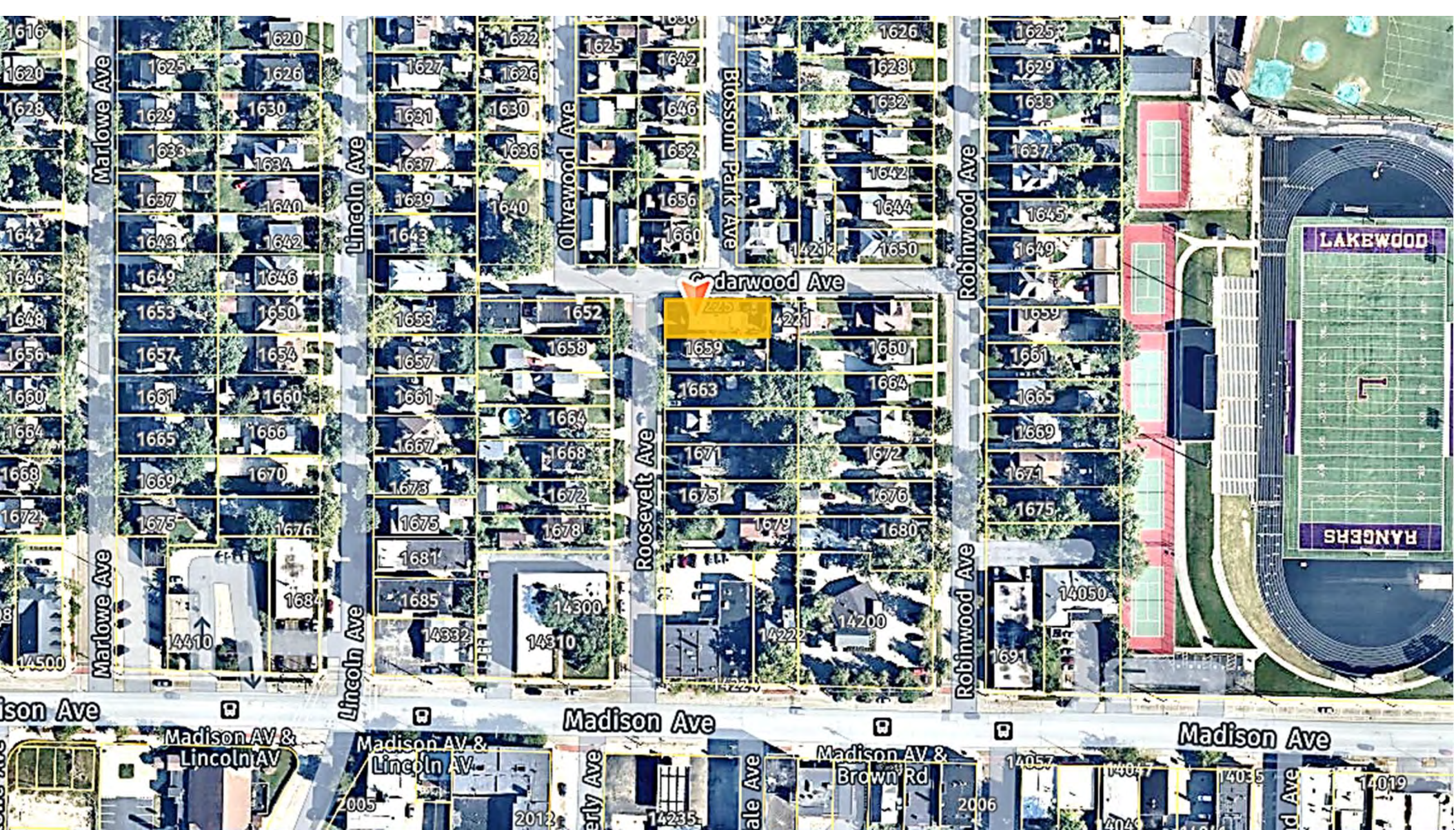
Board of Zoning Appeals

A detailed zoning map of a city, showing various colored zones (yellow, blue, green, orange, pink, purple) and street layouts. The map is the background of the entire slide.

Opening Remarks



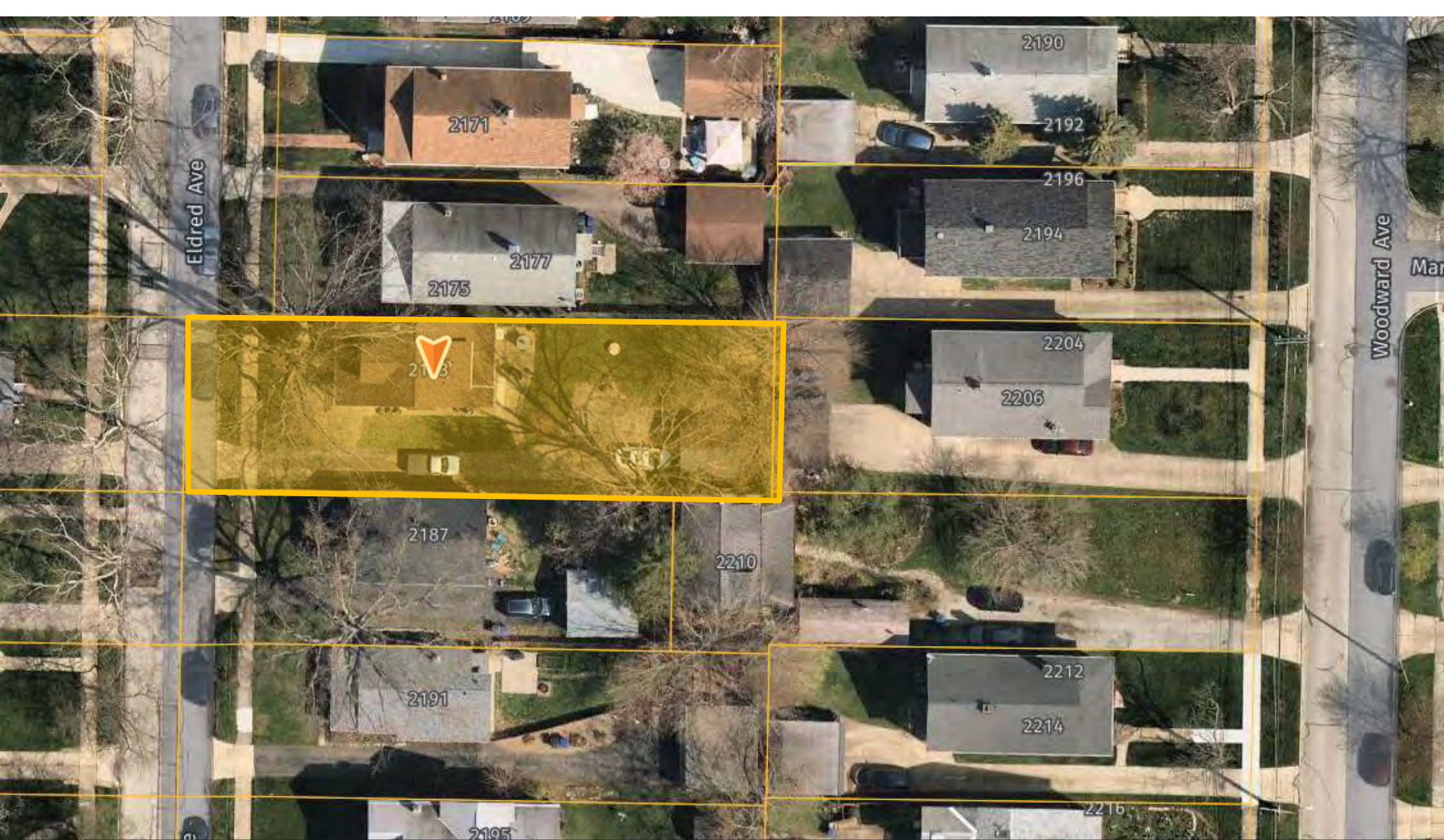
Board of Zoning Appeals



DEFERRED - Docket No. 12-32- 22 1655 Roosevelt Avenue

Applicant and property owner Christopher Walling proposes the construction of a new two-story garage on the old pad of a previously demolished one story garage. The property is located in the R2 Single- and Two-Family District.

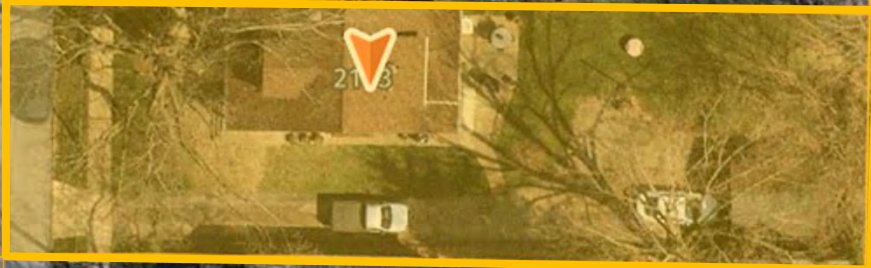
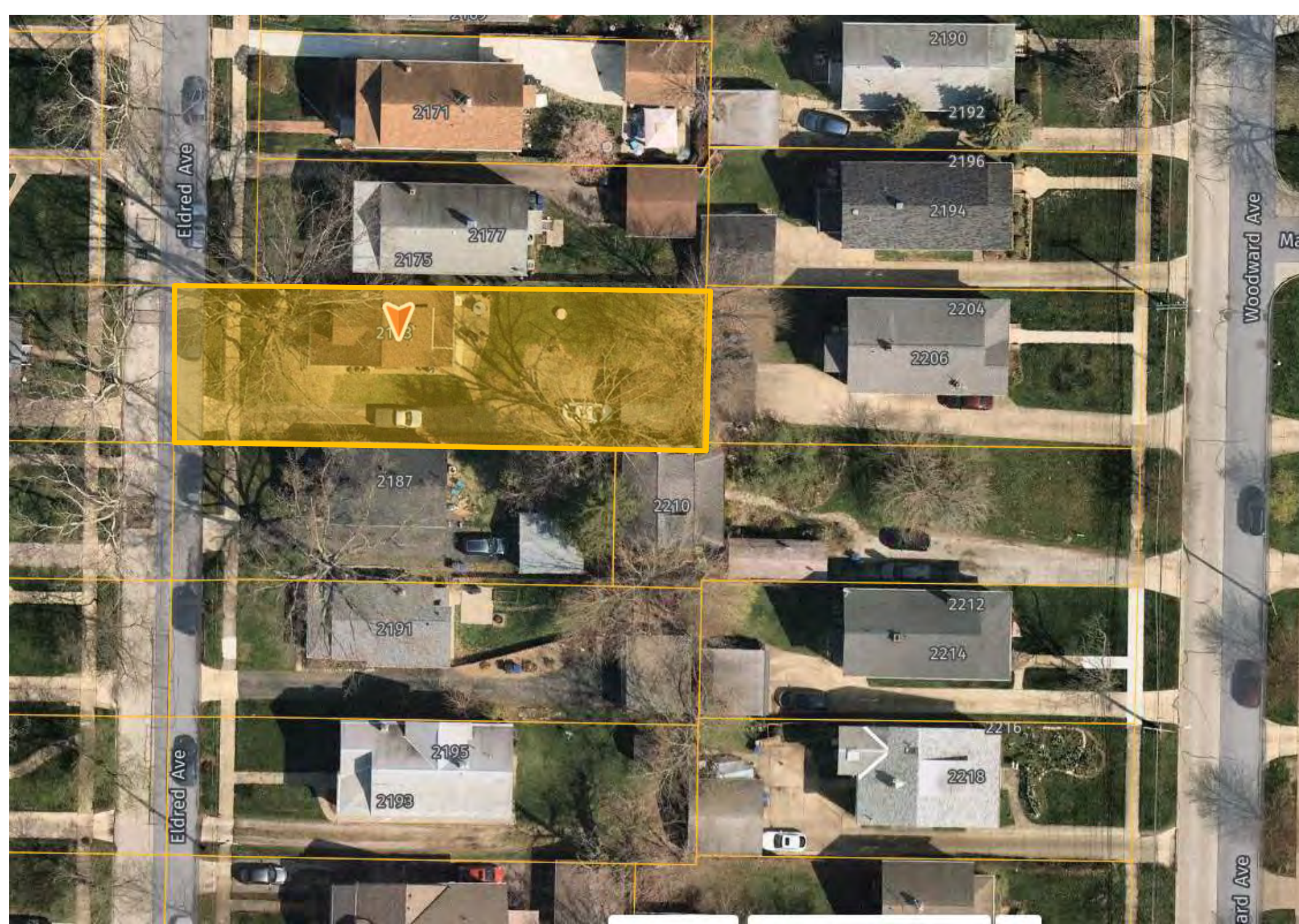




Docket No. 02-02- 23
2183 Eldred Ave

Applicant Susan Broadwater of Beegan Architecture for property owner Daniel Boich.
The property is located in the R1H Single-Family High-Density District.





2183 Eldred Ave



Fix lighting X

2183 Eldred Ave

Docket No. 2-02-23

2183 Eldred Ave

Applicant Susan Broadwater of Beegan Architecture for property owner Daniel Boich proposes the construction of a new garage. The proposed garage has a calculated height of 17 feet, permitted maximum is 15 feet. The property is in the R1H, Single Family High-Density District. .

- **Variance 1:** Request a variance to exceed the maximum permitted height of an accessory structure. The permitted accessory structure height is 15 feet calculated. The proposed garage height is calculated at 17 feet. Request a variance to exceed the permitted maximum height by 2 feet, as proposed. Pursuant to section 1121.05(b) Height Regulations (Ord. 91-95. Passed 10-7-1996.)

From the February 16, 2023 meeting

Docket No. 2-02-23

2183 Eldred Ave

Applicant Susan Broadwater of Beegan Architecture for property owner Daniel Boich proposes the construction of a new garage. The proposed garage has a calculated height of 17 feet, permitted maximum is 15 feet. The property is in the R1H, Single Family High-Density District. .

- Variance 1: Request a variance to exceed the maximum permitted height of an accessory structure. The maximum permitted accessory structure height is 15 feet calculated. The proposed garage height is calculated at 16 feet 4 inches. Request a variance to exceed the permitted maximum height by 1 foot 4 inches feet, as proposed. Pursuant to section 1121.05(b) Height Regulations (Ord. 91-95. Passed 10-7-1996.)

TOP OF ROOF
ELEV. 20'-8"

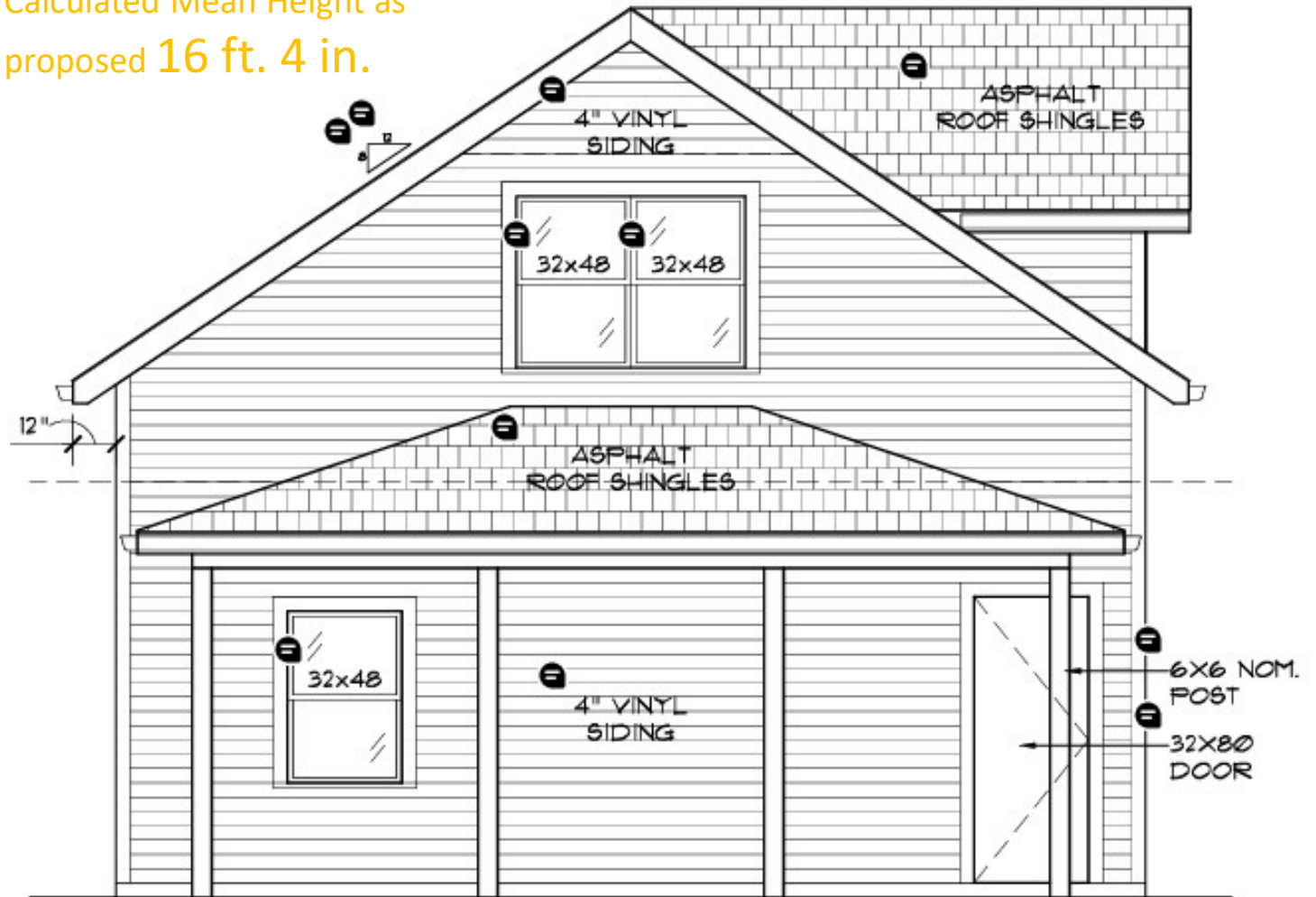
Calculated Mean Height as
proposed 16 ft. 4 in.

