

**MINUTES
BOARD OF ZONING APPEALS
REVIEW MEETING
LAKEWOOD CITY HALL
AUDITORIUM
MAY 16, 2024
6:30 P.M.
MEETING IS RECORDED
(Audio is of poor quality)
<https://www.lakewoodoh.gov/videos-2/>**

1. ROLL CALL

Members Present

Michael Alexander, Chair
Jillian Bolino, Vice Chair
Matt Markling
Jeffrey Pigott
Anthony Santiago

Administrative Staff

Michelle Nocht, Senior Planner, Secretary
Justin Maskaluk, Property Maintenance Inspector
Andrew Fleck, Assistant Prosecutor

Board members and staff present at the 6:00 p.m. pre-review meeting:

Members Present

Michael Alexander, Chair
Jillian Bolino, Vice Chair
Jeffrey Pigott
Anthony Santiago

Administrative Staff

Michelle Nocht, Senior Planner, Secretary
Justin Maskaluk, Property Maintenance Inspector
Andrew Fleck, Assistant Prosecutor

During the 6:00 p.m. pre-review meeting the applications and minutes were discussed by the board members and board staff.

2. APPROVE MINUTES OF THE APRIL 18, 2024 MEETING

A motion was made by Mr. Alexander, seconded by Mr. Pigott to **APPROVE the April 18, 2024 meeting minutes**. All the members voted yea; the motion passed.

3. OPENING REMARKS

Ms. Nocht read the Opening Remarks into the record.

NEW BUSINESS

**4. Docket No. 05-09-24
1114 Forest Rd.**

Applicant David Maniet of Maniet Architects proposes the construction of a new single-family house. The property is located in the R1L, Single-Family Low Density District. (Page 3)

- Variance 1: The proposed primary structure does not meet the minimum required front yard setback of 50 ft on this block of Clifton on the south side between Forest Rd and Lake Rd.

The proposed structure is 7 feet 8 inches from the public right of way on Clifton. Request a variance of 42 feet 4 inches, as proposed. Pursuant to section 1121.07 Minimum Yard Requirements for Principal Buildings. (Ord. 91-95. Passed 10-7-1996.)

- Variance 2: The proposed primary structure does not meet the minimum combined setback requirement of a minimum of 25 feet in the R1L District. The south side yard is proposed at 10 feet, north side yard is proposed at 7 feet 8 inches, the combined total of both side yards is 17 feet 8 inches. The minimum required combined total is 25 feet. Request a variance of 7 feet 4 inches, as proposed. Pursuant to section 1121.07 Minimum Yard Requirements for Principal Buildings. (Ord. 91-95. Passed 10-7-1996.)
- Variance 3: The proposed primary structure does not meet the required minimum front yard setback on Forest which is 50 ft on the west side of Forest between Clifton Boulevard and Clifton Road. The primary structure is proposed at 27 feet 10 inches from the public right of way on Forest Rd.. Request a variance of 22 feet 2 inches, as proposed. Pursuant to section 1121.07 Minimum Yard Requirements for Principal Buildings. (Ord. 91-95. Passed 10-7-1996.)

Applicant David Maniet of Maniet Architects, applicant and Jason Leon, property owner, were present to explain the request. Discussion ensued about the footprint of the foundation/setbacks to fit within the confines of the lot, the setback dimensions themselves, buildability of the property. Public comment was taken; all were opposed to the project. Ms. Nocht confirmed the project would be heard by the Architectural Board of Review. Next discussed were the nine points of practical difficulty, clarification of inquiries raised during public comment and the Board members' responsibilities. Staff provided Administrative Comments. .

A motion was made by Mr. Santiago, seconded by Ms. Bolino to **DENY Docket No. 05-09-24, the request for three variances**. Mr. Alexander, Ms. Bolino, Mr. Pigott, and Mr. Santiago voted yea; the motion passed.

**5. Docket No. 05-10-24
14414 Detroit Ave.
The Marlowe Building**

Applicant David Maniet of Maniet Architects proposes a partially covered rooftop deck. The project was approved by the Architectural Board of Review at its April 11, 2024, meeting. The property is located in the C2, Commercial Retail District. (Page 11)

- Variance 1: Proposed alterations to the existing structure include a rooftop patio, a portion of the proposed deck will be covered by a trellis and a portion will be uncovered. Request a variance for the unroofed portion of the patio which is approx. 867 square feet in area and at an elevation of 53 feet 9 inches. The maximum permitted area of an unroofed patio deck is 300 sq. feet and maximum permitted height is 42 inches, request a variance of 567 feet in area and 50 feet elevation, as proposed. Pursuant to section 1129.03 (Ord. 91-95. Passed 10-7-1996.) and 1127.03(d) (Ord. 24-98. Passed 5-18-1998.)

Applicant David Maniet of Maniet Architects was present to explain the request. Public comment was closed as no one addressed the item. Administrative comment was given.

A motion was made by Ms. Bolino, seconded by Mr. Pigott to **APPROVE Docket No. 04-07-24 for Variance 1 and Variance 2 as proposed**. Mr. Alexander, Ms. Bolino, Mr. Pigott, and Mr. Santiago voted yea; the motion passed.

ADJOURN

A motion was made by Ms. Bolino, seconded by Mr. Santiago to **ADJOURN** the meeting at 8:07 p.m. Mr. Alexander, Ms. Bolino, Mr. Pigott, and Mr. Santiago voted yea; the motion passed.

Mike Z Nestor
Signature *for Michael Alexander*

6-20-24
Date



Oath

(You need not give an oath if you object. If you object to giving an oath, please notify the hearing officer or secretary before signing below.)

I, the undersigned, hereby solemnly swear that the testimony I give at this proceeding will be the truth, the whole truth and nothing but the truth:

PRINT NAME:

SIGN NAME:

1. David Maniet

2. Jason Leon

3. Tara Kervin Weddell

Tara M Kervin Weddell

4. Mark Bernhold

1120 Forest

5. Tom Frassek

1124 Forest

6. James Romer

1126 Forest

7. Stephen Suhane

1119 Forest Rd.

8. [Signature]

1789B Lab

9. _____

10. _____

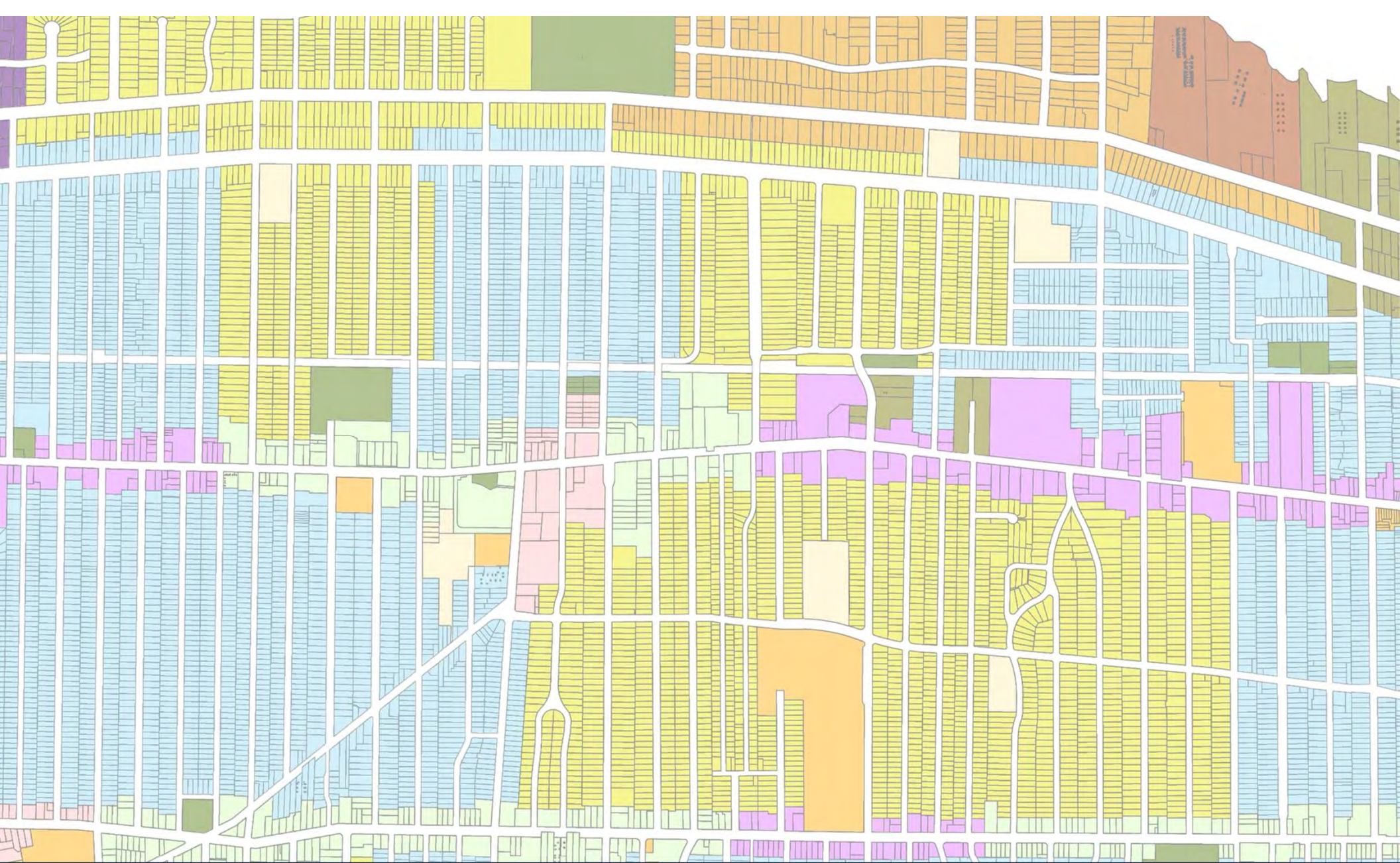
11. _____

Prepared by: The City of Lakewood Law Department, 12650 Detroit Ave., Lakewood, Ohio 44107

FOR CITY USE ONLY

Lakewood Administrative Procedure: ABR/BBS Citizens Advisory Civil Svc. Dangerous Dog Income Tax Appeals Loan Approval Nuisance Abatement Appeals Parking Planning Zoning Appeals Other:

Date of Proceeding: Thursday, May 16, 2024



Board of Zoning Appeals

Board of Zoning Appeals

1173.04 Variances

Factors to be considered and weighed when determining whether an applicant will experience practical difficulty:

1. Whether there exist site conditions (narrowness, shallowness, or topography) unique to property in question that are not applicable generally to other lands or structures in same zoning district;
2. Whether property in question is located near a non-conforming or non-harmonious use, structure, or site conditions, or whether property in question abuts a less restrictive zoning district;
3. Whether property in question will yield a reasonable return or whether there can be any beneficial use of property without the variance(s);
4. Whether variance(s) is substantial;
5. Whether essential character of neighborhood would be substantially altered or whether adjoining properties would suffer a substantial detriment as a result of the variance(s);
6. Whether variance(s) would adversely affect delivery of governmental services (e.g., water, sewer, refuse removal);
7. Whether property owner purchased property with knowledge of zoning restriction;
8. Whether property owner's predicament feasibly can be obviated through some method other than a variance(s); and
9. Whether spirit/intent of Code would be observed, and substantial justice done by granting the variance(s).

(Ord. 91-95. Passed 10-7-1996.)





Board of Zoning Appeals-

Pre-review: 6:00-6:30 p.m.

Regular Meeting: 6:30 p.m.

Members

Chair: Michael Alexander

Vice Chair: Jillian Bolino

Matt Markling

Jeffrey Pigott

Anthony Santiago

Staff

Board Secretary: Michelle Nochta

Legal Counsel: Andrew Fleck

Building Department: Justin Maskaluk

Board of Zoning Appeals

May 16, 2024
Agenda

1. Roll Call
2. Vote to approve *April 18, 2024*, meeting minutes
3. Opening Remarks

NEW BUSINESS


4. Docket No. 05-09-24, 1114 Forest Rd
5. Docket No. 05-10-24, 14414 Detroit Ave.



Roll Call



Board of Zoning Appeals

A detailed zoning map of a city, showing various colored zones (yellow, blue, green, orange, purple) and street layouts. The map is the background of the entire page.

Approve Meeting Minutes for
April 18, 2024



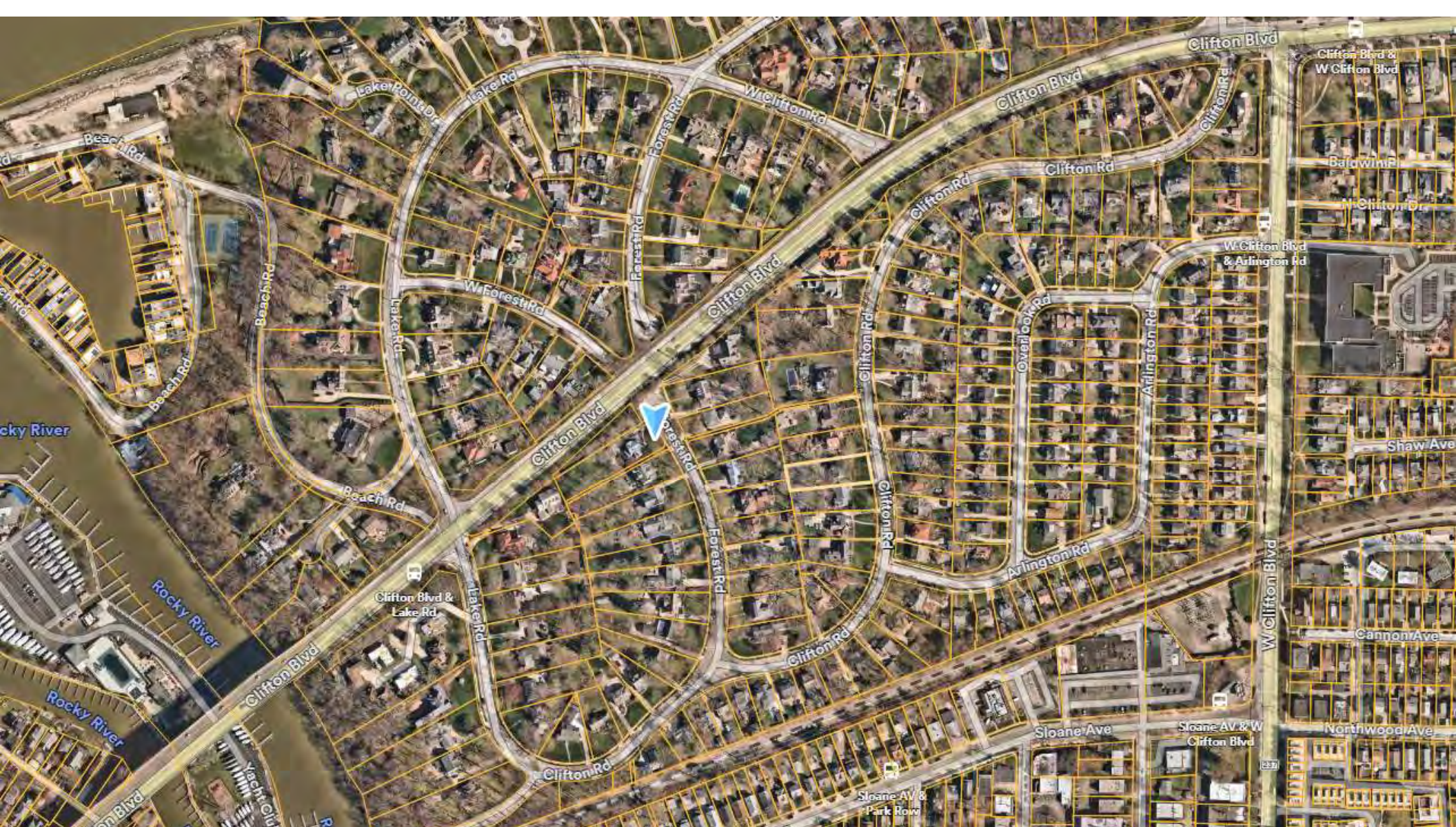
Board of Zoning Appeals



Opening Remarks



Board of Zoning Appeals



**Docket No. 05-10-24
1114 Forest Rd**

Applicant David Maniet of Maniet Architects proposes the construction of a new single-family house. The property is located in the R1L, Single-Family Low-Density District



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14414 Detroit Ave

Surveyor's Notes & Basis of Bearings:

This map was prepared without the benefit of a Title Report and is not intended to reflect all easements, encumbrances, or other items affecting the title to the property shown hereon.

The U.S. Route 6 Right of Way plans were heavily relied upon in preparing this map, as the geometry agreed with itself much more so than the geometry shown on the plat recorded in Volume 29, Page 11 of Cuyahoga County Plat Records.

The basis of bearings for this survey, as shown, is the centerline of U.S. Route 6, based on Route 6 Location Plan, Plat Vol. 182, Pg. 25 and is to an assumed meridian used to denote angles only. Distances are in feet and decimal parts thereof. Unless shown otherwise, measurements to monuments found are rectangular measurements from property lines, right-of-way lines, centerlines or other as appropriate. Stations and Offsets are based on U.S. Route 6 Right of Way Plans CUY-6-7.27. CIP set are 5/8" x 30" rebar with yellow cap stamped Straub Surveying PS#7055. References used are listed hereon. This map was prepared from a survey performed by me or under my direction in August, 2023, and meets the requirements defined in Chapter 4733-37 of the Ohio Revised Code, Minimum Standards for Boundary Surveys. This map is not valid unless signed and stamped by Surveyor.