MEAN ROOF
ELEV. 16'-4"

TOP PLATE
ELEV. 12'-0"

2ND FLOOR
ELEV. 9'-8"

TOP OF SLAB
ELEV. 0'-0"



LEFT ELEVATION

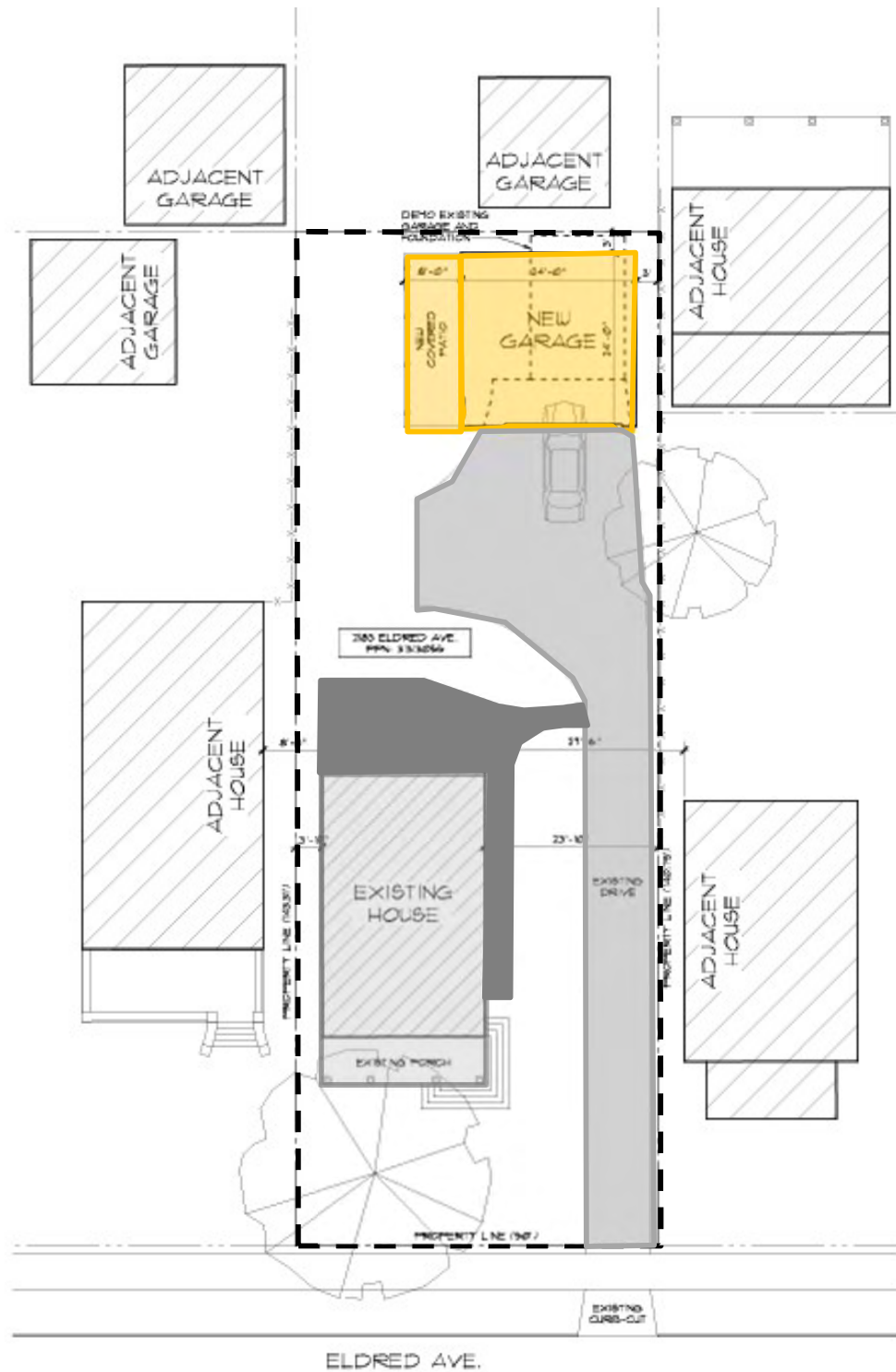
1/4" = 1'-0"



2183 Eldred Ave



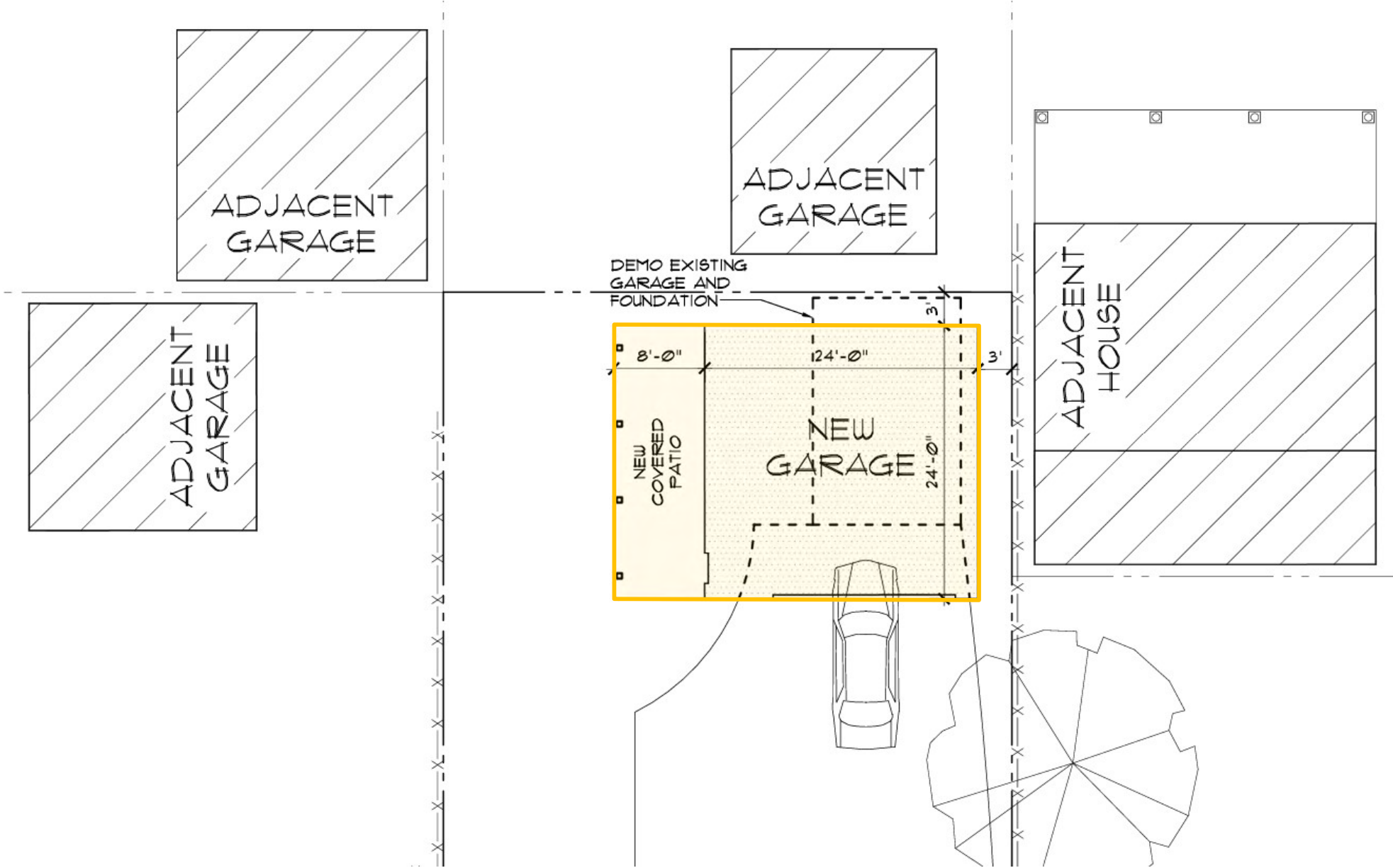
2183 Eldred Ave



2183 Eldred Ave

SITE PLAN
1" = 10'





2183 Eldred Ave

PROJECT DESCRIPTION:

- A. ARCHITECTURAL: NEW SLAB AND FRAMING OF NEW GARAGE
- WALL SYSTEM: NEW WOOD FRAMING W/ BATT INSULATION
FOUNDATION SYSTEM: NEW CONCRETE FOUNDATION AND FOOTERS
FLOOR SYSTEM: NEW WOOD FLOOR JOISTS AND SUBFLOOR
ROOF SYSTEM: NEW ASPHALT SHINGLES ON PLYWOOD SHEATHING
- B. STRUCTURAL: NEW WOOD FRAMING & LVL BEAMS
- C. MECHANICAL: NEW HYAC SYSTEM - AIR HANDLER, CONDENSER, AND DUCTWORK
- D. PLUMBING: TIE NEW DOWNSPOUTS INTO EXISTING STORM WATER LEAD AND NEW FLOOR DRAIN INTO EXISTING SANITARY SYSTEM
- E. ELECTRICAL: NEW WIRING INCLUDING LIGHTS, OUTLETS, AND SWITCHES ON NEW ELECTRICAL PANEL, NEW SERVICE FOR RESIDENTIAL USE

SITE INFORMATION:

PROPERTY LOCATION: 2183 ELDRED AVE. LAKEWOOD, OH 44107
ZONING DISTRICT: RESIDENTIAL
SURROUNDING LAND USES: RESIDENTIAL
PARCEL SIZE: 7000 SF (0.16 ACRES)

BUILDING INFORMATION:

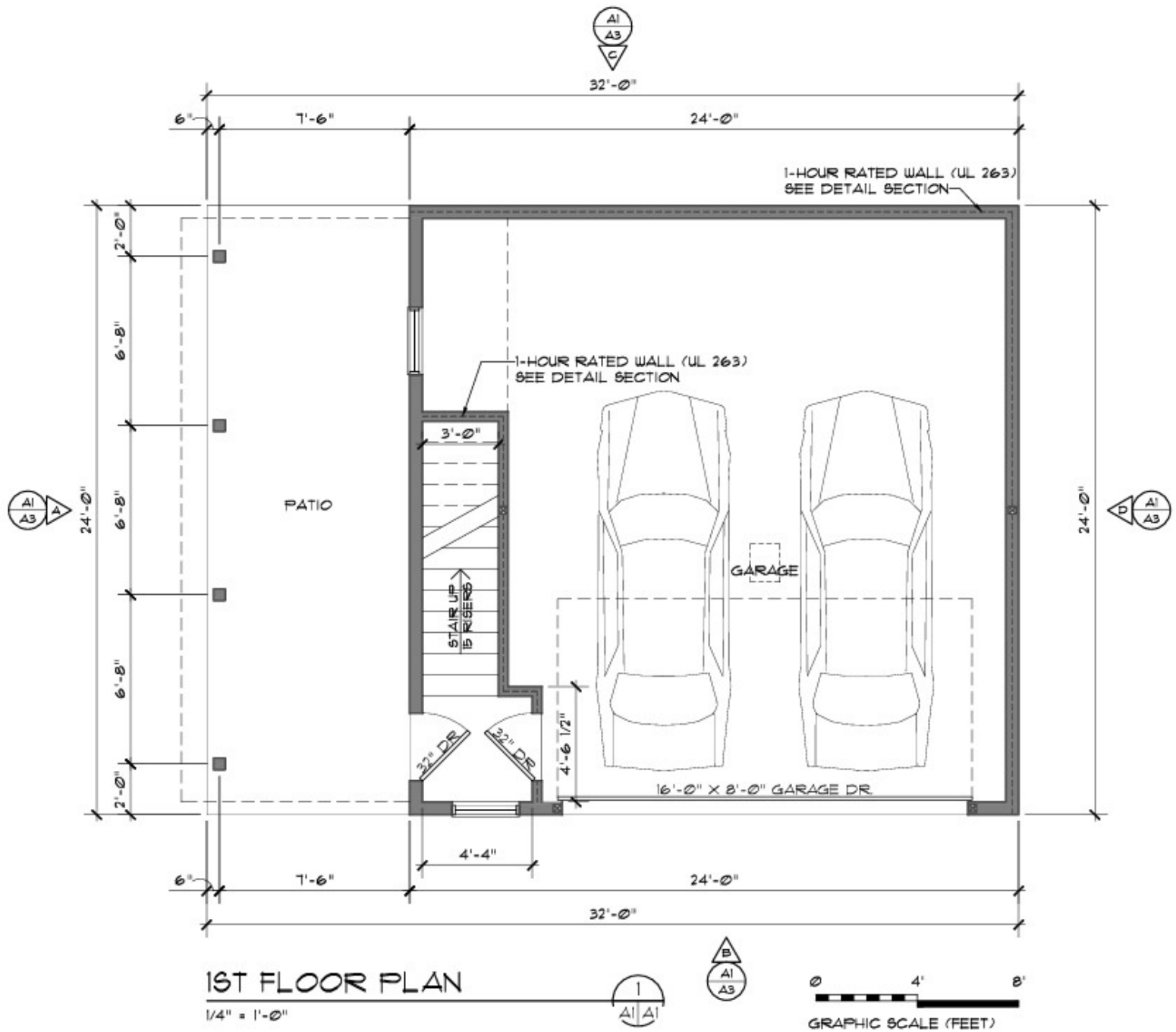
- A. USE GROUP CLASSIFICATION: RESIDENTIAL - 1 FAMILY PLATTED LOT
B. CONSTRUCTION CLASS VB, UNPROTECTED, NONCOMBUSTIBLE / COMBUSTIBLE
C. PROJECT AREA: NEW GARAGE: 576 SF

PROJECT SCOPE NOTES

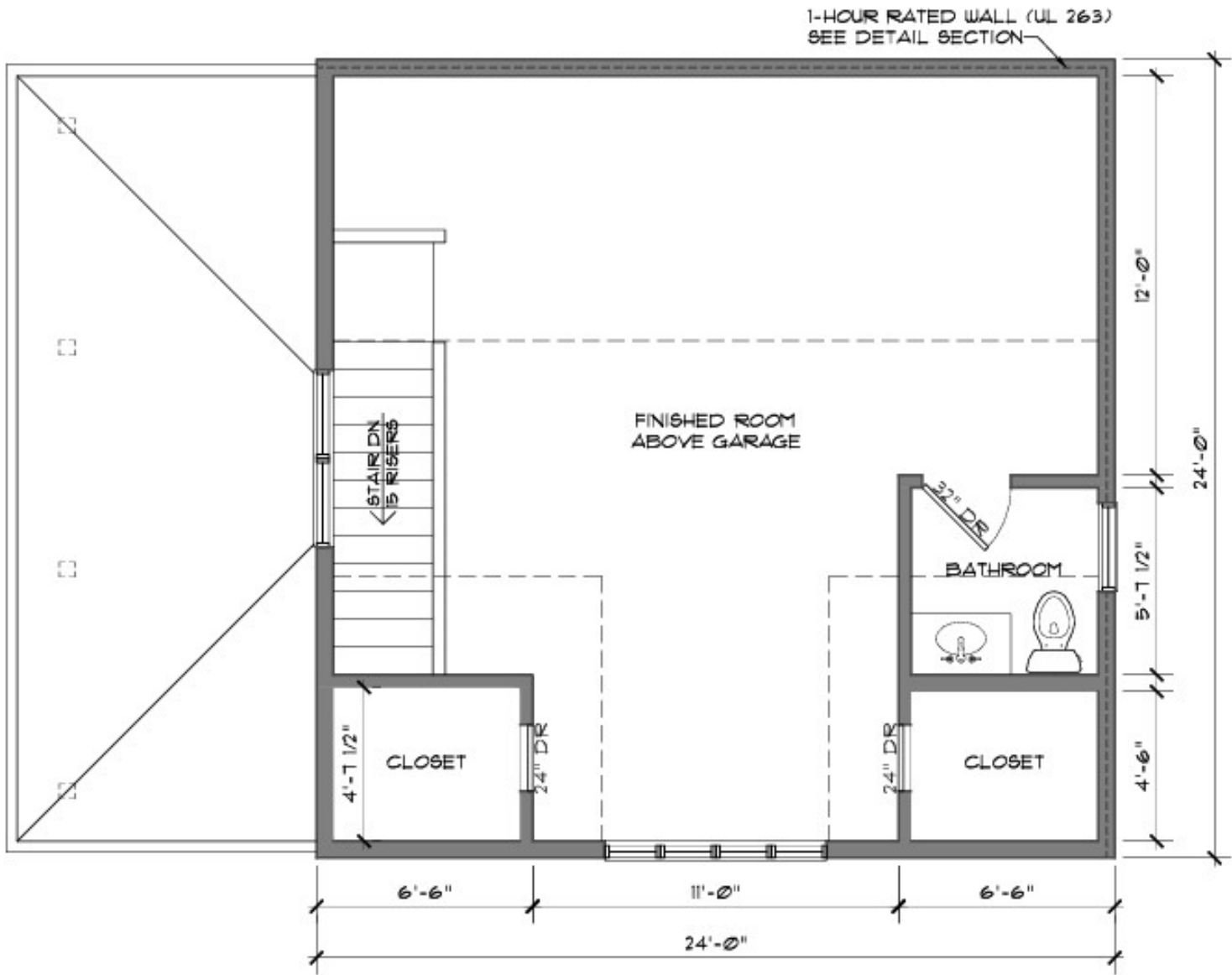
1. ALL FINISH MATERIALS TO BE SELECTED BY OWNER. PROVIDE SAMPLES OF ALL FINISH MATERIALS FOR REVIEW AND APPROVAL BY OWNER.
2. NEW WINDOWS TO BE SELECTED BY OWNER.
3. NEW PLUMBING SUPPLY AND WASTE TO TIE INTO EXISTING SUPPLY AND SANITARY. PROVIDE 1/2" HW & CW SUPPLY PIPING (PEX OR COPPER) WITH PVC WASTE CONNECTIONS (2" FOR SINKS, 3" FOR TOILETS, 4" FOR STACKS) WITH CLEANOUTS AS REQUIRED.

DESIGN DATA

FLOOR LIVE LOAD:	40 PSF
ROOF LIVE LOAD:	30 PSF
GROUND SNOW LOAD (Pg)	20 PSF
SNOW EXPOSURE FACTOR (Ce)	1.0
THERMAL FACTOR (Ct)	1.0
SNOW IMPORTANCE FACTOR (Is)	1.0
BASIC WIND SPEED (3 SEC. GUST)	115 MPH
WIND IMPORTANCE FACTOR (Iw)	1.0
WIND EXPOSURE CATEGORY	B