Signed 10/3/2023

Michael Straub

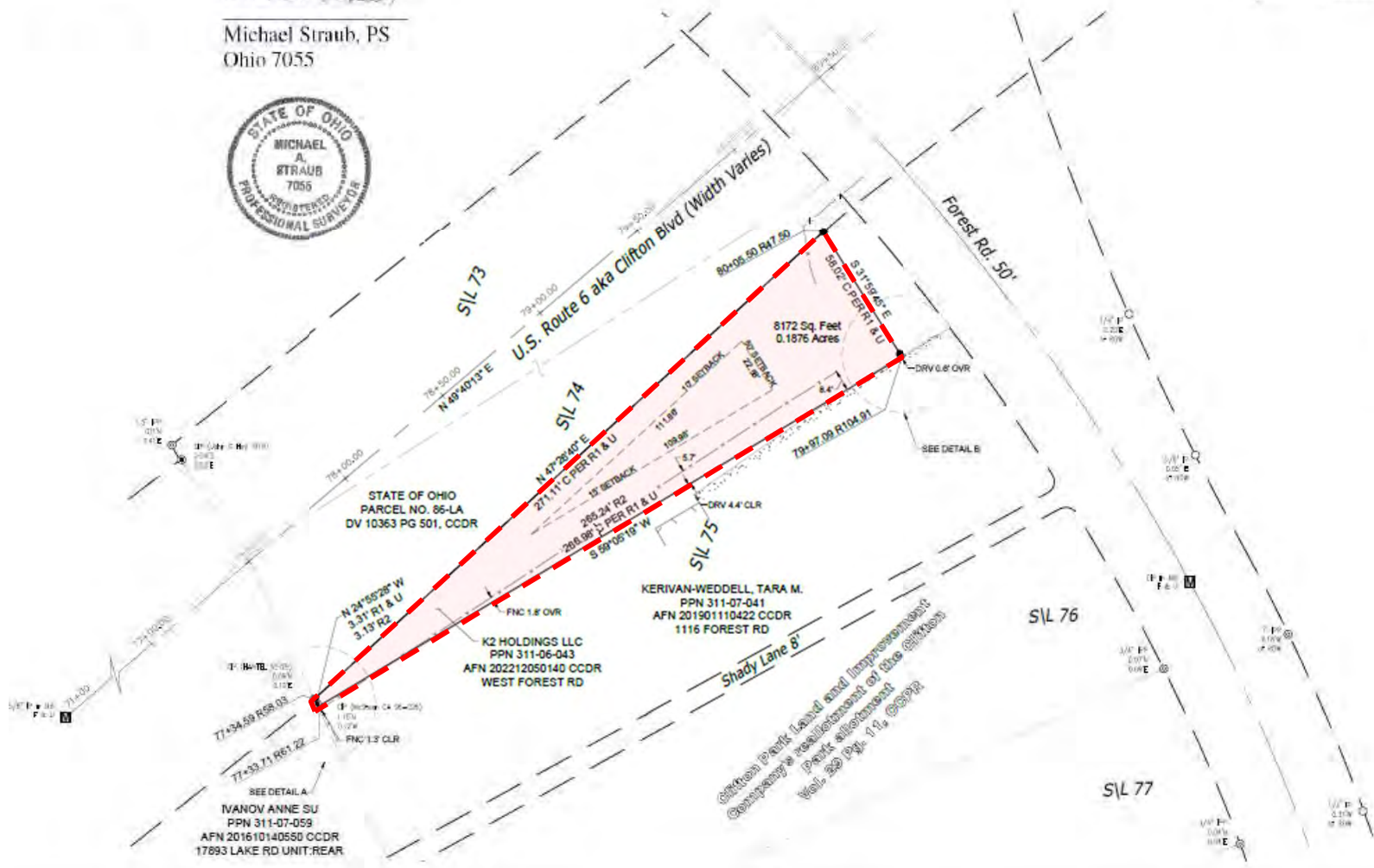
Michael Straub, PS
Ohio 7055



Known as part of Sublot No. 74
Clifton Park Land and Improvement Company's
reallotment of the Clifton Park allotment
of a part of
Original Rockport Township Sec. No. 23
County of Cuyahoga, State of Ohio
as shown in Plat Volume 29, Page 11
of Cuyahoga County Plat Records

Survey Legend

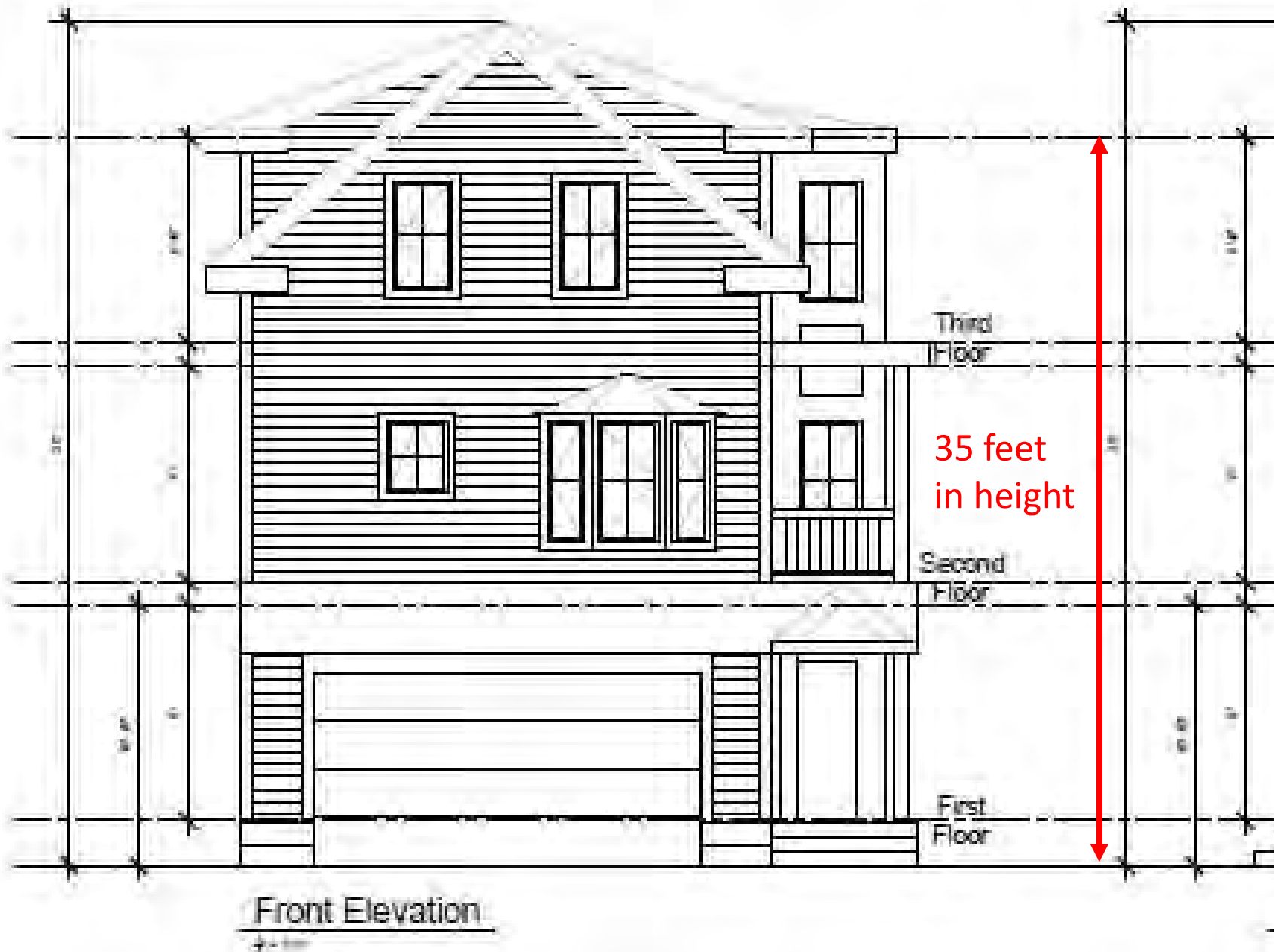
- M Measured
- F Found
- U Used
- R Record
- P Plat
- C Calculated
- MB Monument Box (MB)
- CIP Capped Iron Pin Found
- CIP-Set Capped Iron Pin (CIP) Set
- IP Iron Pin (IP) Found as Described
- IPP Iron Pipe (IPP) Found as Described
- Centerline
- ROW Right of Way (ROW) Line
- Record Property Line
- Building Line
- Fence Line
- Edge of Driveway
- Station and Offset



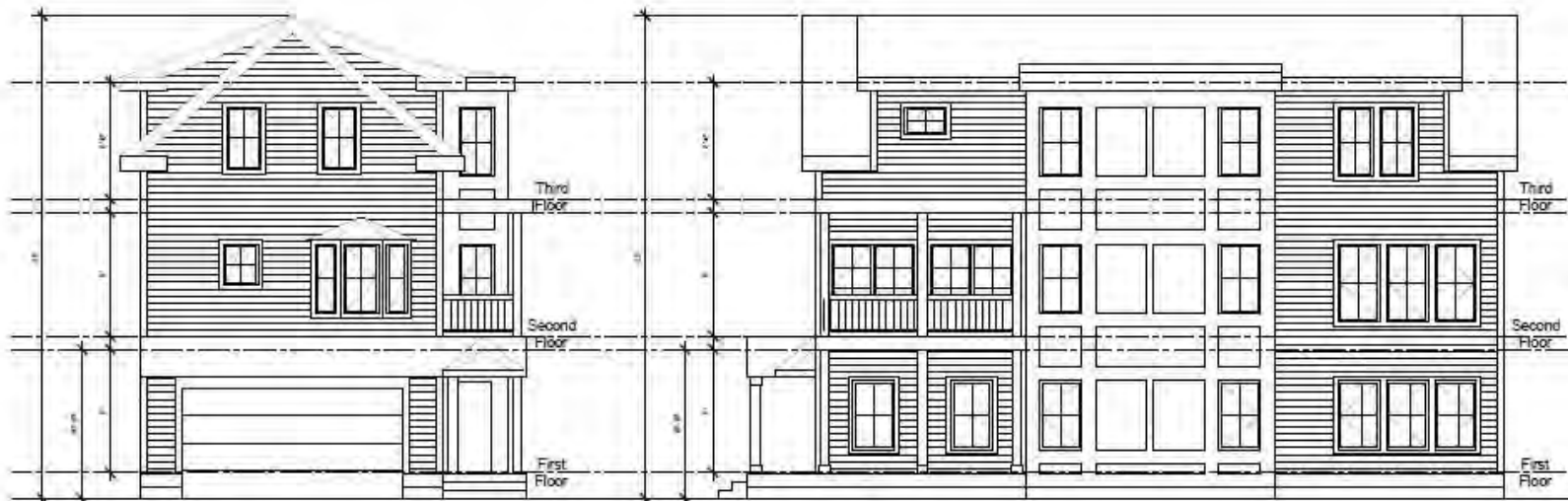
References:
Cuyahoga County GIS
U.S. Route 6 Right of Way Plans CUY-6-7.27 (R1)
Suspect deed as shown (R2)
U.S. Route 6 Location Plan Plat Vol. 182, Pg. 25
Clifton Park Land and Improvement Company's reallotment
of the Clifton Park allotment Plat Vol. 29, Pg. 11
Adjoining deeds as shown