2183 Eldred Ave

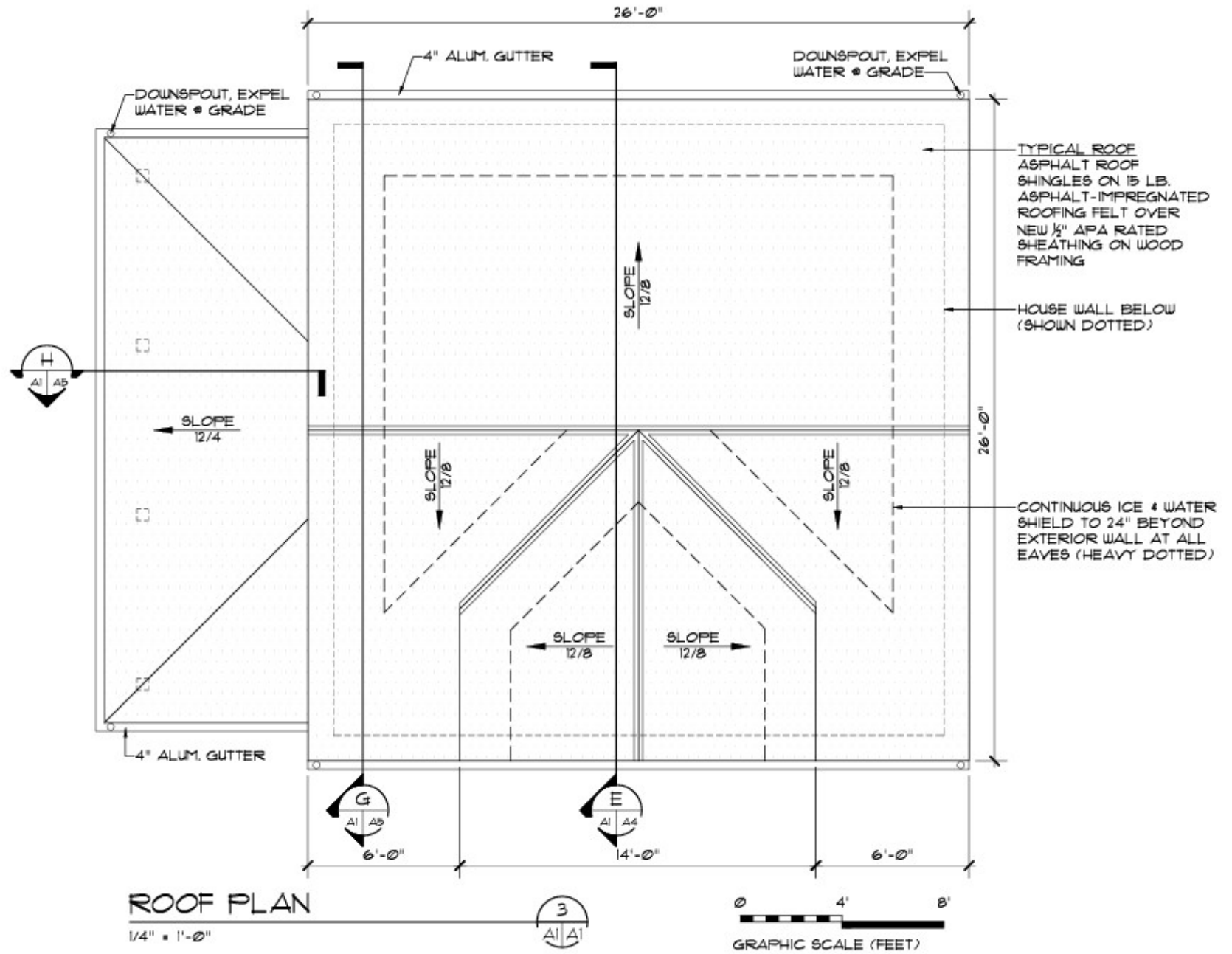


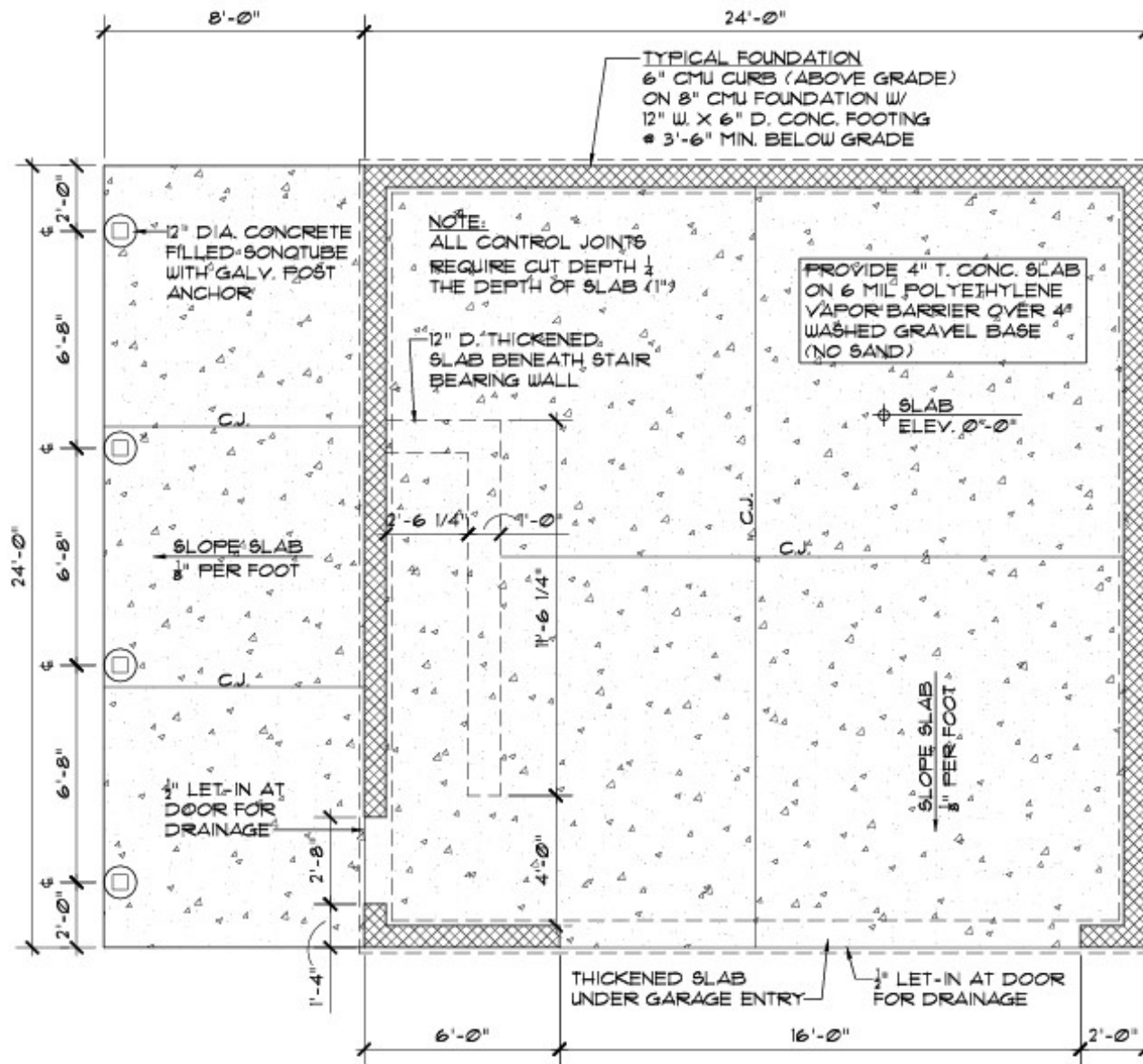
2ND FLOOR PLAN

1/4" = 1'-0"



2183 Eldred Ave



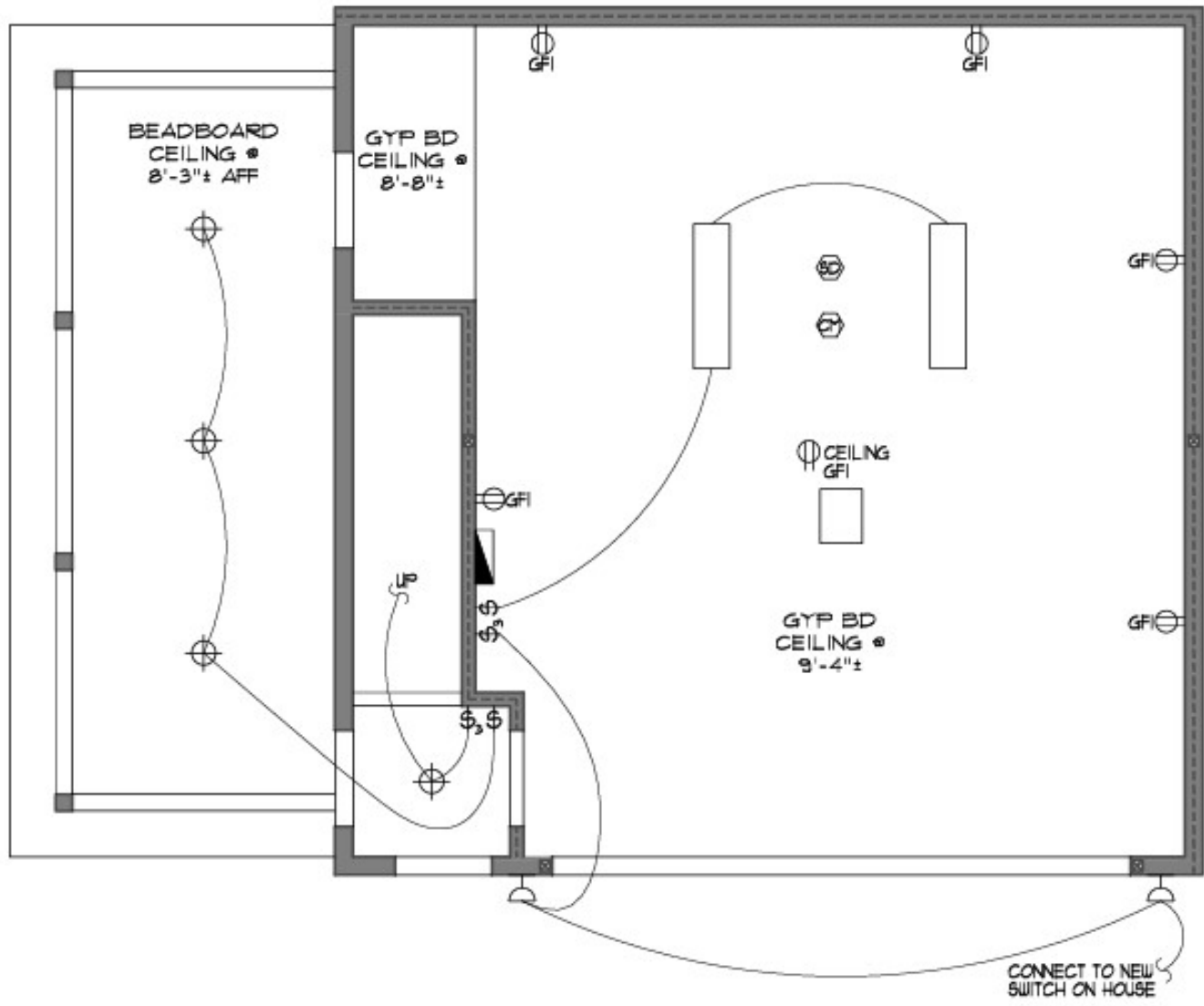


FOUNDATION PLAN

1/4" = 1'-0"



2183 Eldred Ave

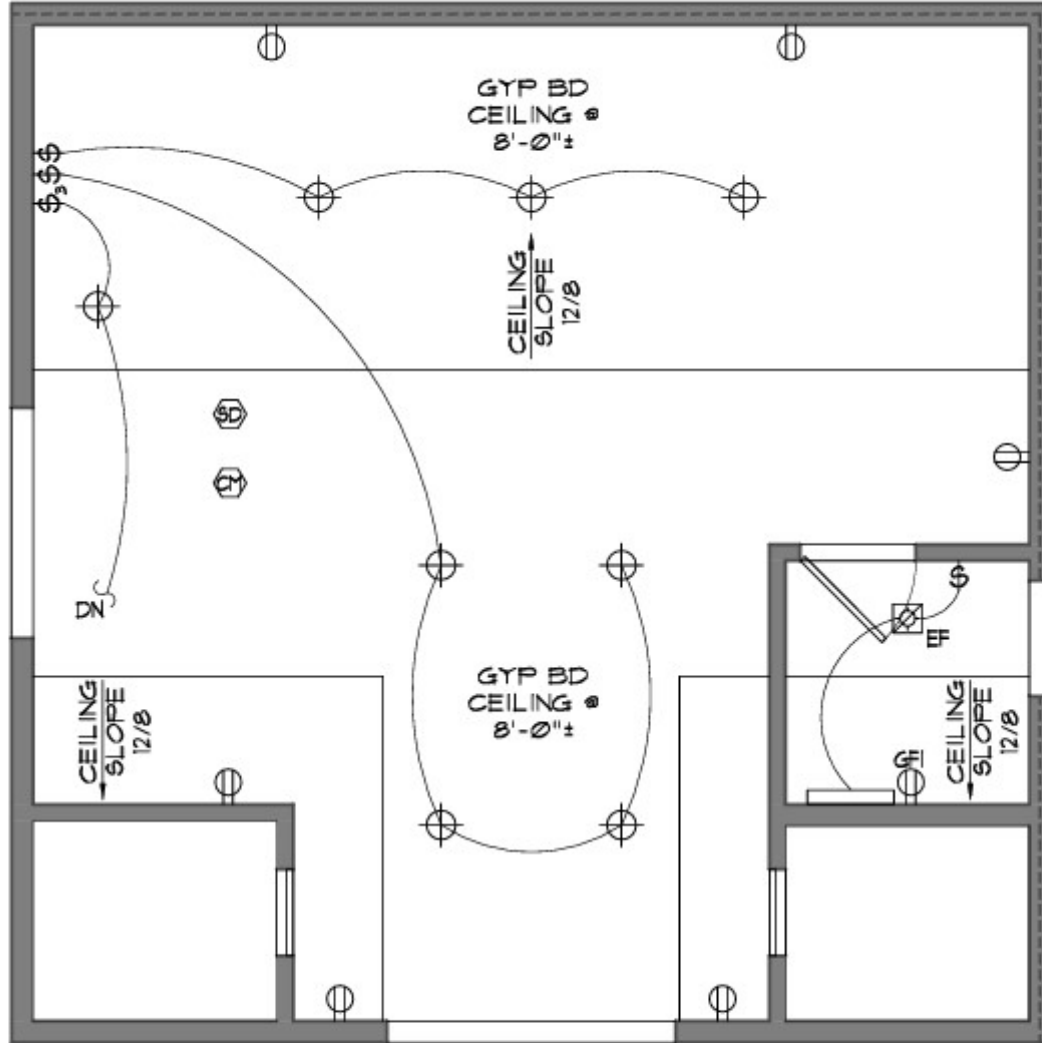


1ST FLOOR REFLECTED CEILING & ELECTRICAL LAYOUT PLAN

1/4" = 1'-0"



2183 Eldred Ave



2ND FLOOR REFLECTED CEILING
& ELECTRICAL LAYOUT PLAN

1/4" = 1'-0"



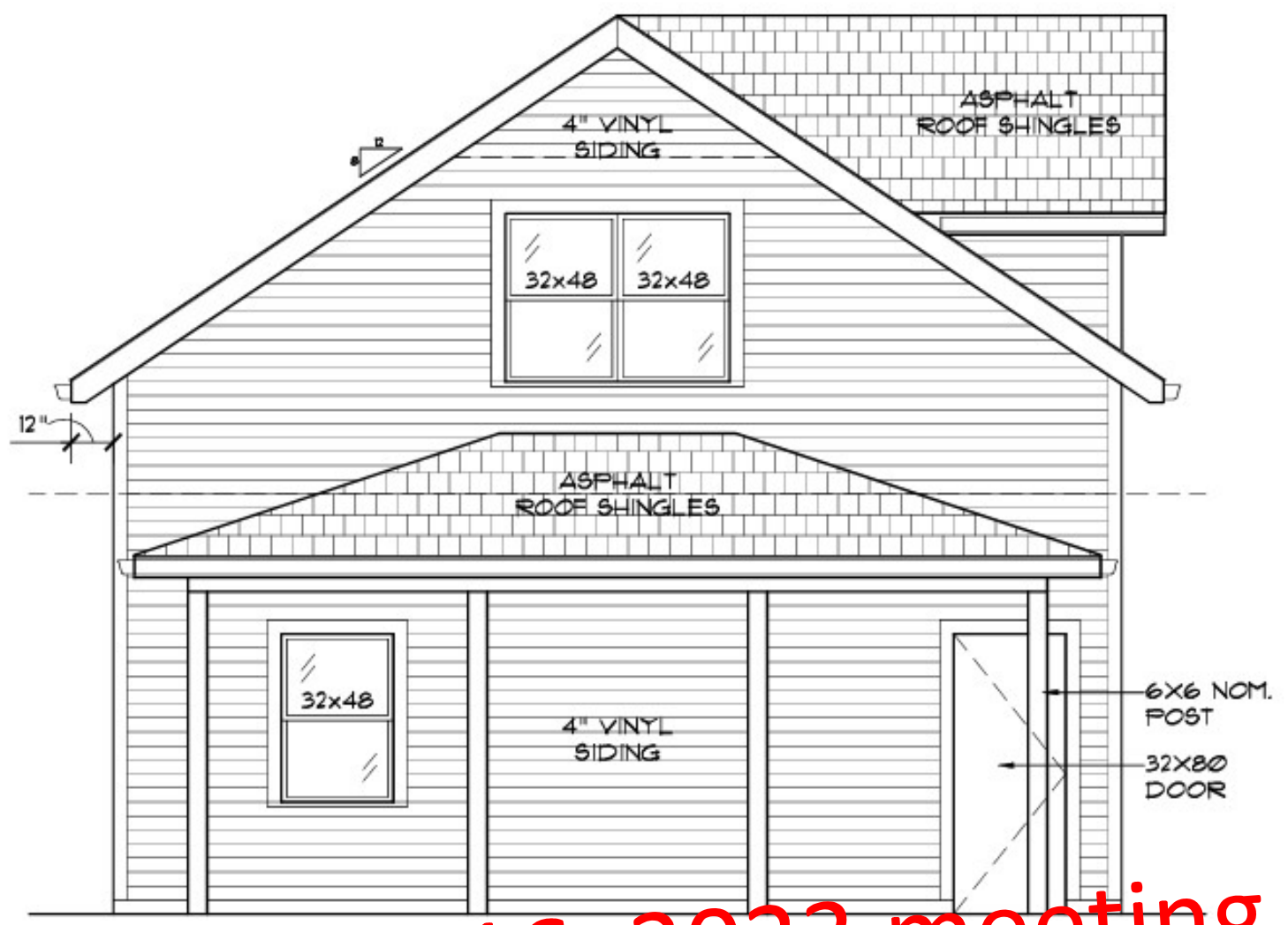
2183 Eldred Ave

TOP OF ROOF
ELEV. 21'-4"±

TOP PLATE
ELEV. 12'-8"±

2ND FLOOR
ELEV. 10'-0"±

TOP OF SLAB
ELEV. 0'-0"



From the February 16, 2023 meeting

LEFT ELEVATION

1/4" = 1'-0"



2183 Eldred Ave

Calculated Mean Height as proposed 16 ft. 4 in.

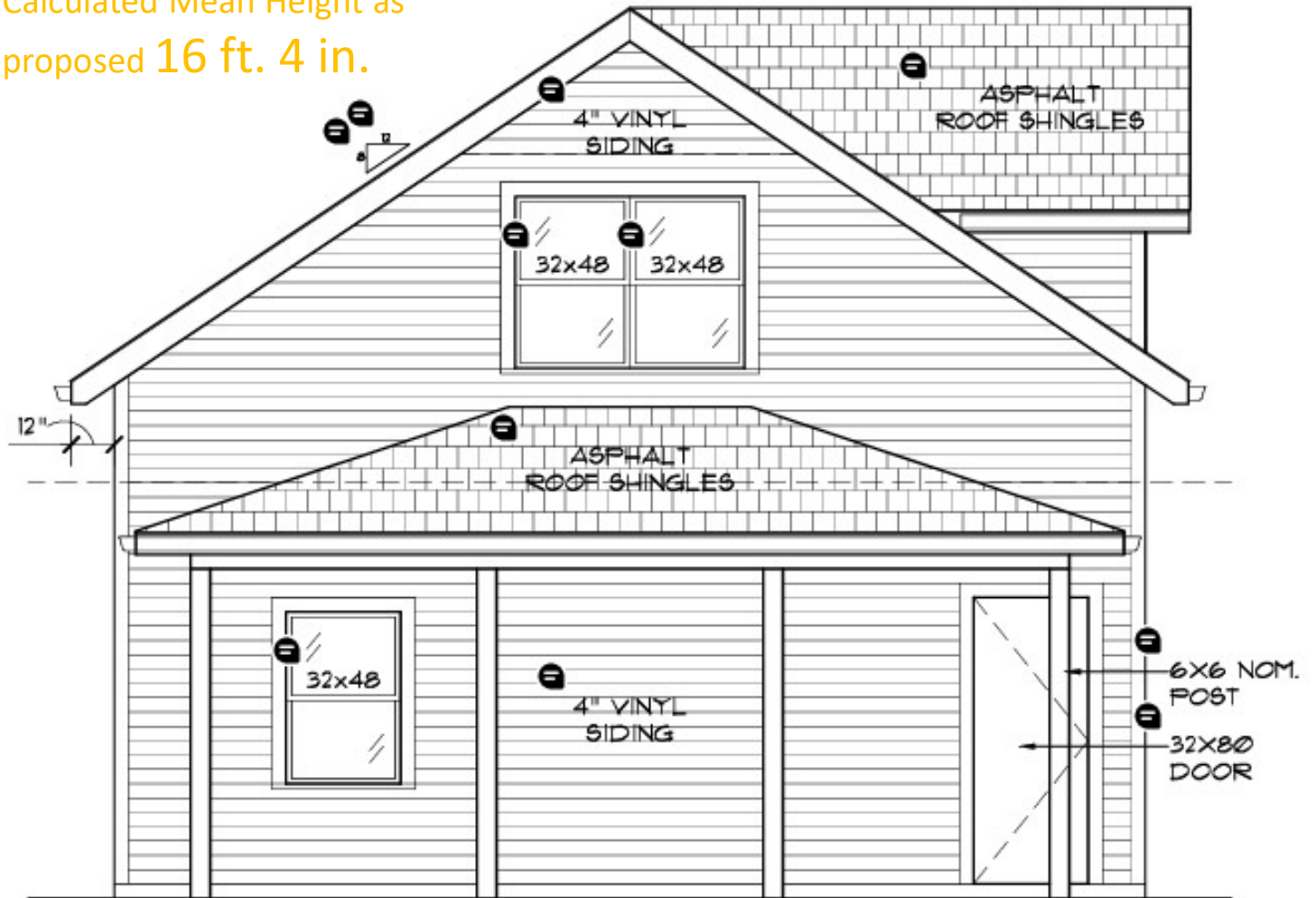
TOP OF ROOF
ELEV. 20'-8"

MEAN ROOF
ELEV. 16'-4"

TOP PLATE
ELEV. 12'-0"

2ND FLOOR
ELEV. 9'-8"

TOP OF SLAB
ELEV. 0'-0"



LEFT ELEVATION

1/4" = 1'-0"

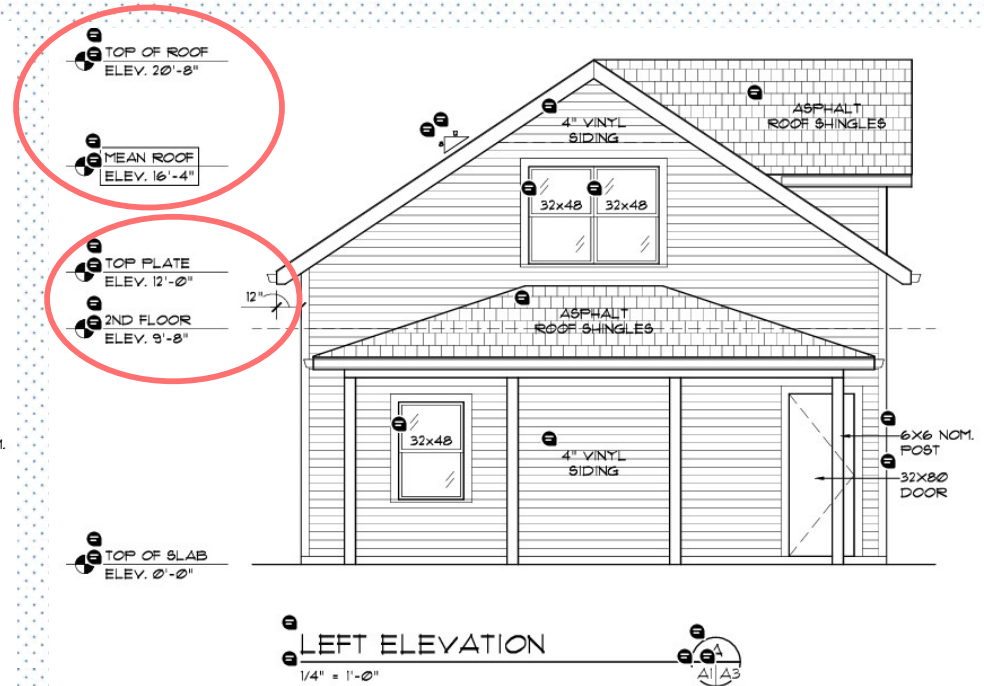
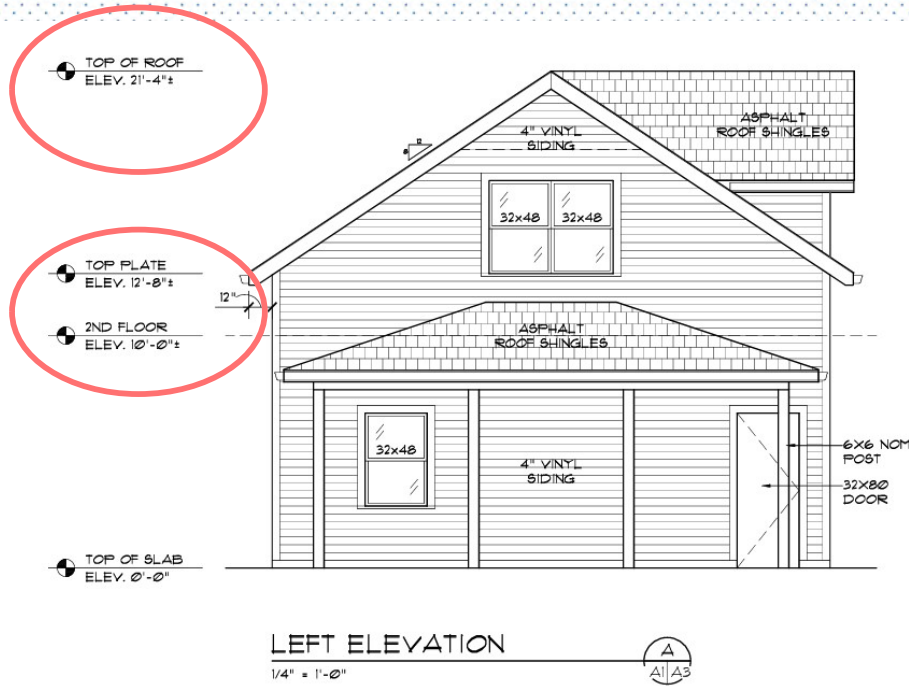


2183 Eldred Ave

2183 Eldred Proposed garage

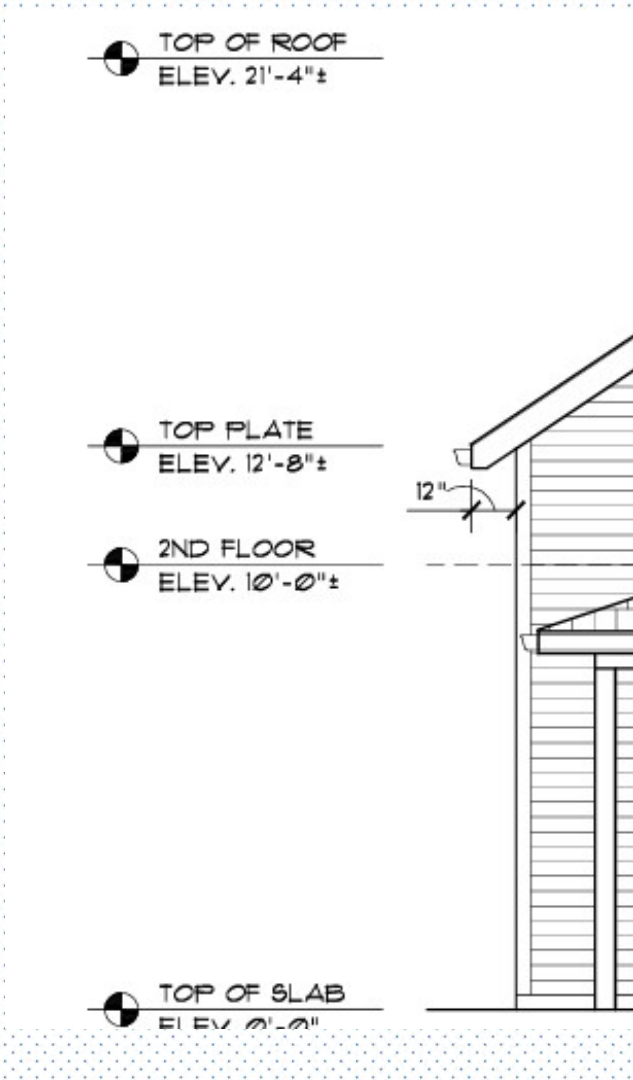
Original submission: Calculated mean height – 17 feet

Revised submission: Calculated mean height – 16 feet 4 inches

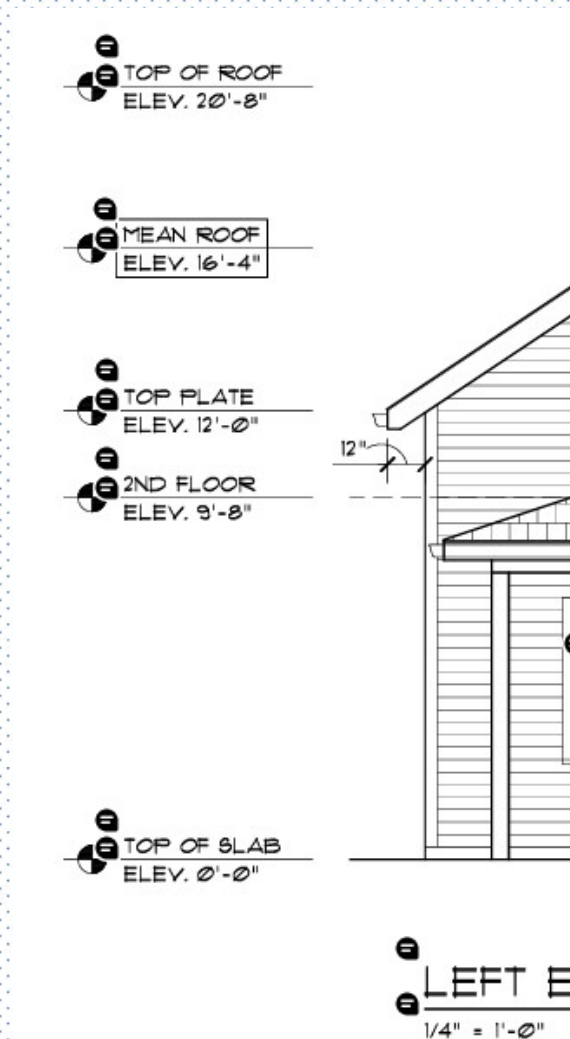




2183 Eldred Proposed garage



Original submission







Revised submission





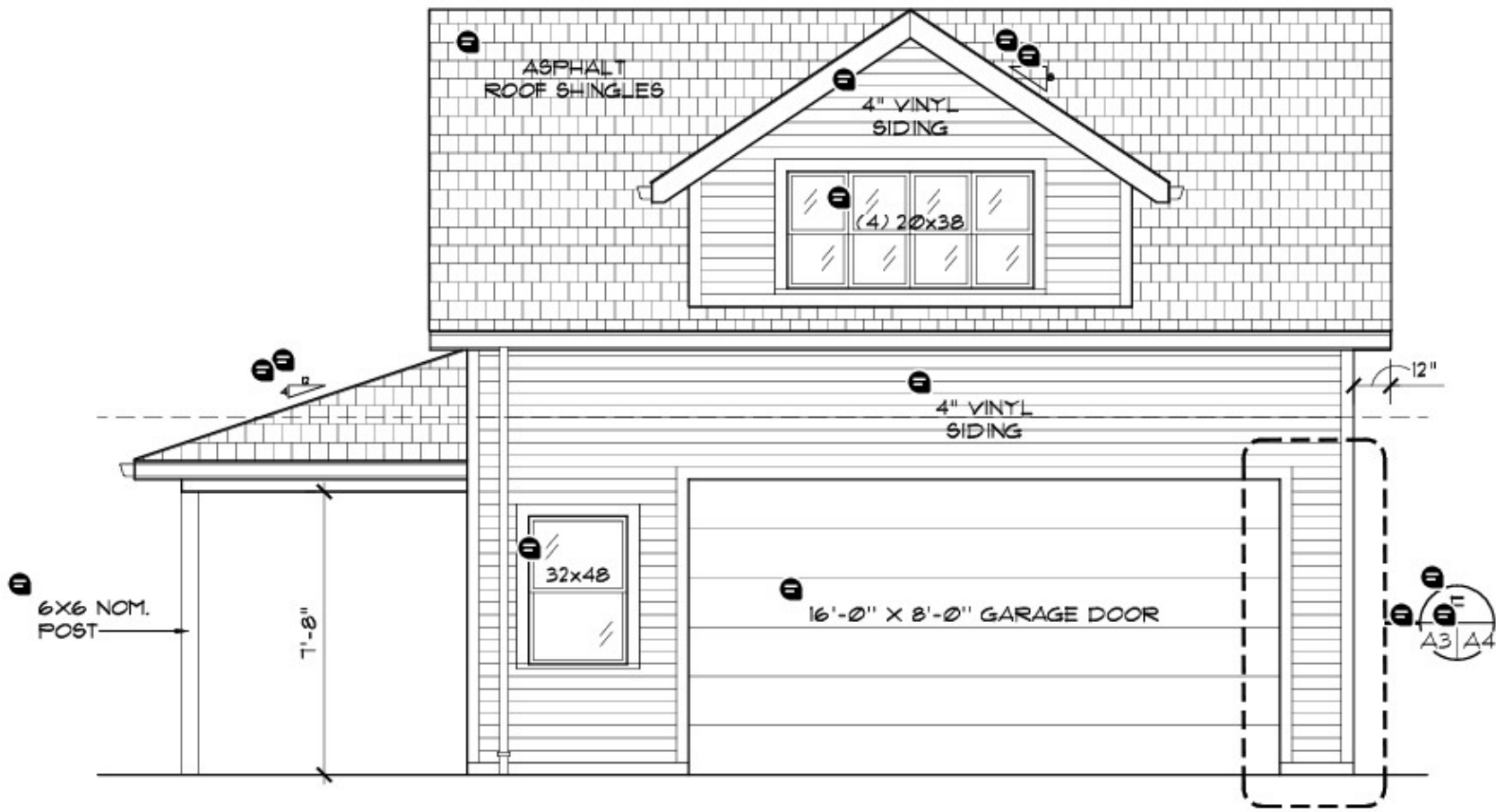
- 

 TOP OF ROOF
 ELEV. 20'-8"

- 

 MEAN ROOF
 ELEV. 16'-4"

- 

 TOP PLATE
 ELEV. 12'-0"

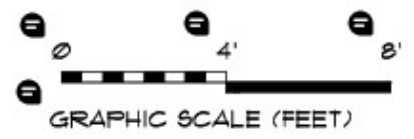
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 2ND FLOOR
 ELEV. 9'-8"

- 

 TOP OF SLAB
 ELEV. 0'-0"





FRONT ELEVATION
 1/4" = 1'-0"



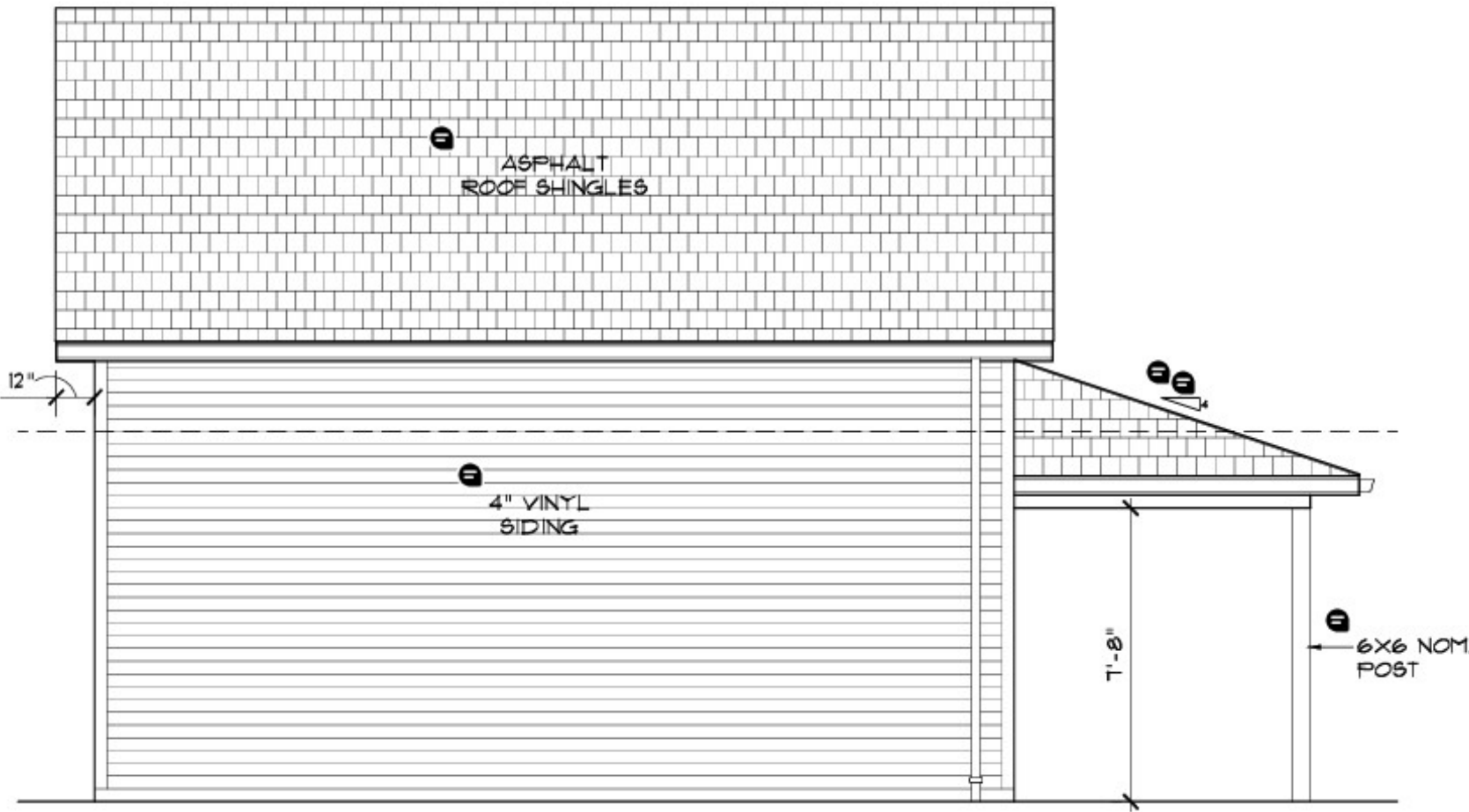
TOP OF ROOF
ELEV. 20'-8"

MEAN ROOF
ELEV. 16'-4"

TOP PLATE
ELEV. 12'-0"

2ND FLOOR
ELEV. 9'-8"

TOP OF SLAB
ELEV. 0'-0"



REAR ELEVATION

1/4" = 1'-0"



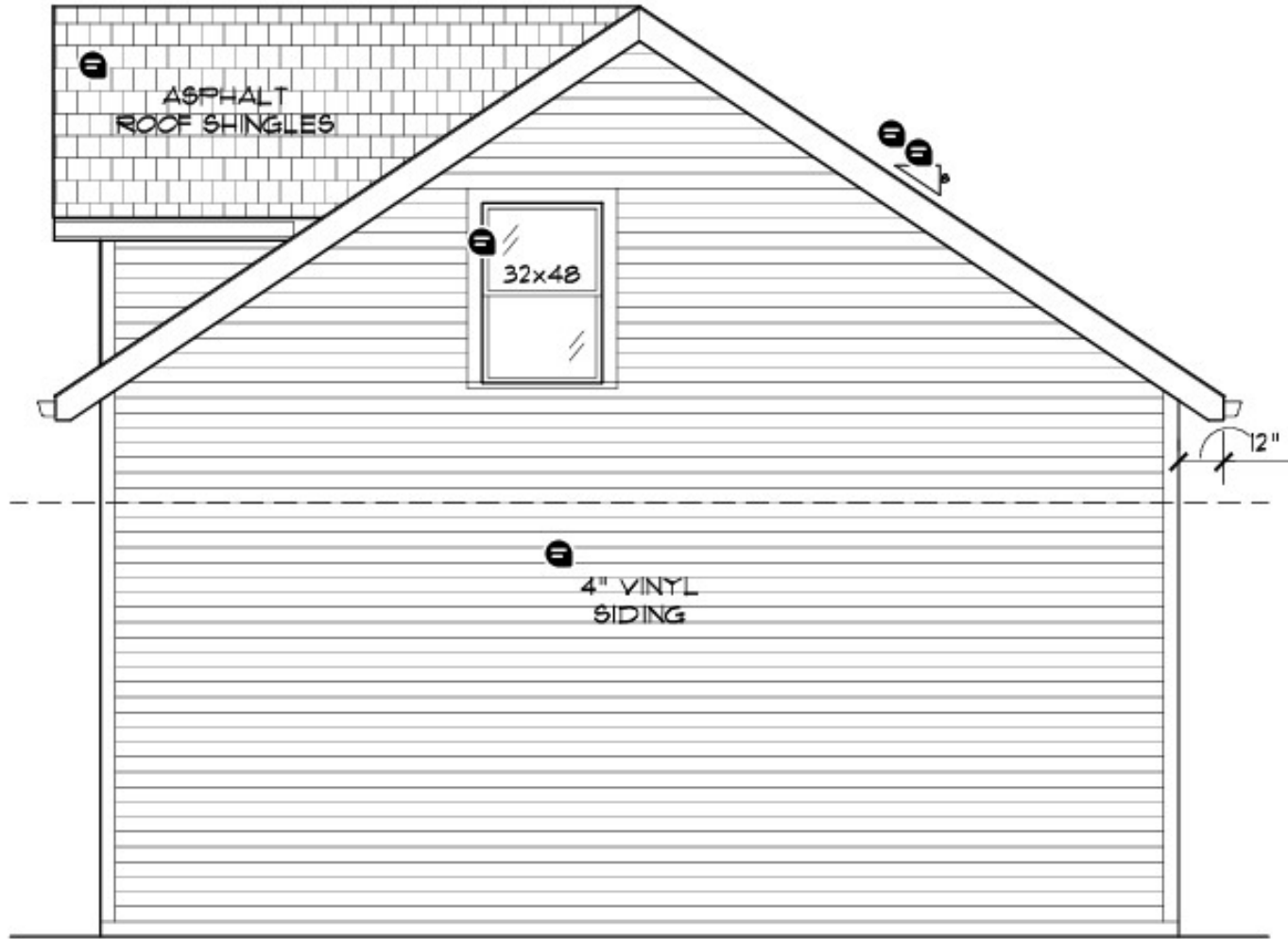
TOP OF ROOF
ELEV. 20'-8"