1114 Forest Rd

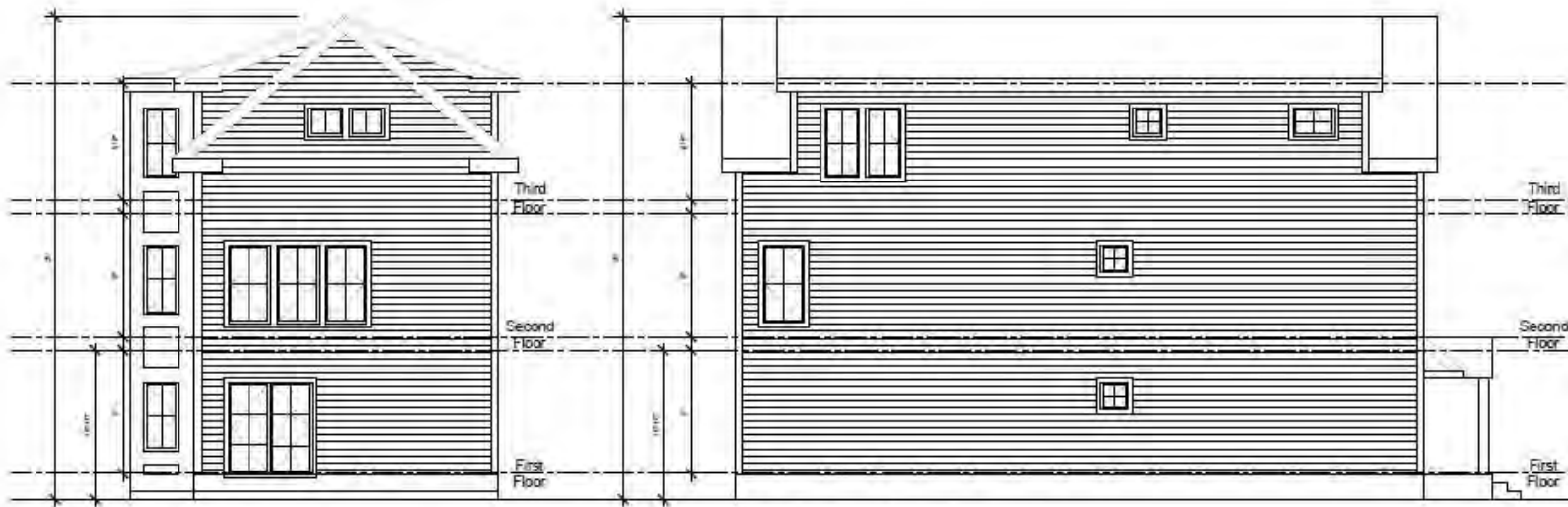


1114 Forest Rd



Front Elevation
#1-10

North (Clifton) Elevation
#1-11



Rear Elevation
#1-12

South (Neighbor) Elevation
#1-13

- WALL TYPES**
- 1/2" BRICK VENEER OVER 2" CMU BLOCK
 - 1/2" BRICK VENEER OVER 2" CMU BLOCK WITH 1" AIR SPACE
 - 1/2" BRICK VENEER OVER 2" CMU BLOCK WITH 1" AIR SPACE AND 1" INSULATION
 - 1/2" BRICK VENEER OVER 2" CMU BLOCK WITH 1" AIR SPACE AND 2" INSULATION
- NOTE: SEE ARCHITECTURAL NOTES FOR
BATHROOM, LAUNDRY ROOM, AND KITCHEN
- WALL LEGEND**
- HATCHED WALL
 - SOLID BLACK WALL

MA
MANIET
ARCHITECTS

412.720.0424
David.JManiet@gmail.com

Project Name:
Leon Residence
1114 Forest Road
Lakewood, Ohio 44107

Scale to: Drawing Title	Sheet
Scale:	A3
Scale by:	