MEAN ROOF
ELEV. 16'-4"

TOP PLATE
ELEV. 12'-0"

2ND FLOOR
ELEV. 9'-8"

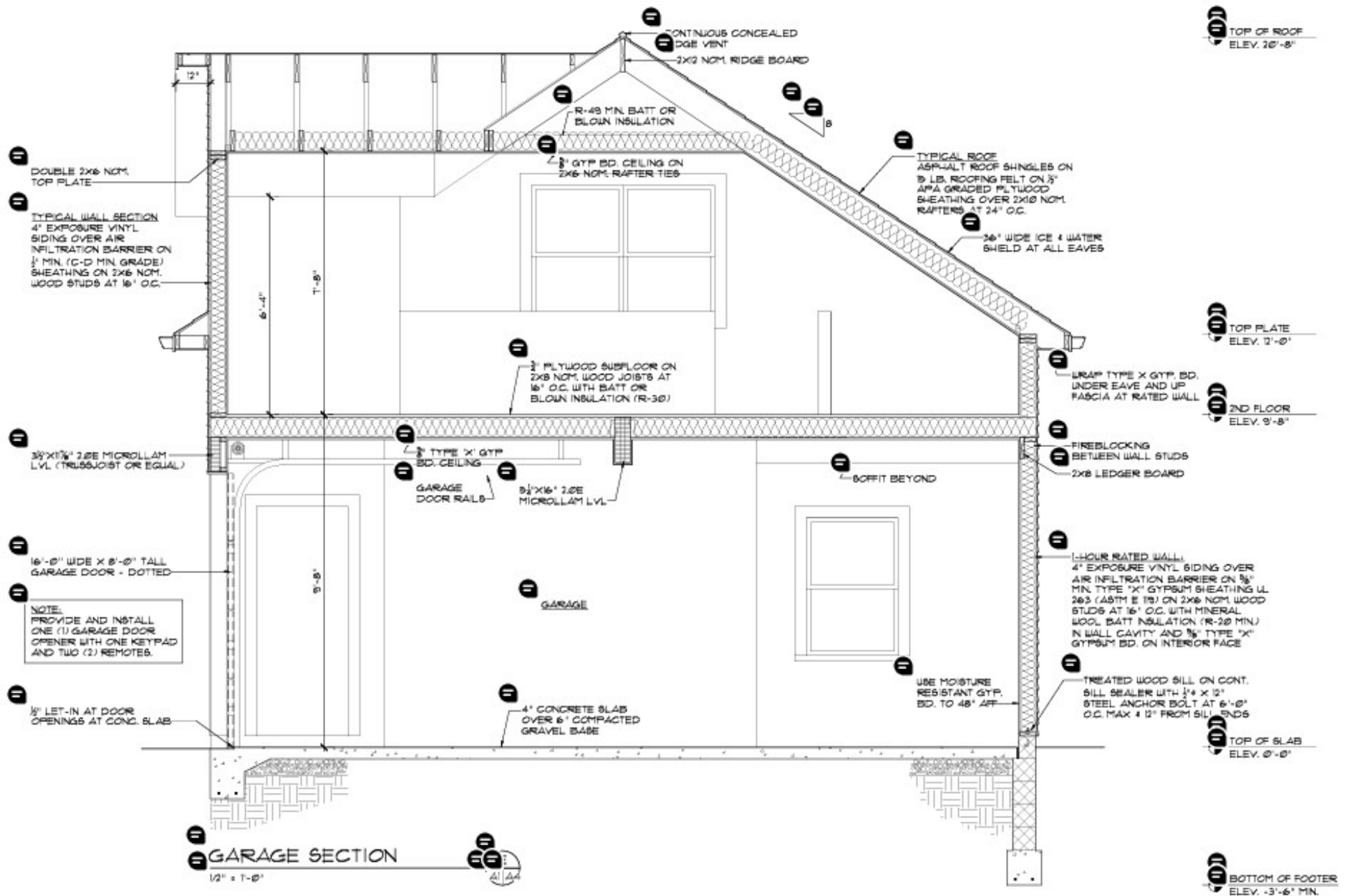
TOP OF SLAB
ELEV. 0'-0"



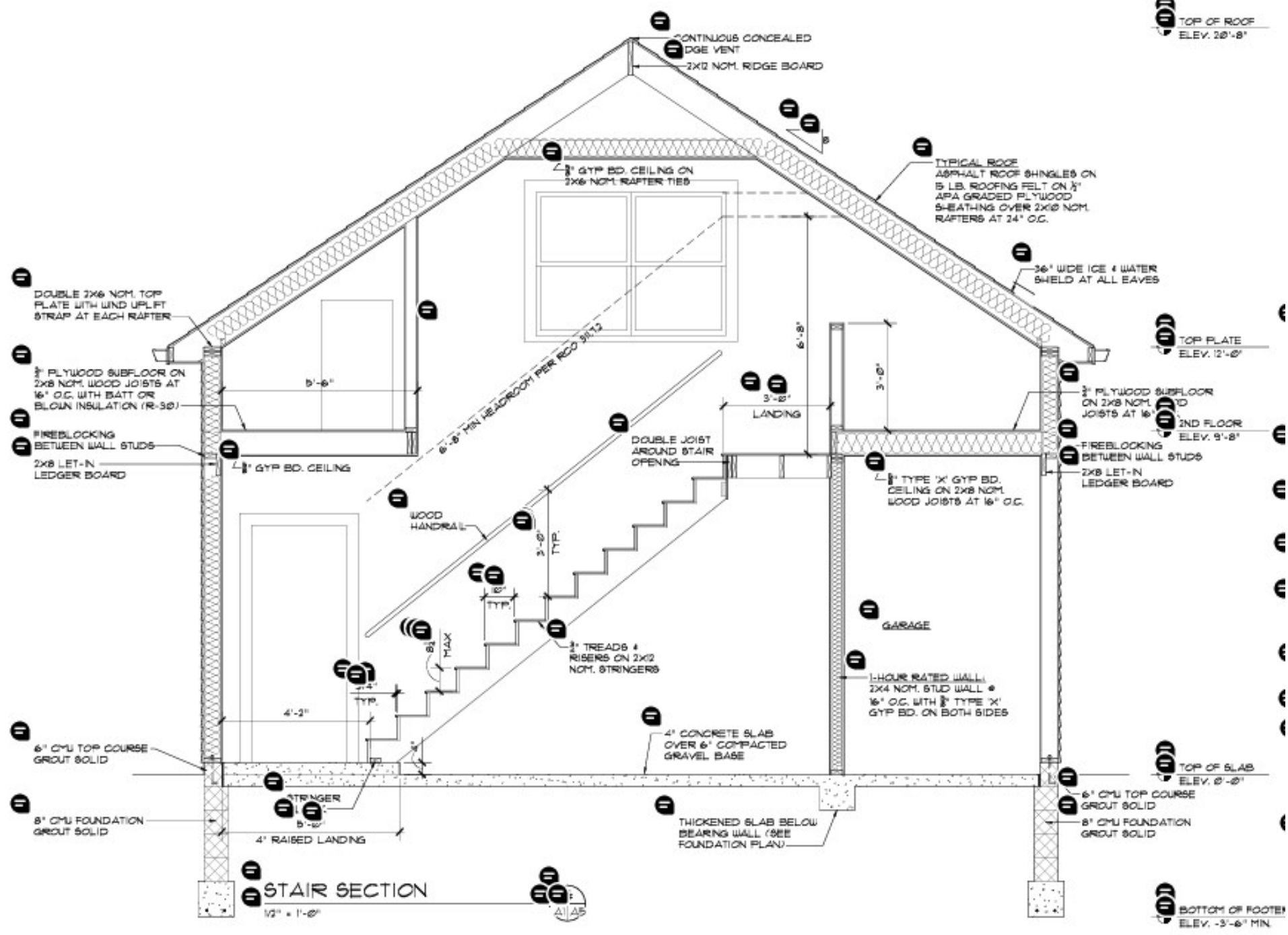
RIGHT ELEVATION
1/4" = 1'-0"

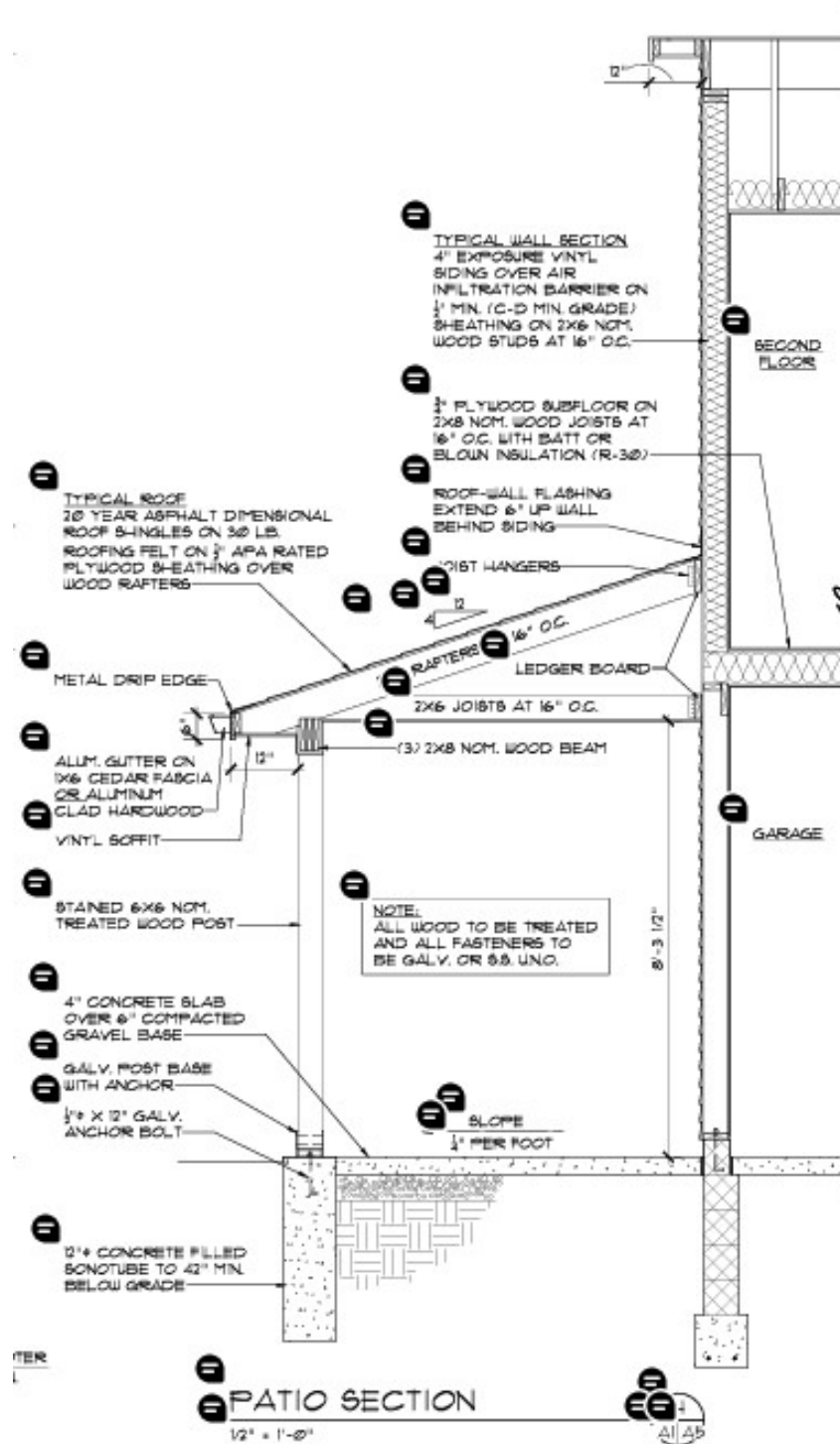


2183 Eldred Ave



TOP OF ROOF
ELEV. 20'-8"







Fix lighting ✕

2183 Eldred Ave

36





2183 Eldred Ave



Fix lighting X





2183 Eldred Ave

Administrative Comments

- May not be used as a dwelling unit
- The calculated height for an accessory structure provides more height than a straight measurement, allowing a room on the second story without a variance required, this design requires a variance
- Rear yard is approximately 3,749 square feet in area, this would permit a garage 935 sq. ft. in area, proposed garage is 768 sq. ft. (including the covered porch). There is room for the design to be modified horizontally.
- Past variances for height typically have been granted for accessory structures on larger lots or for parcels that abut non-residential uses.
- Revised submission has dropped the proposed height by 8 inches



Administrative Comments

- Similar BZA Cases – Detached Garages (Mean Heights):
 - • 09-18-20 (18147 Clifton) – Garage/Art Studio (19.67') Lot size 17, 986 square feet, garage 125 ft from the public right of way.
 - • 02-03-19 (1235 Summit) – Garage/Art Studio (16.5')
 - • 07-15-18 (2063 Lakeland) – Denied (16') – Lot space to modify design horizontally
 - • 06-10-18 (2211 Clarence) – Condition: Incidental Storage Only (17') abutting industrial
 - • 03-04-18 (2091 Lakeland) – Denied (16.67') – Lot space to modify design horizontally
 - • 05-08-15 (1636 Alameda) – Condition: Incidental Storage Only (~15.5')
 - • 07-26-13 (1666 Lincoln) – Condition: Incidental Storage Only (~15.5')



Owner/agent responses- 1173.04 Variances

Applicant responses to the factors to be considered and weighed when determining whether an applicant will experience practical difficulty:

- Approving this variance will provide significant improvement compared to the current garage. I will contribute to the continued property upgrade and help reduce the number of vehicles utilizing street parking.



2183 Eldred Ave



Public Comment

Received via email-

Meeting attendee(s)



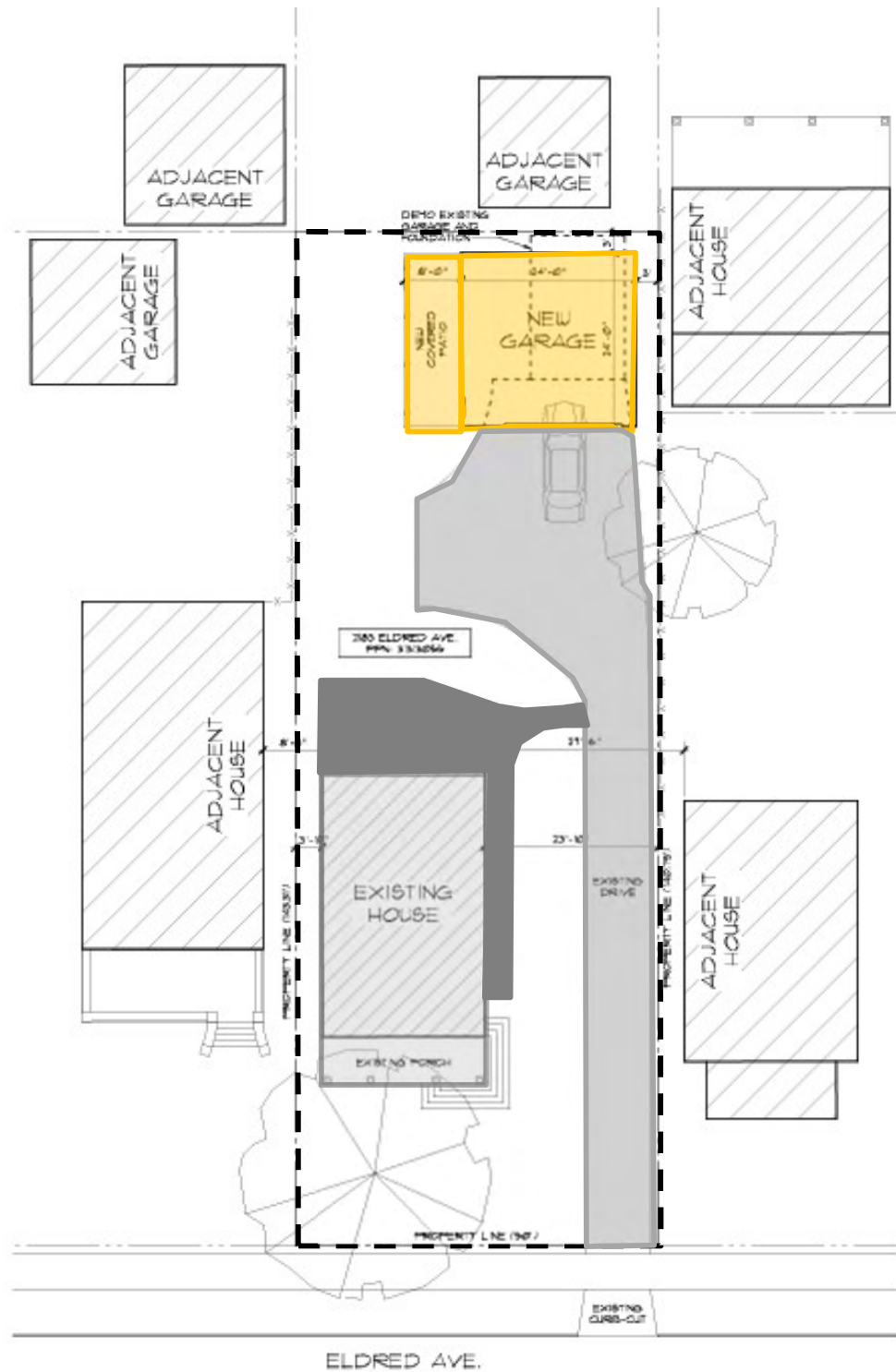
2183 Eldred Ave

Docket No. 2-02-23

2183 Eldred Ave

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- Variance 1: Request a variance to exceed the maximum permitted height of an accessory structure. The maximum permitted accessory structure height is 15 feet calculated. The proposed garage height is calculated at 16 feet 4 inches. Request a variance to exceed the permitted maximum height by 1 foot 4 inches feet, as proposed. Pursuant to section 1121.05(b) Height Regulations (Ord. 91-95. Passed 10-7-1996.)



2183 Eldred Ave

SITE PLAN
1" = 10'



TOP OF ROOF
ELEV. 20'-8"

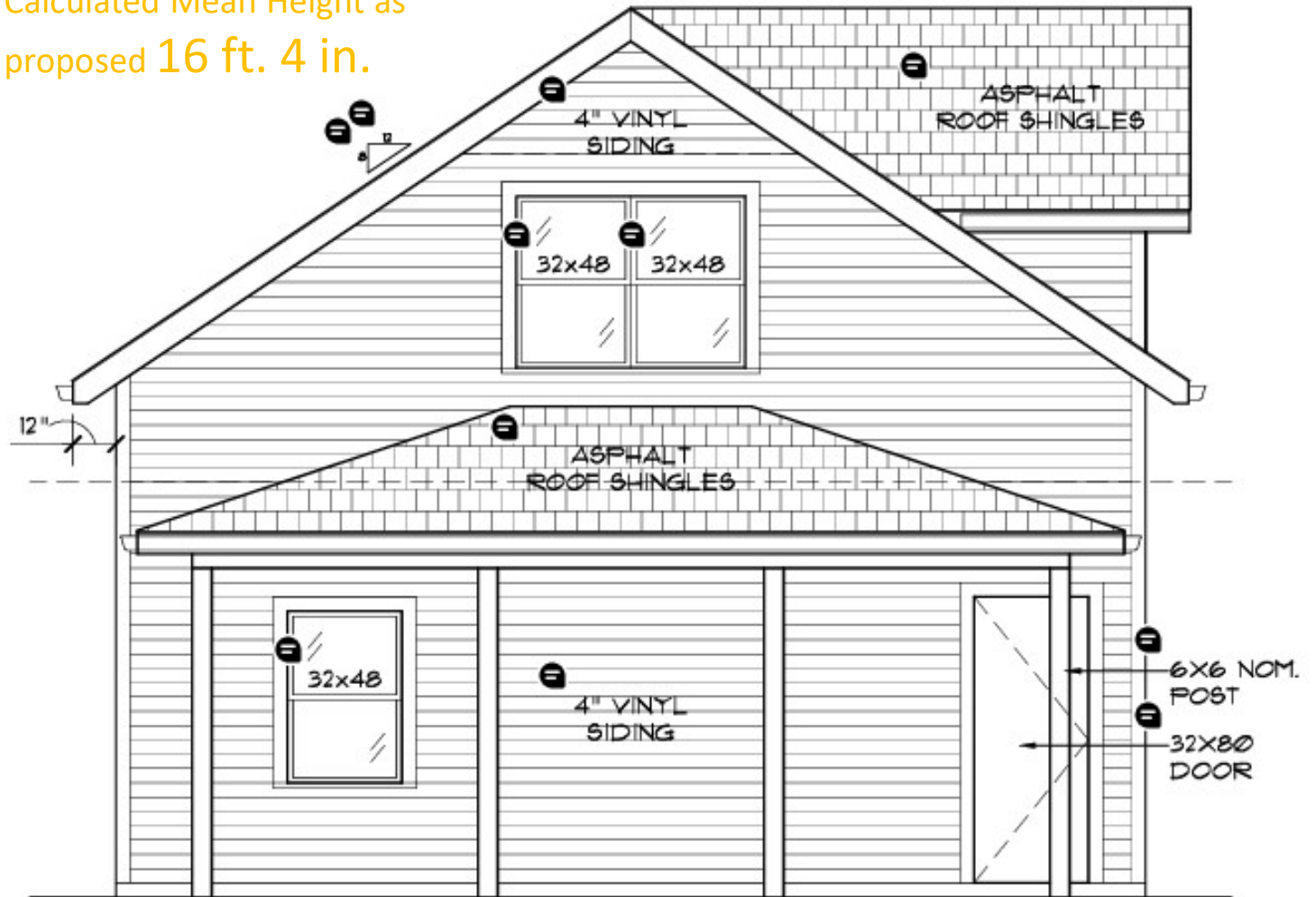
Calculated Mean Height as
proposed 16 ft. 4 in.

MEAN ROOF
ELEV. 16'-4"

TOP PLATE
ELEV. 12'-0"

2ND FLOOR
ELEV. 9'-8"

TOP OF SLAB
ELEV. 0'-0"

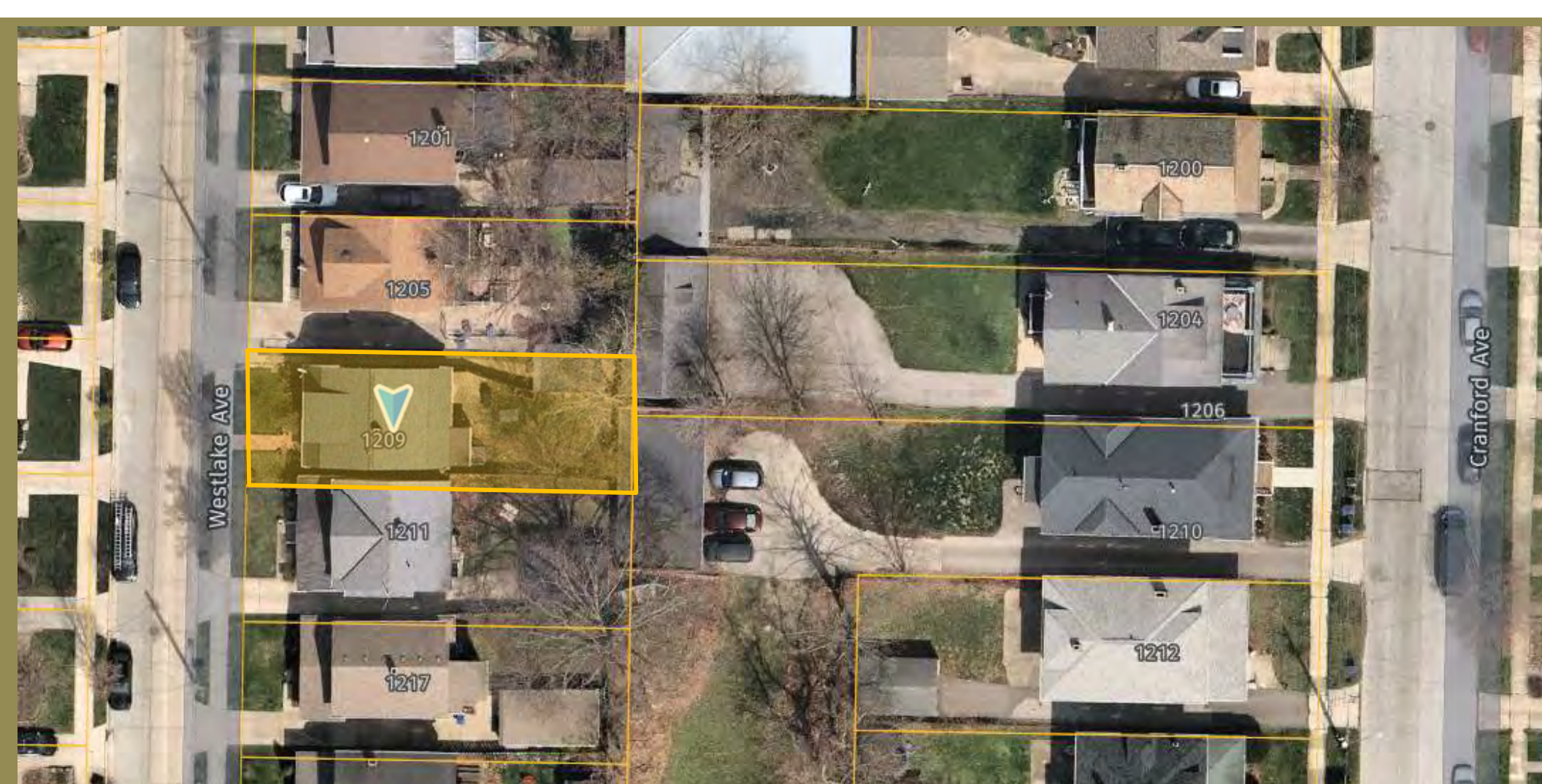


LEFT ELEVATION

1/4" = 1'-0"



2183 Eldred Ave



Docket No. 3-04-23 1209 Westlake Ave

Applicant and property owner Armand Borick proposes the construction of a 173 sq ft. single-story addition. Property is located in the R2 Single- and Two-Family Residential District





Westlake Ave

Westlake Ave

Cranford Ave

Cranford Ave

1201

1205

1209

1211

1217

1221

1223

1227

1200

1204

1206

1210

1212

1216

1220

1222

1224





Docket No. 03-04-23
1209 Westlake Ave

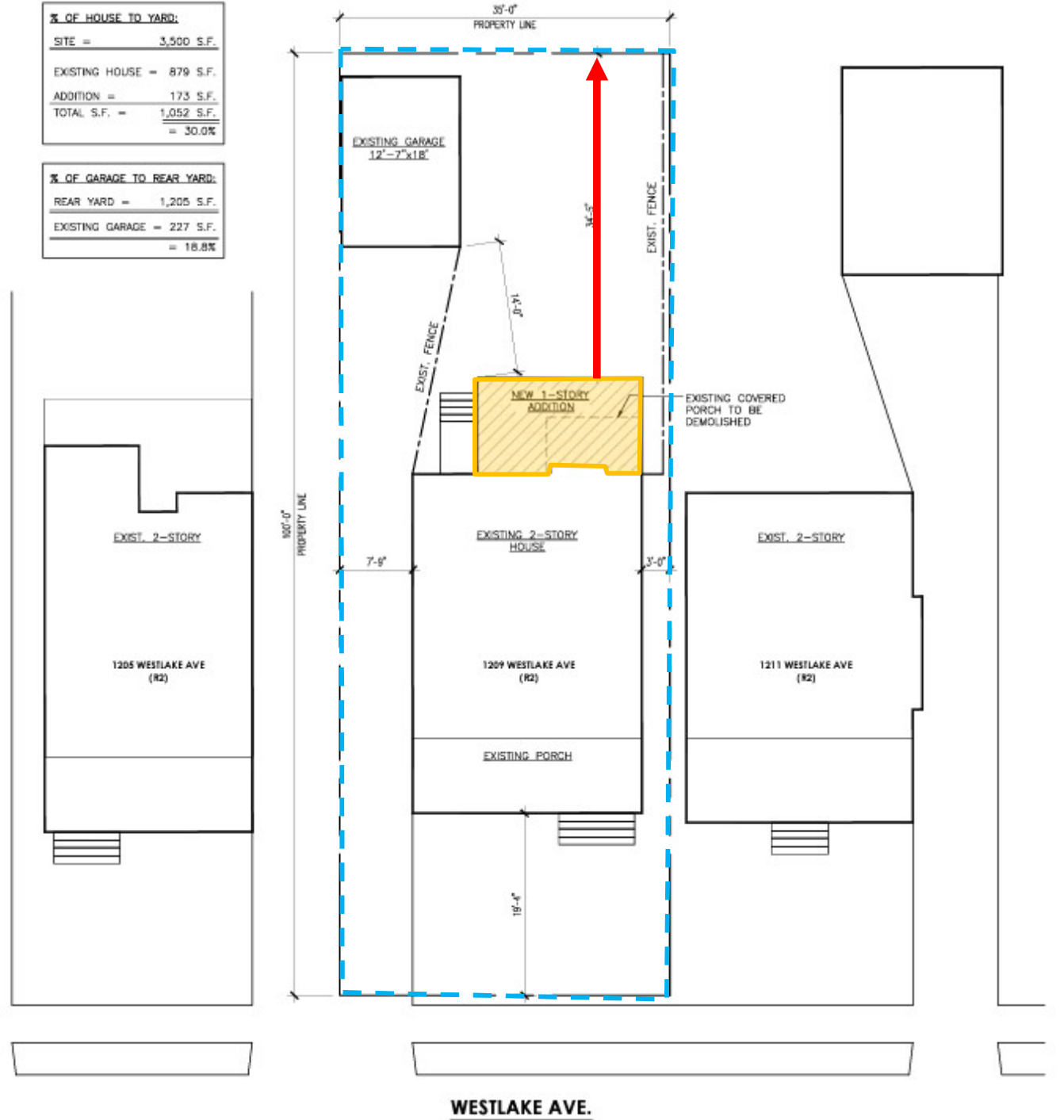
Applicant and property owner Armand Borick proposes the construction of a 173 sq ft. single-story addition on the back of the house. The proposal will increase the lot coverage to 30% of the lot, where 25% is permitted, and reduce the rear setback to 34 feet 5 inches, where 40 feet is required. Property is located in the R2 Single- and Two-Family Residential District. (Page 11)

Variance 1: Request a variance to exceed the maximum permitted lot coverage of a primary structure. Maximum permitted primary lot coverage is 25%. The proposed 173 sq foot single story addition will increase the lot coverage to a total of 1,052 square feet which is 30% on the 3,500 sq foot lot. Request a variance to exceed primary lot coverage by 5%. Pursuant to section 1123.09(a) Maximum Lot Area Coverage Regulations (Ord. 91-95. Passed 10-7-1996.)

Variance 2: Request a variance to reduce the rear yard setback of a primary structure. Required primary structure setback from the rear property line is 40 feet, the proposed single story 173 sq ft addition will reduce the setback on the 3,500 sq ft lot to 34 feet and 5 inches. Request a variance to reduce the required rear setback by 5 feet 7 inches as proposed, pursuant to Schedule 1123.07 Minimum Yard Requirements (Ord. 91-95. Passed 10-7-1996.)

% OF HOUSE TO YARD:	
SITE =	3,500 S.F.
EXISTING HOUSE =	879 S.F.
ADDITION =	173 S.F.
TOTAL S.F. =	<u>1,052 S.F.</u>
	= 30.0%

% OF GARAGE TO REAR YARD:	
REAR YARD =	1,205 S.F.
EXISTING GARAGE =	227 S.F.
	= 18.8%



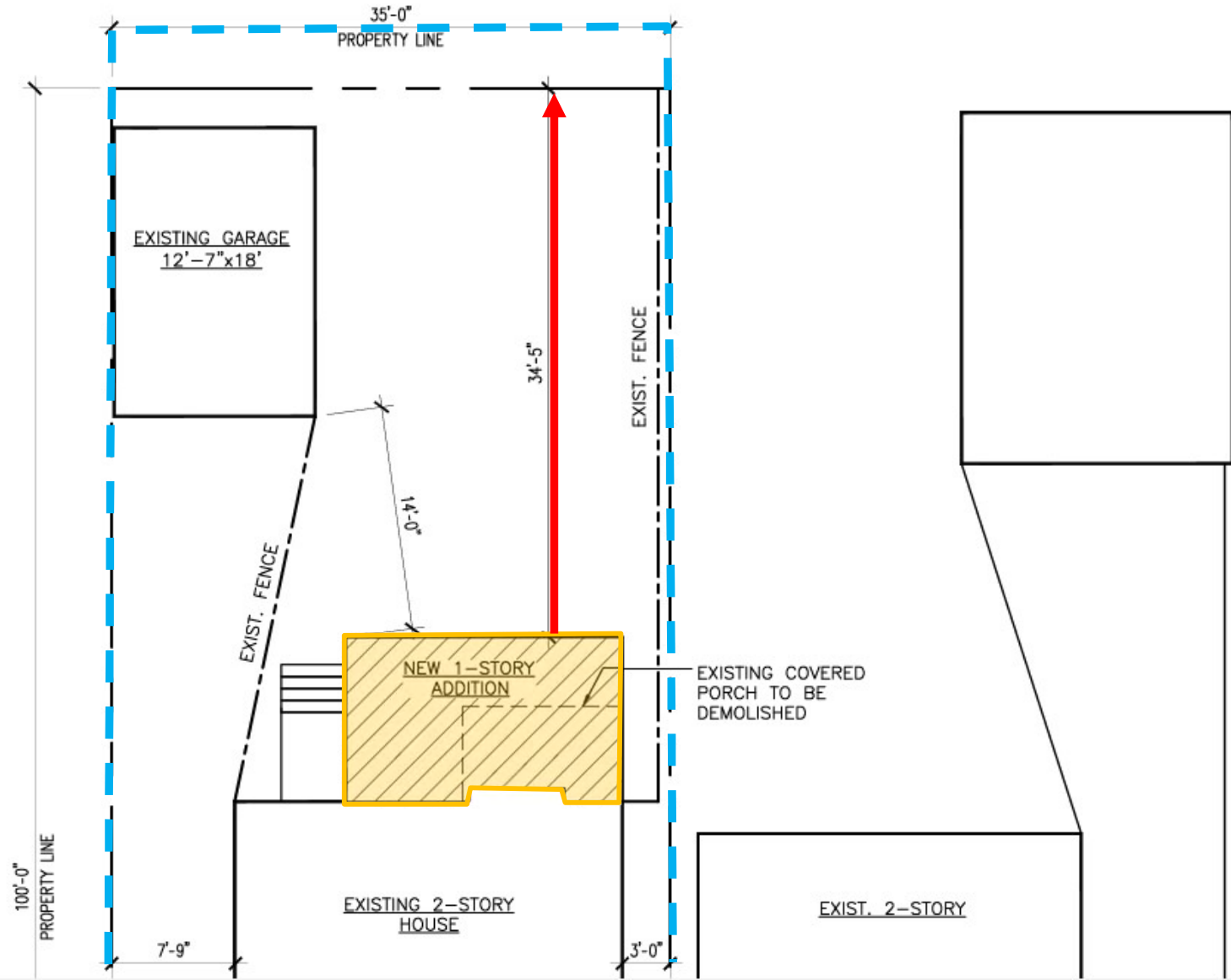
WESTLAKE AVE.

2 SITE PLAN
SCALE: 1/8" = 1'-0"

1209 Westlake Ave

% OF HOUSE TO YARD:	
SITE =	3,500 S.F.
EXISTING HOUSE =	879 S.F.
ADDITION =	173 S.F.
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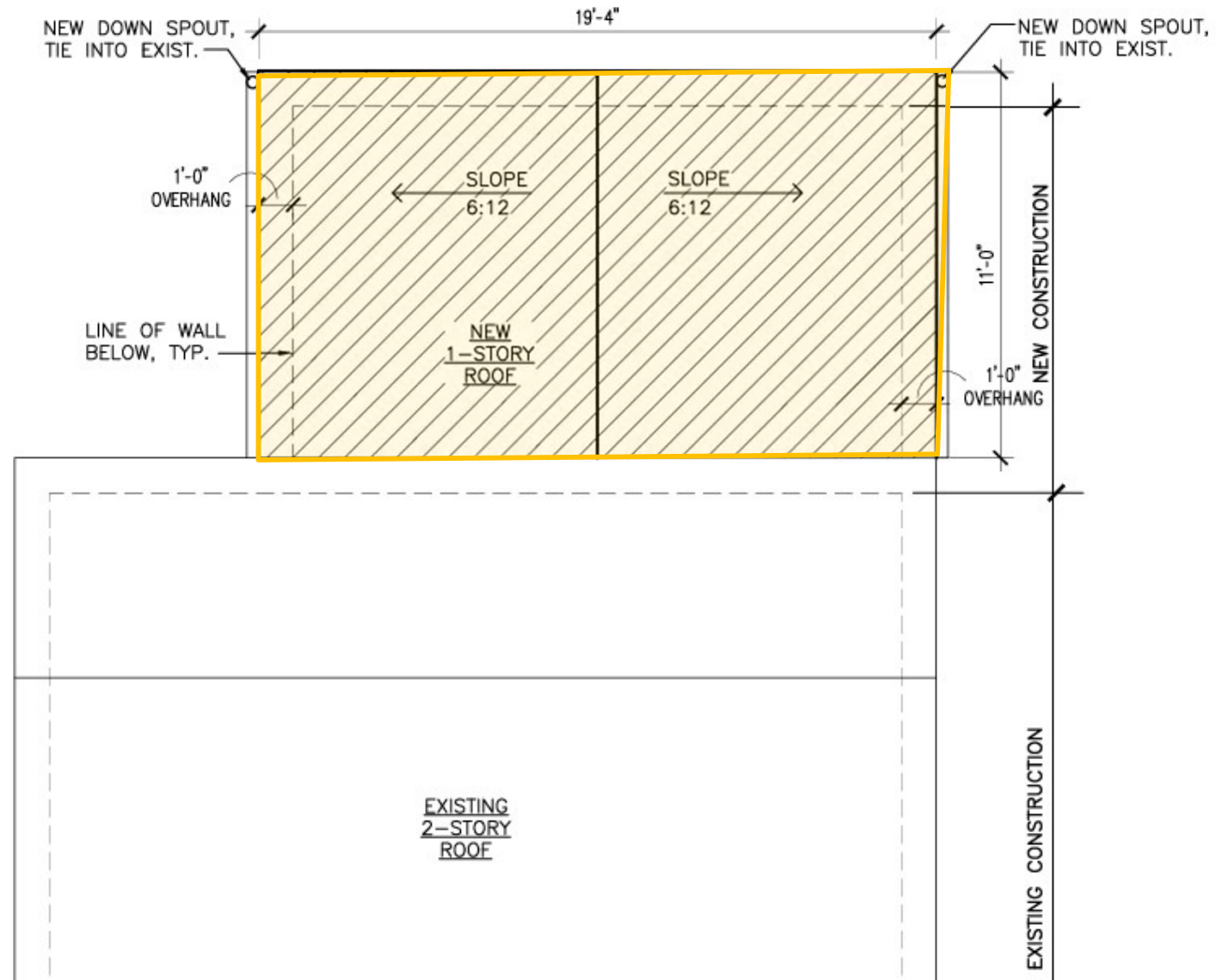