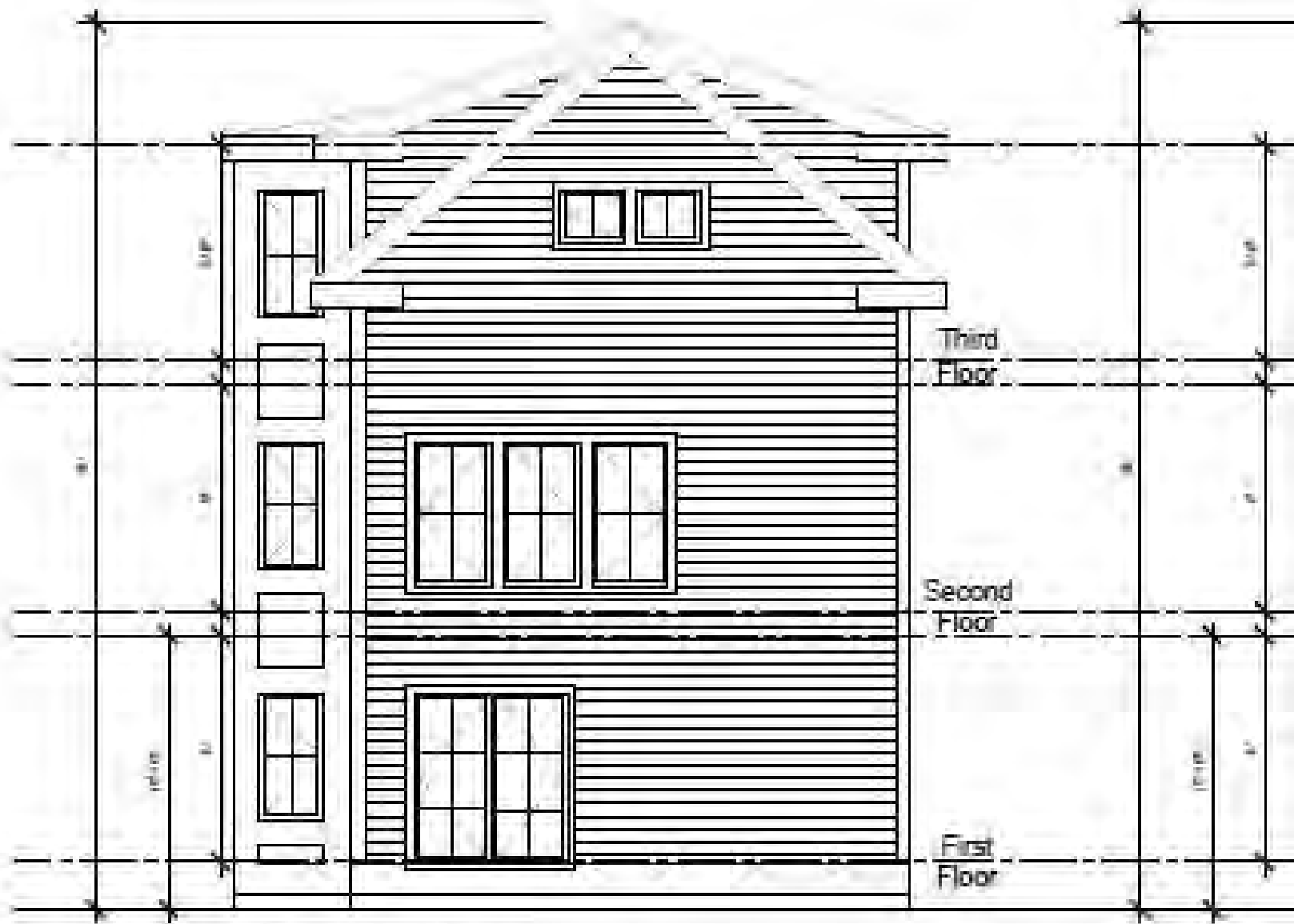
1114 Forest Rd



North (Clifton) Elevation
Foot



1114 Forest Rd

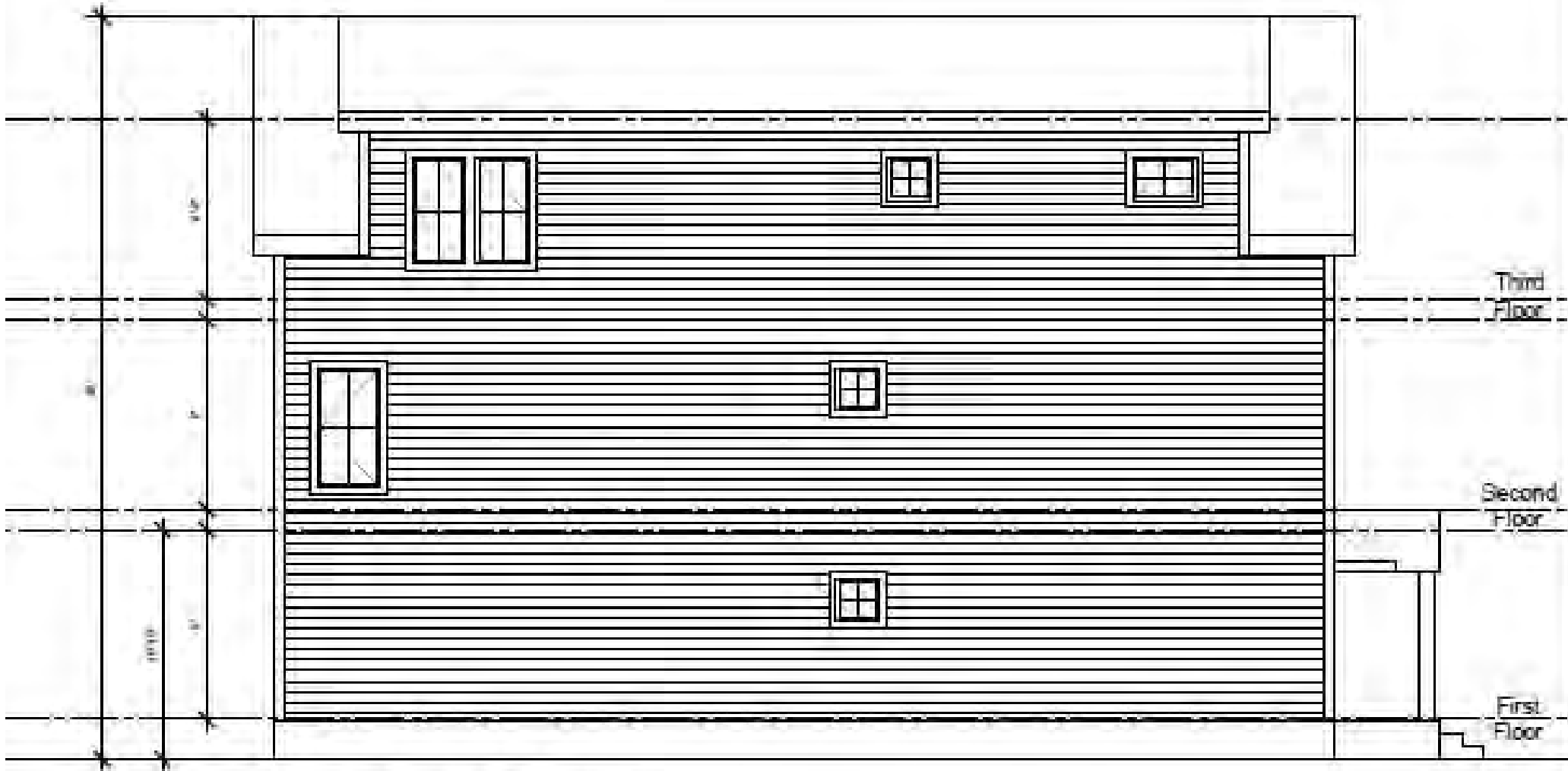


Rear Elevation

2/1/19



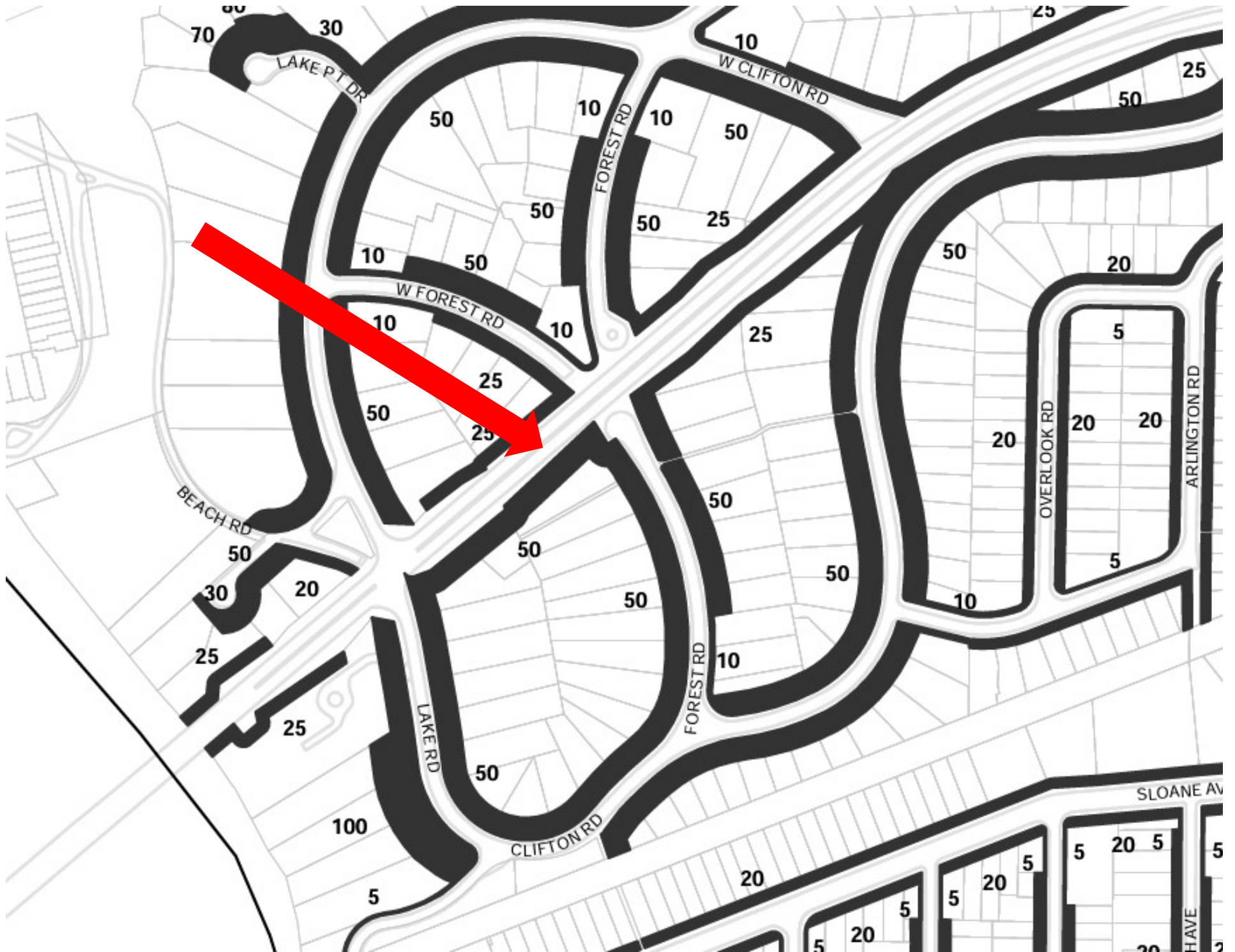
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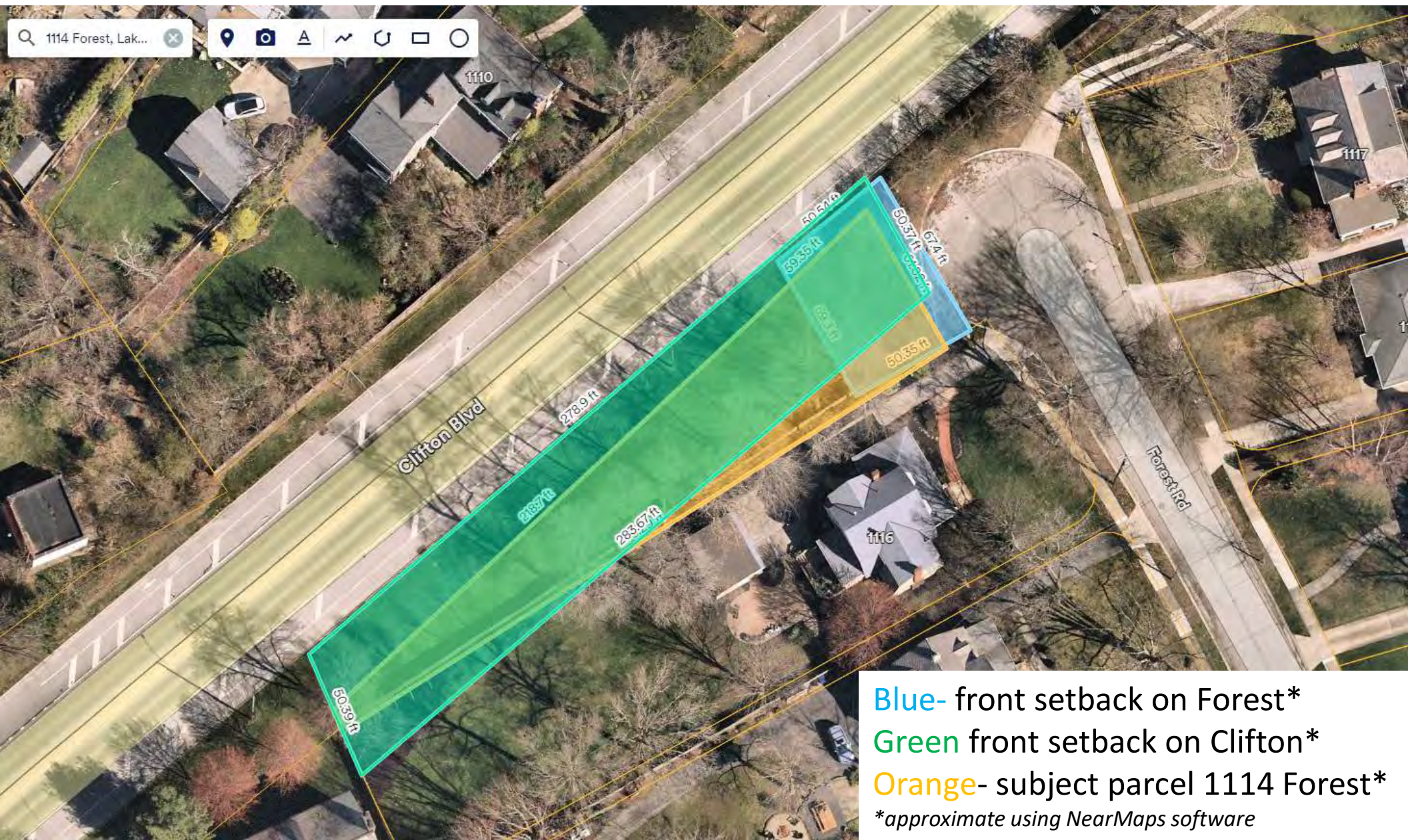


South (Neighbor) Elevation

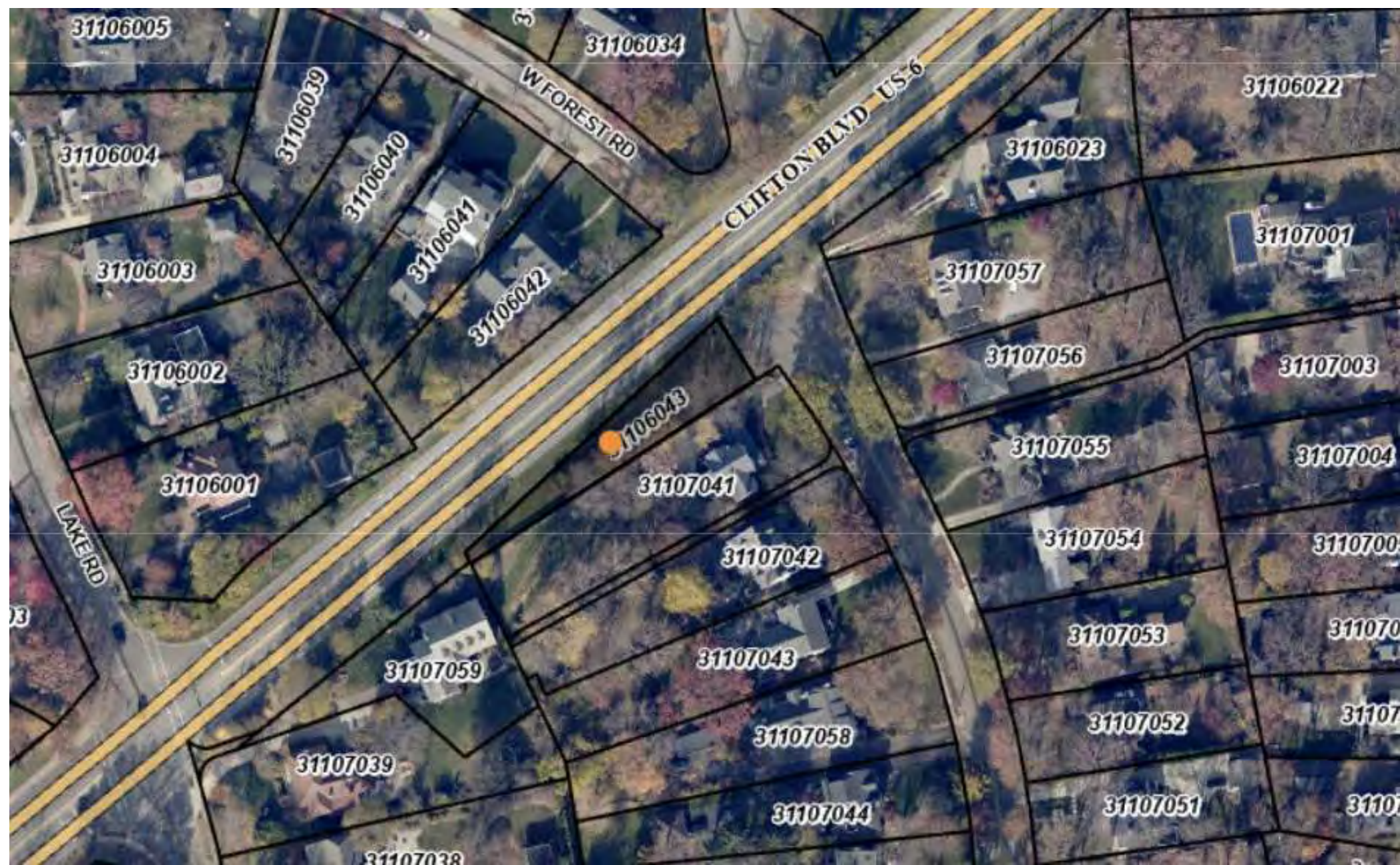


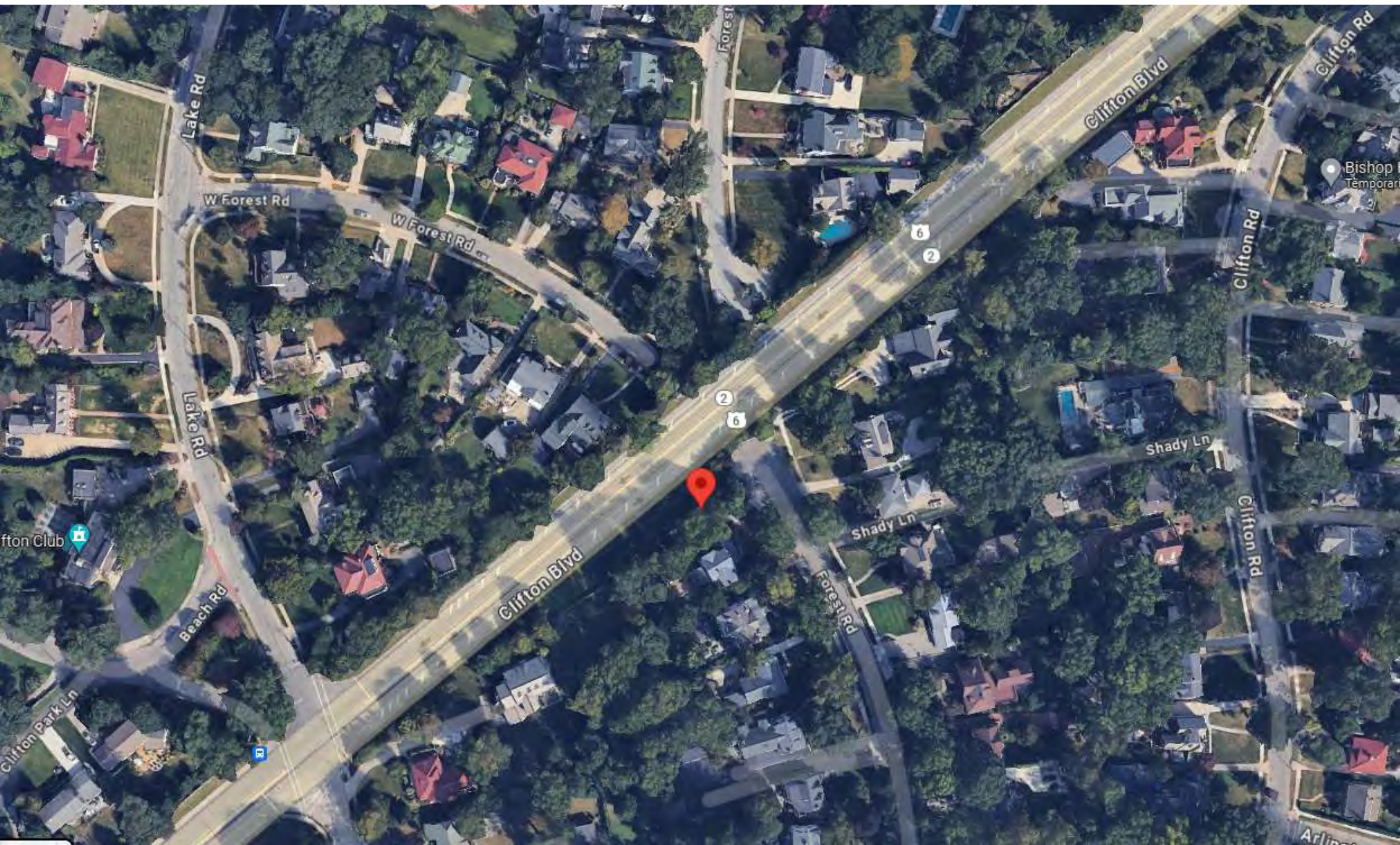
1114 Forest Rd





Blue- front setback on Forest*
Green front setback on Clifton*
Orange- subject parcel 1114 Forest*
**approximate using NearMaps software*