1209 Westlake Ave

ROOF NOTES

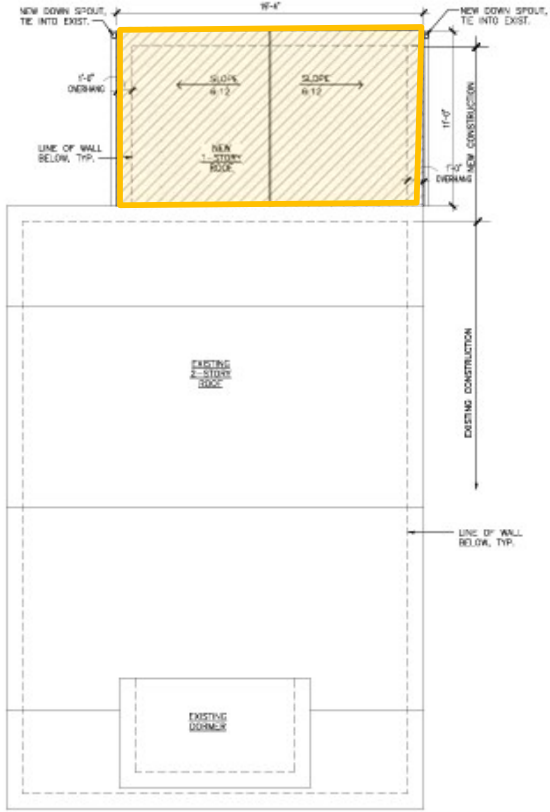
1. RUN ICE GUARD UNDERLAYMENT OVER ENTIRE ROOF
2. MATCH EXISTING ASPHALT SHINGLES
3. ALL FLASHING SHALL BE ALUMINUM, INSTALL PER MANUFACTURER'S RECOMMENDATIONS

 = NEW ROOF



1209 Westlake Ave

- ROOF NOTES**
1. RUN ICE GUARD UNDERLAYMENT OVER ENTIRE ROOF
 2. MATCH EXISTING ASPHALT SHINGLES
 3. ALL FLASHING SHALL BE ALUMINUM. INSTALL PER MANUFACTURER'S RECOMMENDATIONS
-  = NEW ROOF



① **ROOF PLAN**
SCALE: 1/4" = 1'-0"

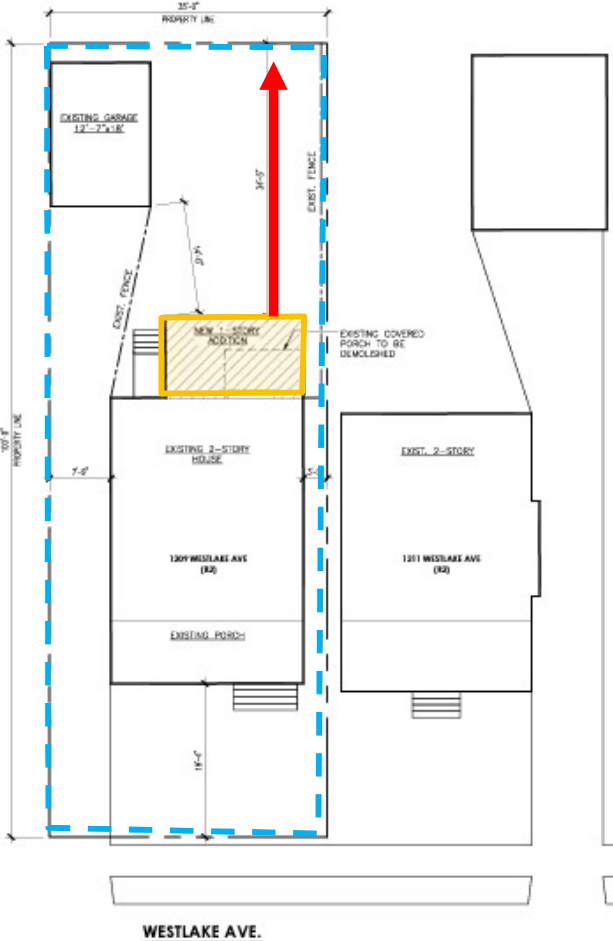


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② **SITE PLAN**
SCALE: 1/8" = 1'-0"



KAREN REIGHARD
1081 MAPLE CLIFF DRIVE • LAKEWOOD, OH 44107
PH 440.897.0807 • kreighard53@gmail.com

BORICK RESIDENCE
1209 WESTLAKE AVE
LAKEWOOD, OH 44107

ROOF PLAN & SITE PLAN

IN: BOR001
Description: BZA_REVISD
Date: 3/16/2023
Sheet #

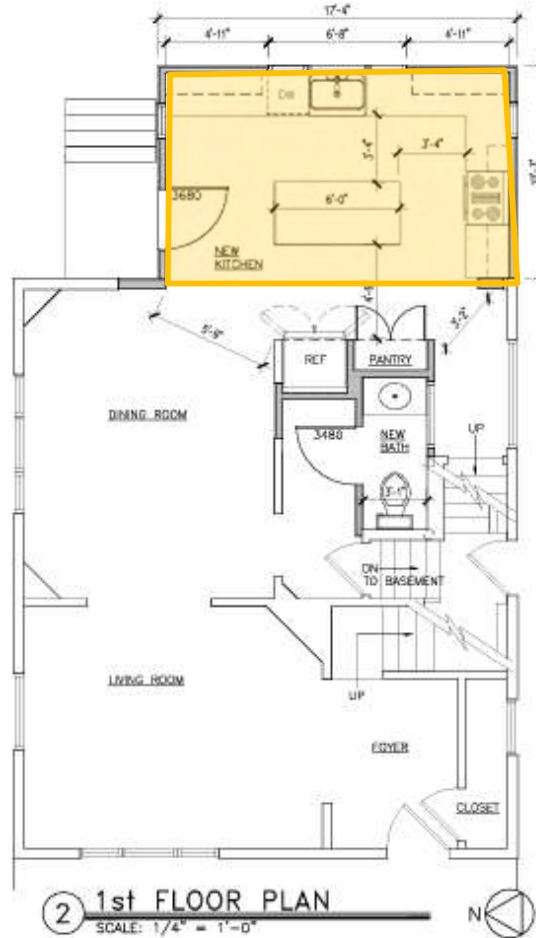
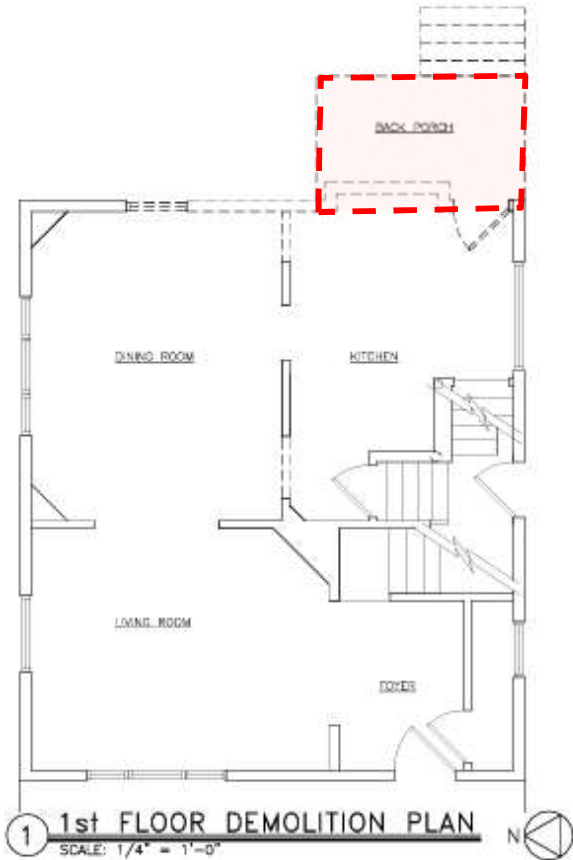
A2

1209 Westlake Ave

WALL TYPE LEGEND	
	NEW WALL
	WALL OR ITEM TO REMAIN
	WALL OR ITEM TO BE DEMOLISHED

- DEMOLITION NOTES**
1. OUT ENTIRE KITCHEN
 2. REMOVE EXISTING KITCHEN/DINING ROOM FLOORING. PREP FOR NEW FLOOR THROUGHOUT
 3. CONTRACTOR TO VERIFY EXISTING STRUCTURE AND NOTIFY DESIGNER OF ANY DISCREPANCIES

- PLAN NOTES**
1. 2-2x4 WOOD STUDS AT ENDS OF ALL BEAM LOCATIONS UNLESS NOTED OTHERWISE
 2. 1/2" GYP. BD. WALLS (GREEN BD. IN BATH) 5/8" GYP. BD. ALL CEILINGS.
 3. ALL INTERIOR WALL STUDS ARE 3 1/2" UNLESS NOTED OTHERWISE (EXTERIOR STUD WALLS ARE 4")
 4. ALL PLAN DIMENSIONS ARE FROM NEW STUD TO EXISTING FINISH, UNLESS NOTED OTHERWISE
 5. PATCH TO MATCH WITH ADJACENT MATERIALS
 6. ENERGY EFFICIENCY PATH SECTIONS 1101-1104 IN IRCQ 2013.
 - R-10 FLOOR SLAB
 - R-20 WALL (SPRAY FOAM CLOSED CELL)
 - R-30 CEILING/ROOF (SPRAY FOAM CLOSED CELL) (ENCLOSED ADDITION = 166 SF)
 7. HEADERS NOT MARKED SHALL BE (2) 2x8
 8. CONTRACTOR TO INSTALL SOLID BLOCKING AT ALL POINT LOADS. ENSURE THAT ALL POINT LOADS BEAR ON SOUND FOUNDATION. ALL FRAMING THAT FRAMES PERPENDICULAR TO BEAMS MUST BE SECURED WITH SIMPSON JOIST HANGERS
 9. APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN THE SECOND FLOOR HALLWAY
 10. SMOKE ALARMS SHALL BE LOCATED IN EACH BEDROOM, SECOND FLOOR HALLWAY, ATTIC, BASEMENT, AND ONE ON THE FIRST FLOOR.
 11. ALL EXISTING STRUCTURE SHALL BE FIELD VERIFIED
 12. TRUSSES ARE BY OTHERS (IF APPLICABLE)
 13. MFG. OF TRUSSES SHALL SUBMIT SHOP DWGS. OF TRUSSES AND SPECIFY CONNECTIONS OF TRUSSES TO FRAMING STRUCTURE (IF APPLICABLE)
 14. NEW FLOOR JOISTS SHOULD MATCH (LEVEL) WITH EXISTING SUB-FLOOR, EQUAL THICKNESS OF EXISTING AND EQUAL FINISH FLOOR



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BORICK RESIDENCE

1209 WESTLAKE AVE
LAKEWOOD, OH 44107

**FIRST FLOOR
DEMOLITION AND
FLOOR PLANS**

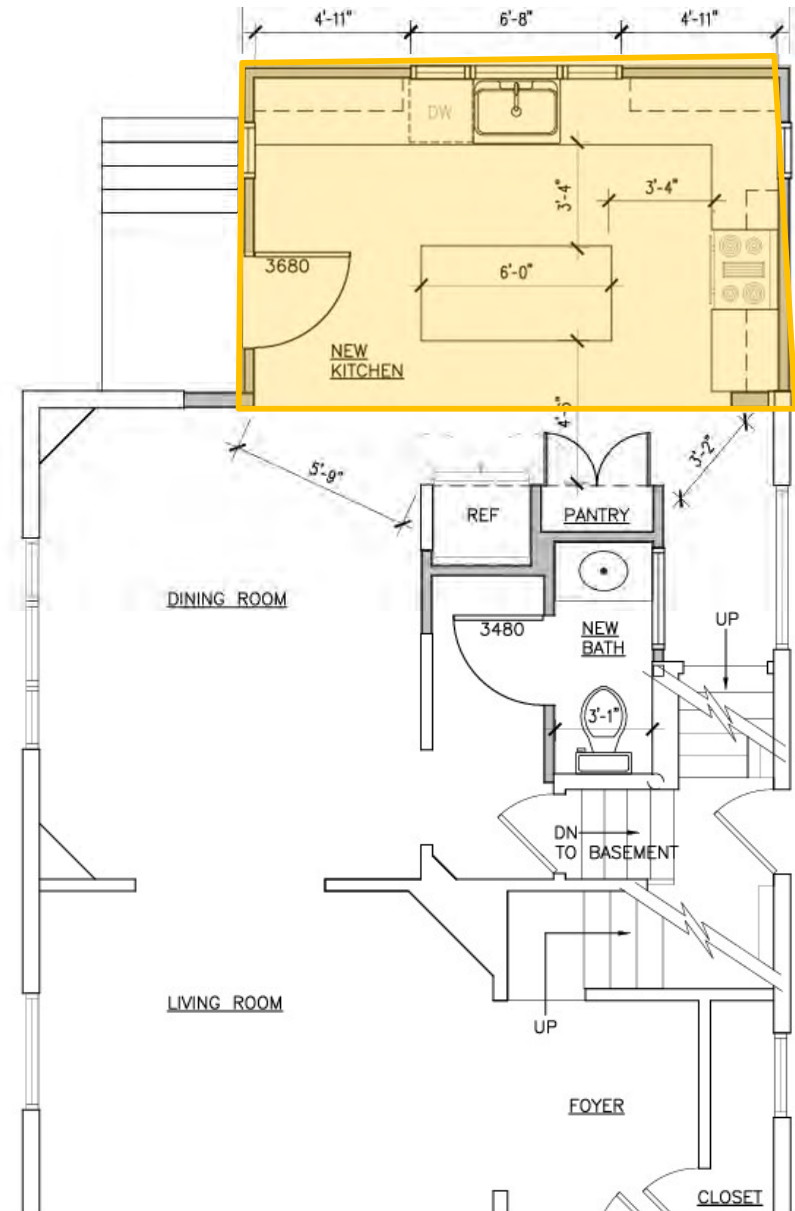
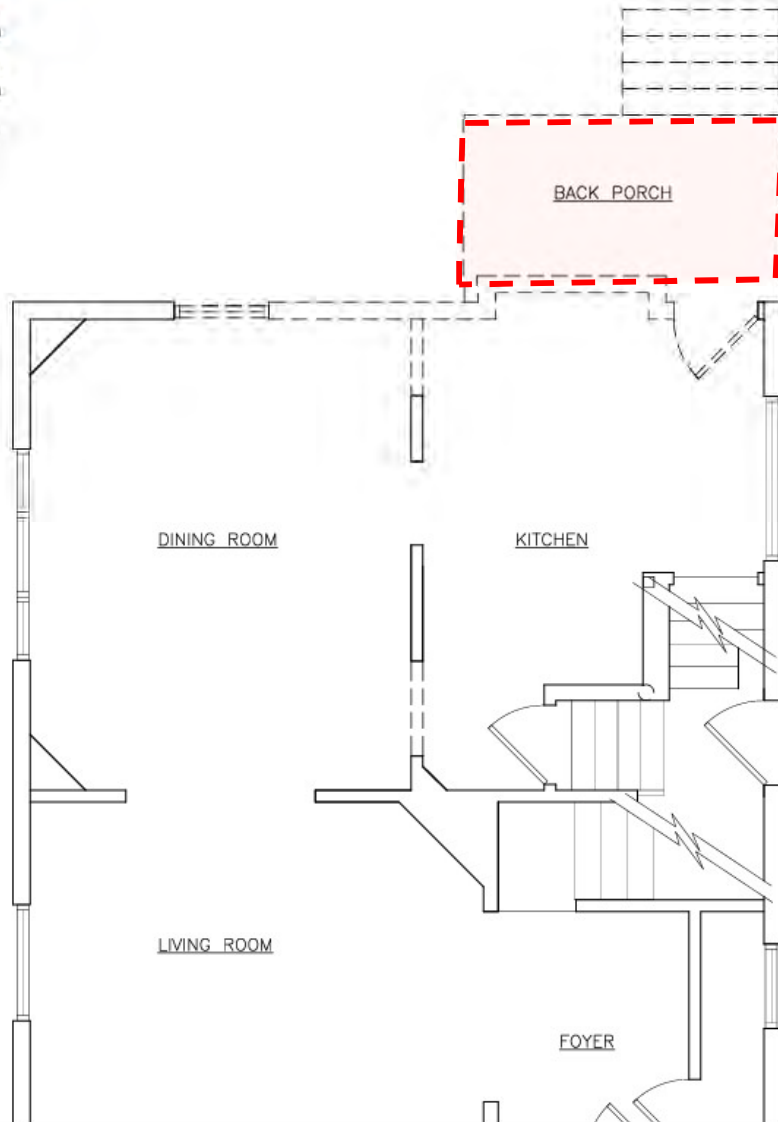
Project:	BOR001
Description:	BZA_REVISD
Date:	3/16/2023

WALL TYPE LEGEND

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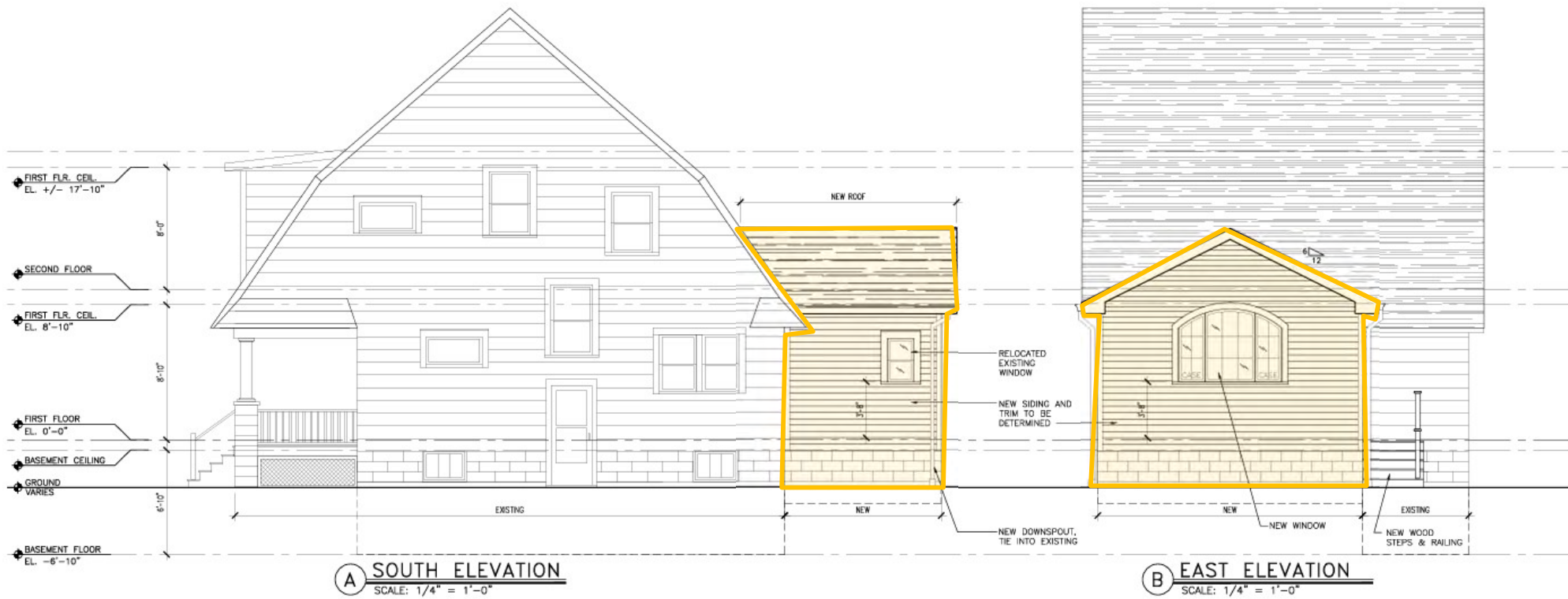
DEMOLITION NOTES