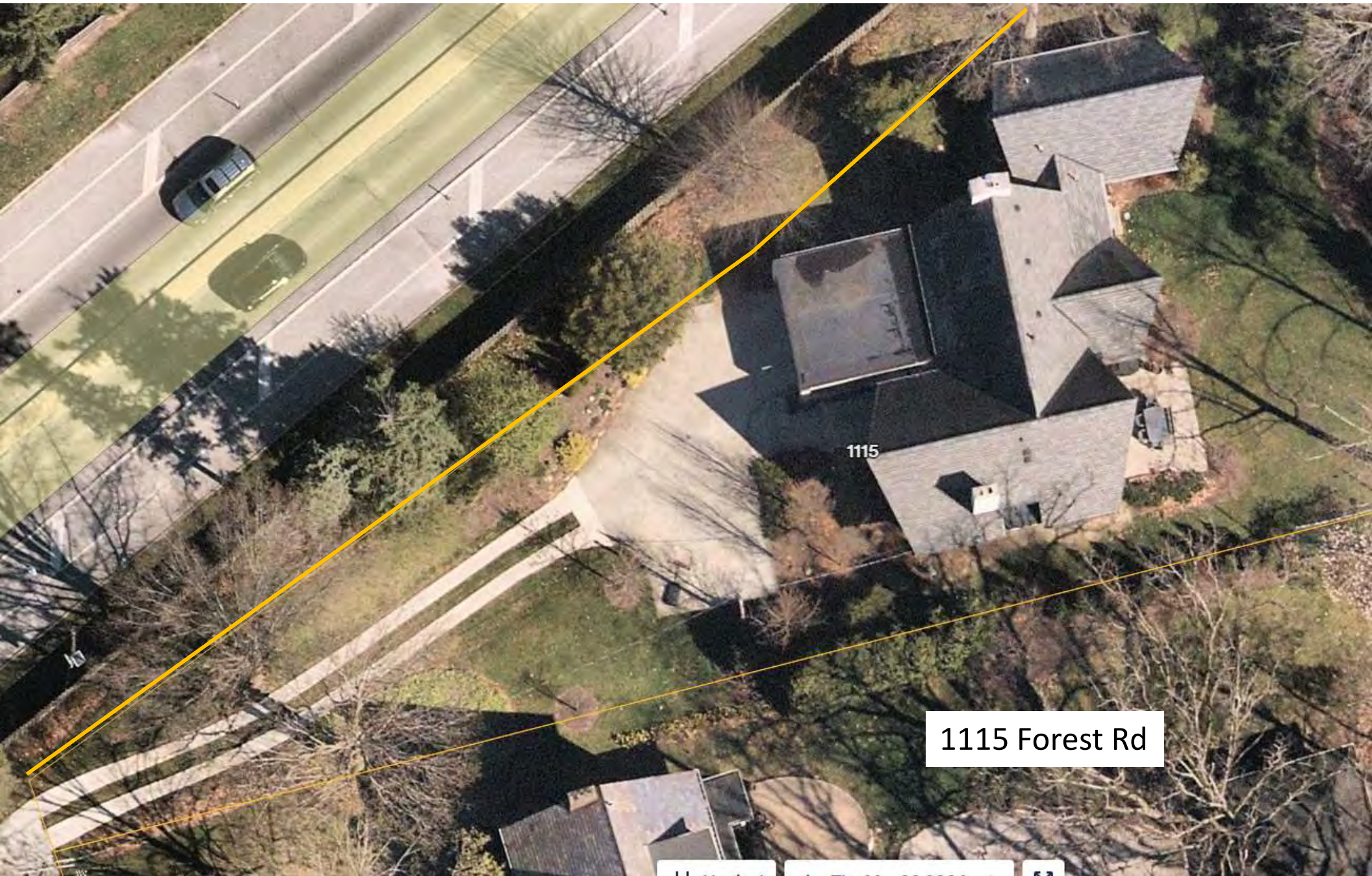




1109 Forest Rd



18136 Clifton Rd



1115 Forest Rd

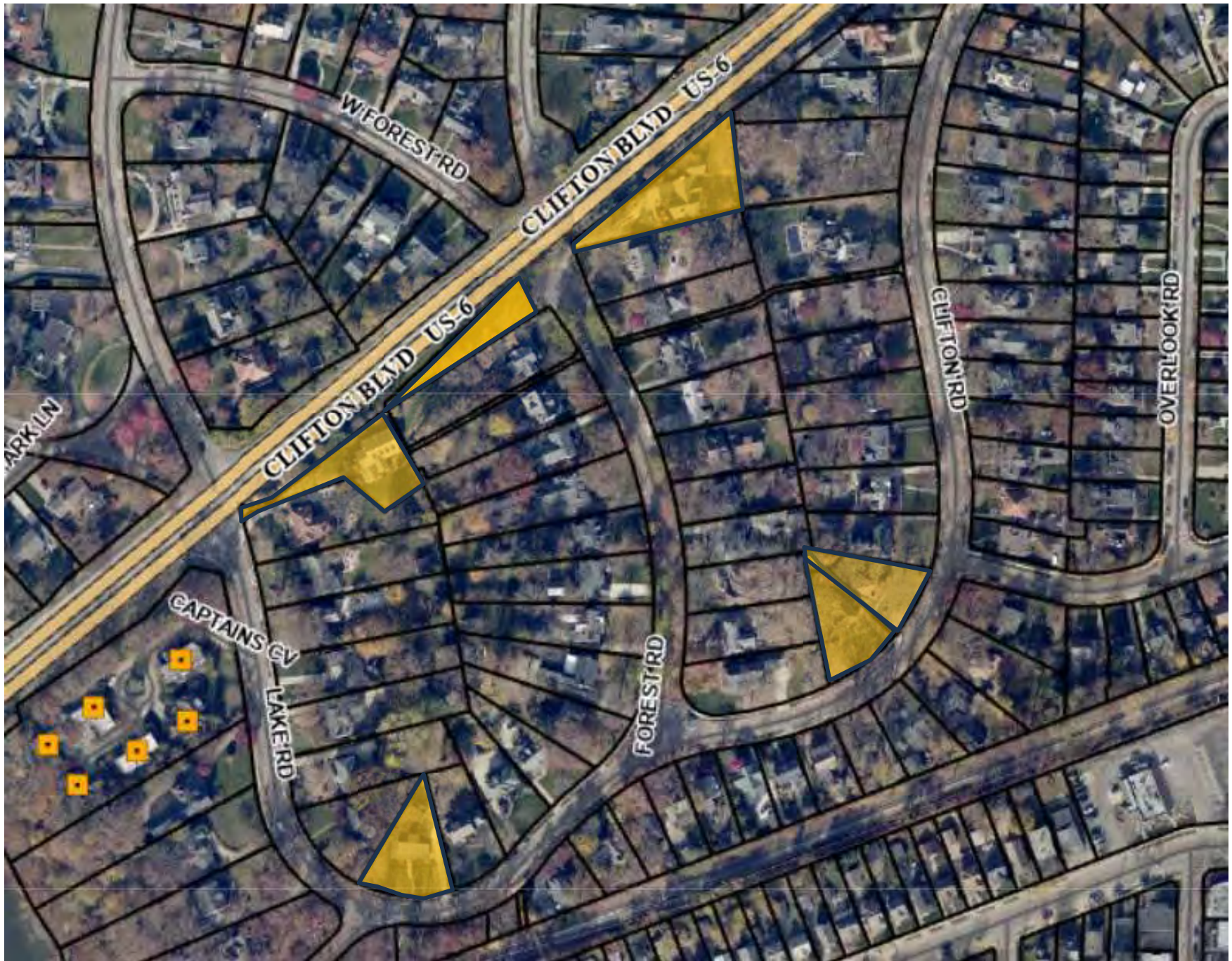




Photo of Site from Turn Around



1114 Forest Rd



Photo of Site West Corner





Photo looking South from Turn Around



1114 Forest Rd

Administrative Comments

- Site conditions exist that are unique to the property, and not generally applicable to other properties in the same zoning district, The property is a pie shape with 2 front yards, making it impossible to build a standard home without a variance request.
- There are a number of homes along Clifton with similar setbacks
- There are other similarly shaped lots in the district with homes built on them



Owner/agent responses- 1173.04 Variances

Applicant responses to the factors to be considered and weighed when determining whether an applicant will experience practical difficulty: in order to for a variance request to be approved, applicants must demonstrate how their request meets the Practical Difficulty Test based on the below factors. The Board of Zoning Appeals must consider and weigh each response on its merits.

Please review each of the below 9 points and respond "Not Applicable", "Yes" or "No". If your answer is "Yes" or "No", please provide a brief explanation.

(1) Whether there exist site conditions, such as narrowness, shallowness, or topography, unique to the property in question that are not applicable generally to other lands or structures in the same zoning district;

Yes. Existing site is current nonstandard site for the set zoning. Additionally, it falls adjacent to two setbacks from Clifton and Forrest that cover almost the entirety of the site.

(2) Whether the property in question is located near a non-conforming or non-harmonious use, structure, or site conditions, or whether the property in question abuts a less restrictive zoning district;

No

(3) Whether the property in question will yield a reasonable return or whether there can be any beneficial use of the property without the variance(s);

Without a variance there is not enough buildable land for a single family home. With variances as requested we hope to provide a home that can fit better in the neighborhood.

(4) Whether the variance(s) is substantial;

Yes. Existing setback from the north covers the entire width of the site.

(5) Whether the essential character of the neighborhood would be substantially altered or whether adjoining properties would suffer a substantial detriment as a result of the variance(s);

No. We feel that there are already unique site situations from Clifton Road. With a variance we feel it would allow us to provide a new home with improved characteristics the better fit the neighborhood.

(6) Whether the variance(s) would adversely affect the delivery of governmental services (e.g., water, sewer, refuse removal);

No

(7) Whether the property owner purchased the property with knowledge of the zoning restriction;

NA

(8) Whether the property owner's predicament feasibly can be obviated through some method other than a variance(s); and

NO

(9) Whether the spirit and intent of the Code would be observed and substantial justice done by granting the variance(s).

Yes. We feel that with these variances we would be able to provide a better design solution for the home.





Public Comment

- Received via phone-
- Received via email-
- Meeting attendee(s)



1114 Forest Rd

Docket No. 05-09-24
1114 Forest Rd.

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1114 Detroit Ave

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Signed 10/3/2023

Michael Straub

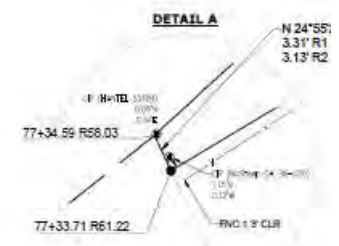
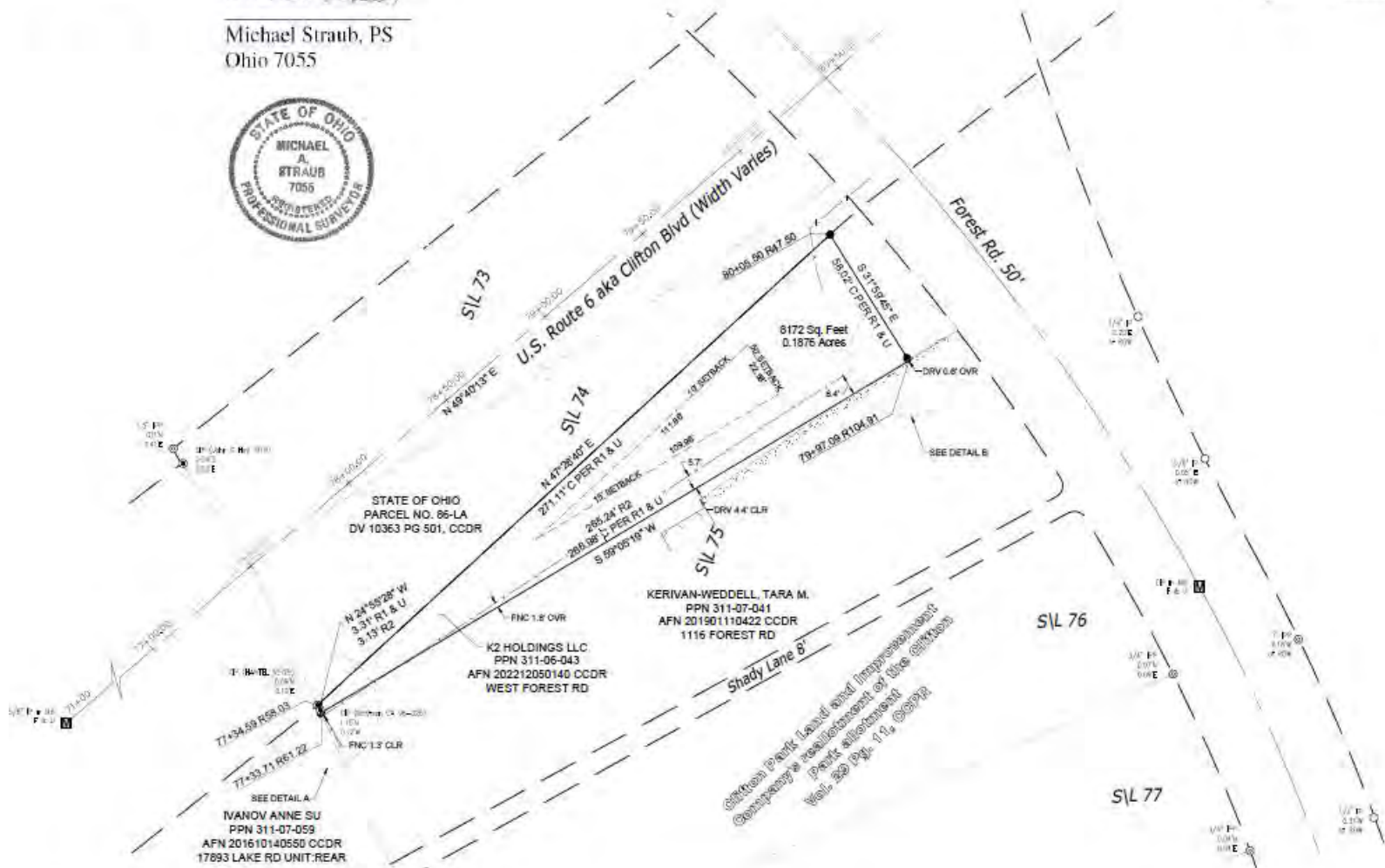
Michael Straub, PS
Ohio 7055