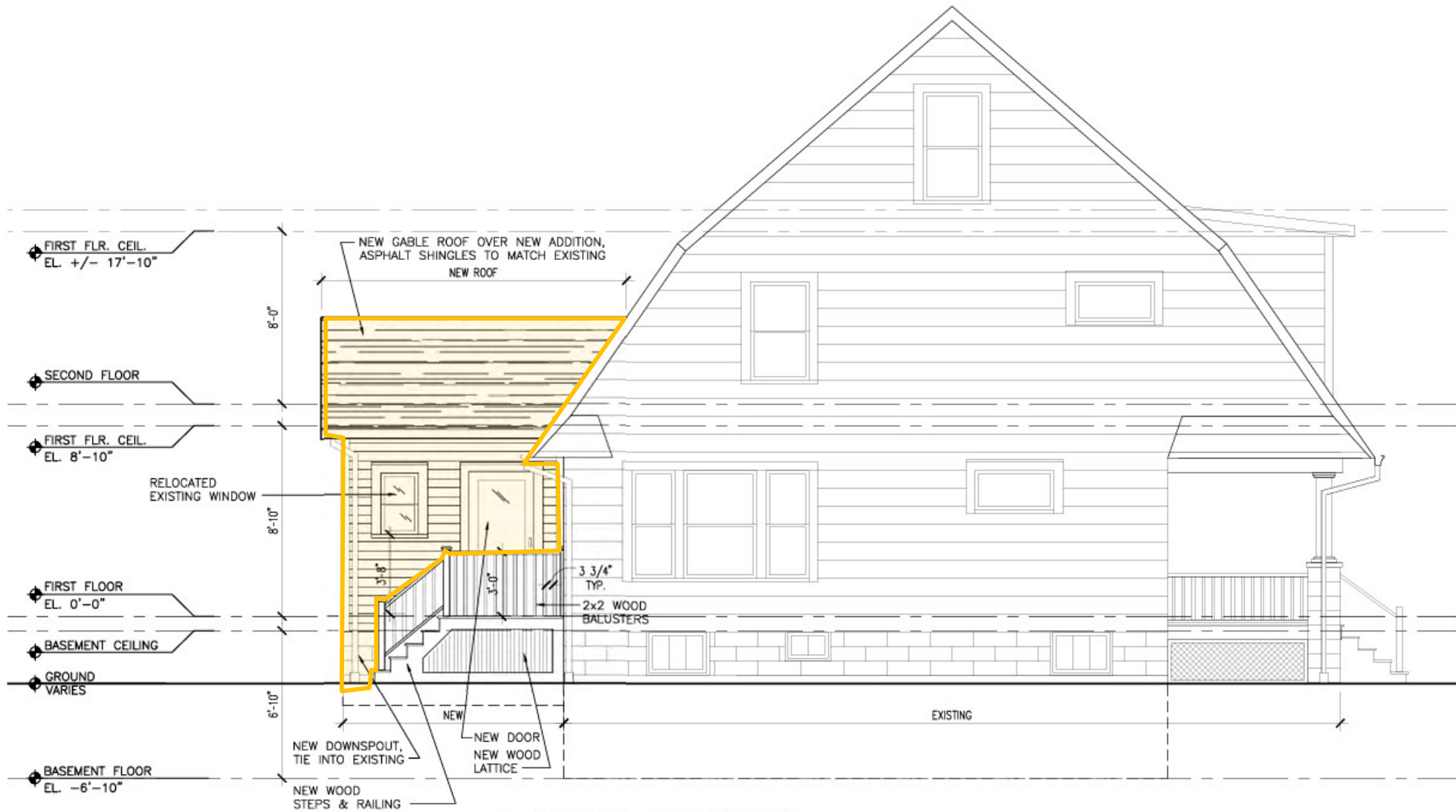
1. GUT ENTIRE KITCHEN
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3. CONTRACTOR TO VERIFY EXISTING STRUCTURE AND NOTIFY DESIGNER OF ANY DISCREPANCIES





A SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"





C NORTH ELEVATION
 SCALE: 1/4" = 1'-0"





1209



ve





ve



ve





Fix lighting





Looking south from rear of house in driveway

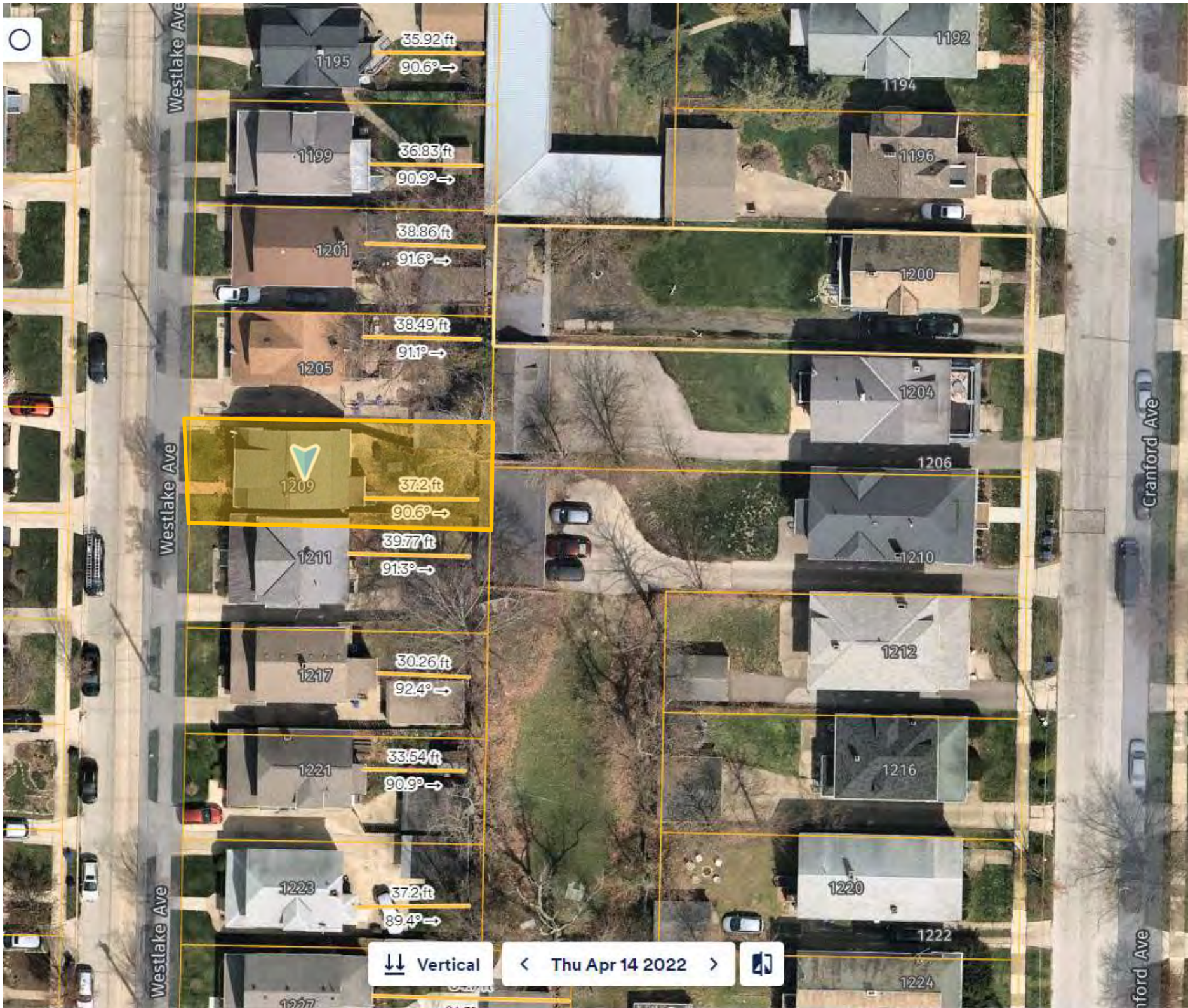


Looking North from rear of house in driveway

Administrative Comments

- The lot is 3,500 sq. feet., current code requires a minimum lot size of 5,000 square feet. The existing structure has a 15-foot front yard, and the existing rear yard is 37 feet.
- The block of Westlake between the railroad tracks and Clifton has a range of parcel shapes and sizes, a number are smaller than the minimum , some are significantly larger.
- Of 30 parcels on the east side of Westlake between Clifton on the North and the railroad tracks on the South, 14 properties have rear yards less than 40 feet, and 15 have rear yards greater than 80 feet. There are 7 properties that have a rear setback of 35 feet or less for the primary structure.
- The existing house is a very modest size, at 879 square feet.
- The proposed addition of 173 square feet is a single story which will increase the footprint of the building to 1,052 sq. ft.





Owner/agent responses- 1173.04 Variances

Applicant responses to the factors to be considered and weighed when determining whether an applicant will experience practical difficulty:

- The project will not be visible from the street and has minimal visual impact on our neighbors.
- Yes. The purpose of this project is to permit an aging Lakewood couple and their disabled daughter to remain in the community that they have grown to love and appreciate for the last 30 years.
- No, can not be obviated through other means. The project requires the rear setback. expanding at the side will immediately impact the neighboring property lines.





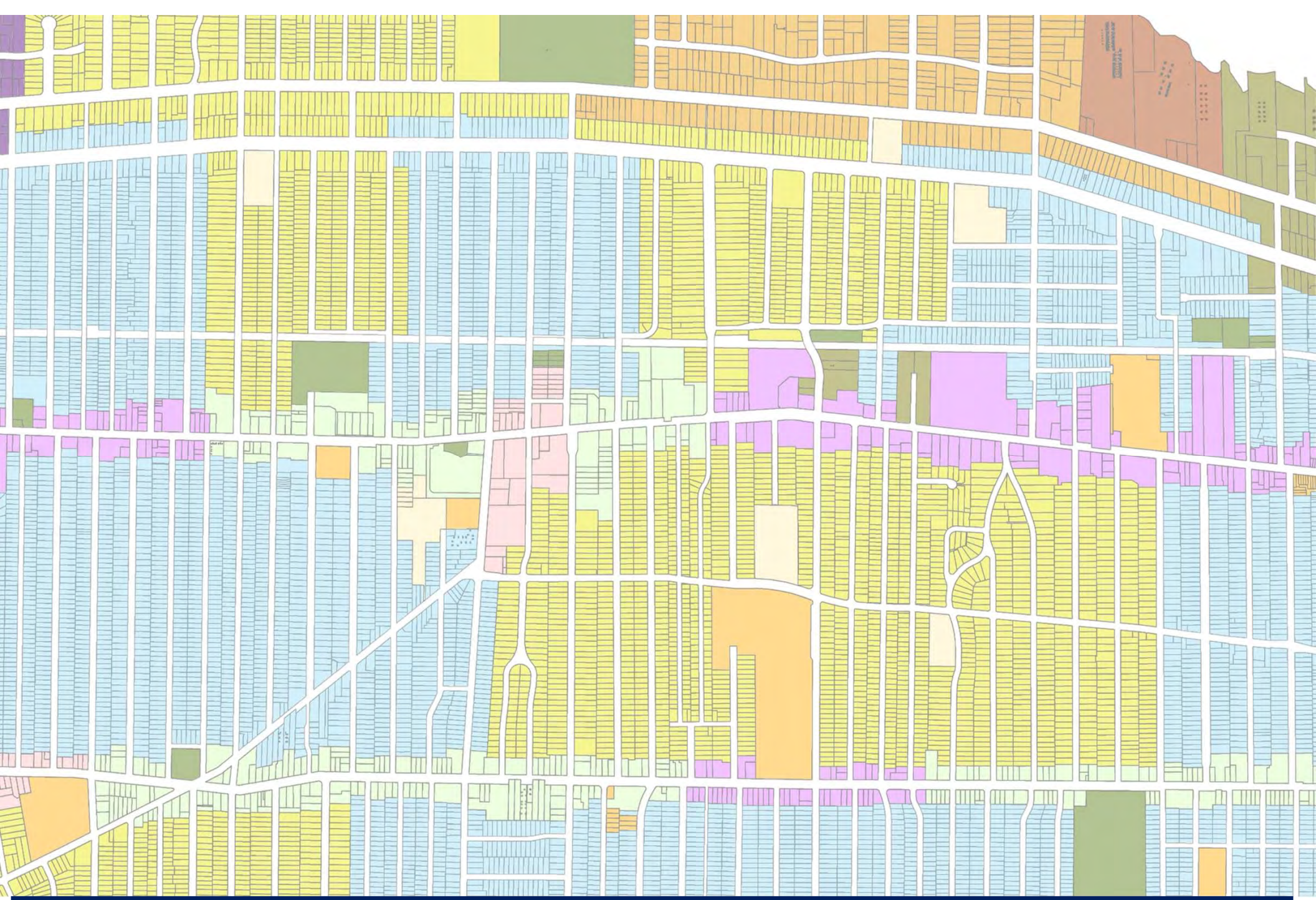
Public Comment

Received via email-

Meeting attendee(s)



1209 Westlake Ave



1209 Westlake Ave

Docket No. 03-04-23
1209 Westlake Ave

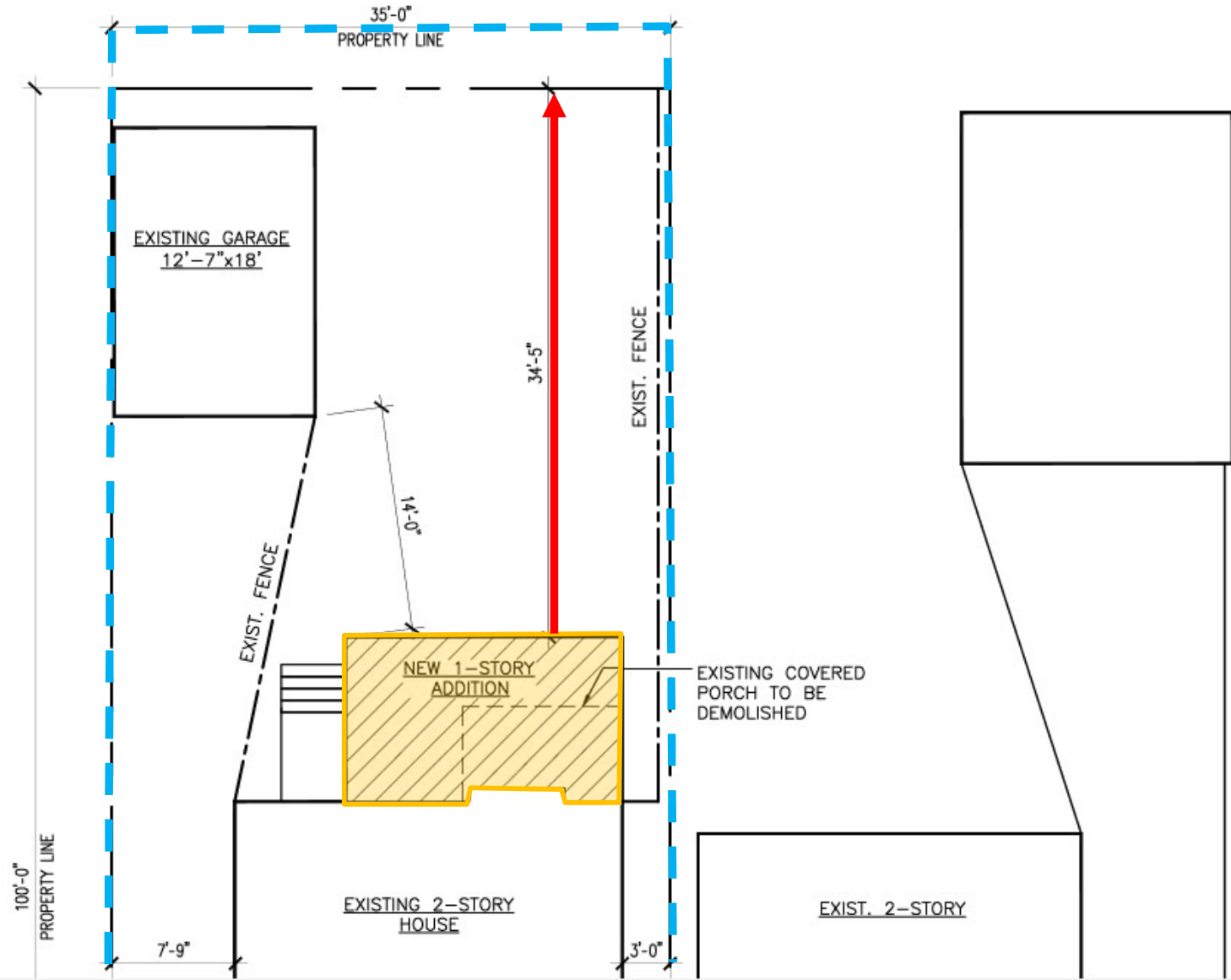
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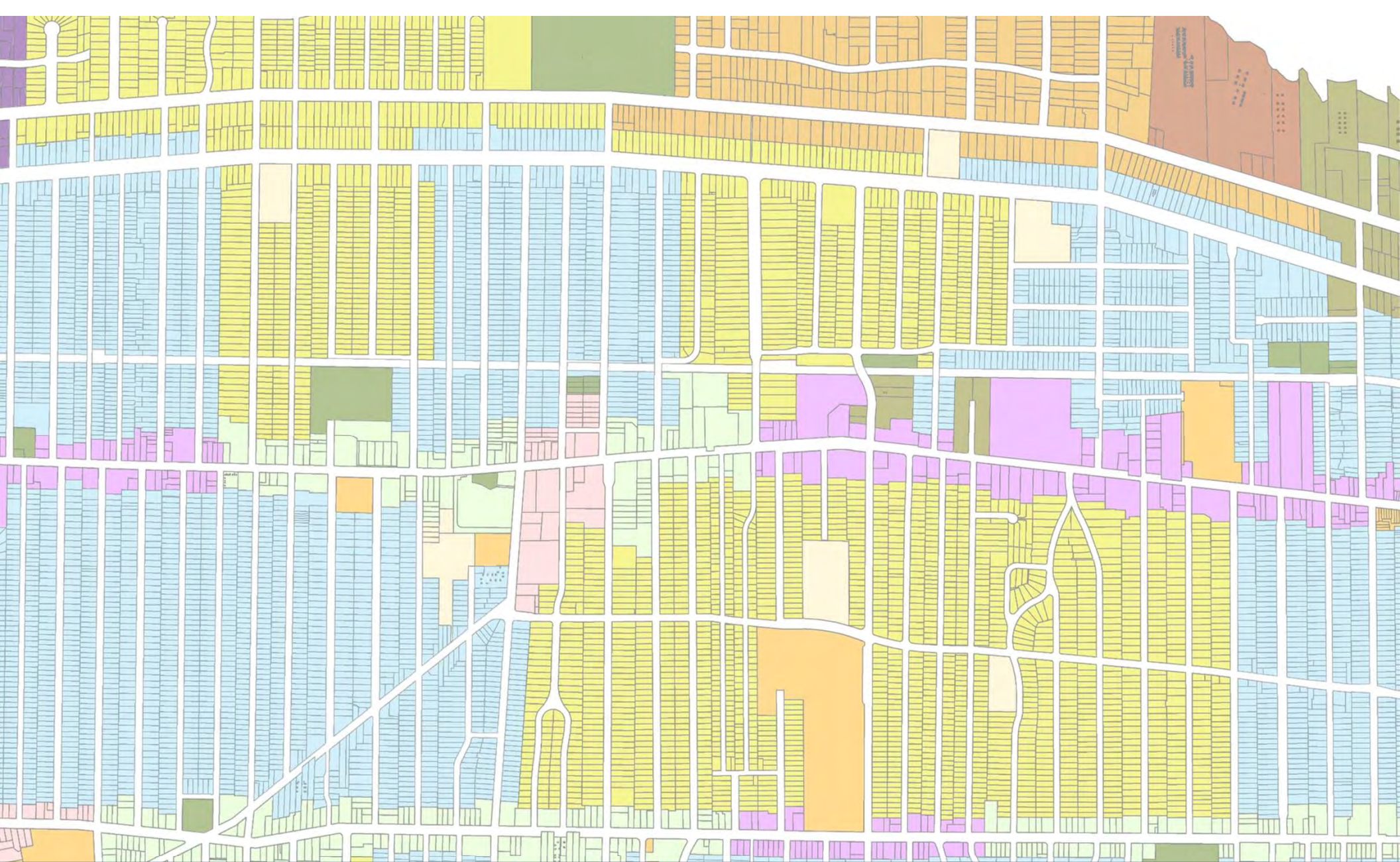
1209 Westlake Ave

A detailed zoning map of a city, showing various colored zones (yellow, blue, orange, green, purple) and street layouts. A large white rectangular box with a black border is centered over the map.

Adjourn



Board of Zoning Appeals



Board of Zoning Appeals