Known as part of Sublot No. 74
Clifton Park Land and Improvement Company's
reallotment of the Clifton Park allotment
of a part of
Original Rockport Township Sec. No. 23
County of Cuyahoga, State of Ohio
as shown in Plat Volume 29, Page 11
of Cuyahoga County Plat Records

Survey Legend

- M Measured
- F Found
- U Used
- R Record
- P Plat
- C Calculated
- MB Monument Box (MB)
- CIP Capped Iron Pin Found
- CIP Set Capped Iron Pin (CIP) Set
- IP Iron Pin (IP) Found as Described
- IPP Iron Pipe (IPP) Found as Described
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- ROW Right of Way (ROW) Line
- Record Property Line
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- Edge of Driveway
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References:
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1114 Forest Rd

**14414 Detroit Ave.
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14414 Detroit Ave

General Notes Continued

GN02. ALL DIMENSIONS SHALL BE FIELD CHECKED, SPECIFICALLY FOR THE SELECTION AND MANUFACTURE OF CASEWORK, WINDOWS, FLOOR FINISHES, ETC.

GN03. CONTRACTOR SHALL INSTALL ALL PRODUCTS AND FINISH MATERIALS PER MANUFACTURER'S INSTRUCTIONS. IF THE ARCHITECT'S DRAWINGS AND SPECIFICATIONS ARE DIFFERENT THAN THE MANUFACTURER'S THEN THE CONTRACTOR SHALL CONTACT THE ARCHITECT BEFORE PROCEEDING TO REVIEW THE METHOD OF INSTALLATION.

GN04. ALL GAPS OR PENETRATIONS IN RATED WALLS SHALL BE FIRE CALKED AND COMPLY WITH ALL REQUIREMENTS OF CBC SECTIONS 713.

GN05. CONTRACTOR TO PHOTOGRAPH MECHANICAL, ELECTRICAL, AND PLUMBING ROUGHING AND SEND COPIES TO ARCHITECT PRIOR TO INSTALLING FINISH MATERIALS.

GN06. ONE WEEK BEFORE COMPLETION OF JOB, CONTRACTOR SHALL ORGANIZE A WALK-THROUGH EXAMINATION OF THE PROJECT WITH THE ARCHITECT, OWNER AND CONTRACTOR. AT THIS MEETING, CONTRACTOR SHALL DEMONSTRATE USE OF ALL ITEMS (LOCKS, TOILETS, HVAC SYSTEM, LIGHTS, ETC.) INSTALLED, AND A COMPLETE PUNCH LIST WILL BE DEVELOPED BY THE ABOVE PARTIES.

GN07. FINAL PAYMENT WILL NOT BE APPROVED WITHOUT:
- ALL WARRANTIES/SHALLS/ INSTALLATION INSTRUCTIONS FOR ALL INSTALLED FIXTURES AND EQUIPMENT/APPLIANCES SUPPLIED TO OWNER.
- OWNER RECEIVED LEXI WAIVER FROM CONTRACTOR.

GN08. HANDRAILS AND GUARDS (PER CBC SEC. 1607.8) HANDRAIL ASSEMBLIES AND GUARDS SHALL BE DESIGNED TO RESIST A LOAD OF 50 PLF APPLIED IN ANY DIRECTION AT THE TOP AND TO TRANSFER THIS LOAD THROUGH THE SUPPORTS OF THE STRUCTURE. HANDRAIL ASSEMBLIES AND GUARDS SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 250 POUNDS APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP, AND HAVE ATTACHMENT DEVICES AND SUPPORTING STRUCTURES TO TRANSFER THIS LOAD TO APPROPRIATE STRUCTURAL ELEMENTS OF THE BUILDING.

GN09. GRAB BARS (PER CBC SEC. 1607.7) GRAB BARS SHALL BE DESIGNED TO RESIST A SINGLE CONCENTRATED LOAD OF 250 POUNDS APPLIED IN ANY DIRECTION AT ANY POINT.

GN10. ICC A117.1 COMPLIANT SIGNAGE NOTES:
LETTERS AND NUMERALS SHALL BE RAISED 1/32" UPPER CASE, SANS SERIF OR SIMPLE SERIF TYPE AND SHALL BE ACCOMPANIED WITH GRADE 3 BRAILLE. RAISED CHARACTERS SHALL BE AT LEAST 5/8" HIGH, BUT NO HIGHER THAN 2". PICTOGRAMS SHALL BE ACCOMPANIED BY THE EQUIVALENT VERBAL DESCRIPTION PLACED DIRECTLY BELOW THE PICTOGRAM. THE BORDER DIMENSIONS OF THE PICTOGRAM SHALL BE 6" MINIMUM IN HEIGHT.
THE CHARACTERS AND BACKGROUND OF SIGNS SHALL BE EGG-SHELL, MATTE, OR OTHER NON-GLARE FINISH. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND - EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND.

WHERE PERMANENT IDENTIFICATION IS PROVIDED FOR ROOMS AND SPACES, SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. WHERE THERE IS NO WALL SPACE TO THE LATCH SIDE OF THE DOOR, INCLUDING AT DOUBLE LEAF DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL. MOUNTING HEIGHT SHALL BE 60" ABOVE FINISH FLOOR TO THE BASELINE OF THE BRILLE AND THE BASELINE OF THE HIGHEST TACTILE CHARACTER. MOUNTING LOCATION FOR SIGN SIGNAGE SHALL BE SO THAT A PERSON MAY APPROACH WITHIN 2' OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR BY PROVIDING AN 18"x18" CLEAR FLOOR SPACE CENTERED ON THE SIGN, BEYOND THE SWING OF THE DOOR.

FACILITIES AND ELEMENTS REQUIRED TO BE IDENTIFIED AS ACCESSIBLE SHALL USE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY.

TACTILE SIGNS STATING "EXIT" SHALL BE PROVIDED ADJACENT TO EACH DOOR TO AN EGRESS STAIRWAY, AN EXIT PASSAGEWAY AND THE EXIT DISCHARGE.

GN01. FRAMING NOTES

1. DBL. 2X10 HEADERS @ ALL OPENINGS UNLESS NOTED OTHERWISE.
2. SOLID BLOCKING AND/ OR MASONRY @ ALL BEAM BEARING LOCATIONS.
3. DBL. ALL FL. JOISTS BELOW PARTITIONS.
4. STL. FLUTCH PL. REQUIRED @ ALL HEADERS W/ 12'-2" SPAN AND OVER.
5. ALL PASSAGEWAYS BETWEEN ROOMS SHALL BE CEASED OPENINGS UNLESS NOTED OTHERWISE.

GN02. COLD FORMED METAL FRAMING

- DESIGN OF METAL STUD FRAMING SHOWN IS BASED ON CFS TYPE 1 (SEI) FLANGE STUDS WITH DETRICH INDUSTRIES SECTION PROPERTIES AND ALLOWABLE RESISTANCE MOMENT CAPACITY. ALTERNATE MANUFACTURER'S FRAMING SIZE SHALL MEET THE MINIMUM SECTION PROPERTIES AND ALLOWABLE RESISTANCE MOMENT CAPACITY OF THE MEMBERS INDICATED ON THE DESIGN DRAWINGS. ADDITIONAL COSTS FOR AN INCREASE IN STUD SIZE OR GAUGE IS PROHIBITED.
- ALL COLD-FORMED FRAMING SHALL BE DESIGNED IN ACCORDANCE WITH AMERICAN IRON AND STEEL INSTITUTE COLD FORMED STEEL DESIGN MANUAL AS REFERENCED BY THE 2011 CBC.
- ALL FRAMING MEMBERS 18 GAUGE AND HEAVIER SHALL BE FORMED FROM STEEL WITH A MINIMUM YIELD STRENGTH OF 33 KSI.
- ALL FRAMING SHALL BE GALVANIZED.
- ALL CONNECTIONS SHALL BE SCREWED OR WELDED. POWER FASTENERS ARE NOT ACCEPTABLE FOR ANY STRUCTURAL APPLICATIONS.
- ALL WELDS SHALL BE TOUCHED UP WITH ZINC-RICH PAINT.

GN03. GENERAL ROOFING NOTES

- MINIMUM SLOPES SHALL BE 1/4" PER FOOT.
- ROOF EDGE AT CHIMNEYS AND INTERSECTING WALLS SHALL BE AT A CONSTANT HIGH POINT.
- PROVIDE POSITIVE DRAINAGE AWAY FROM ALL SKYLIGHTS, ROOF ELEVATION BREAKS, PARAPETS, WALLS, AND ANY ROOF PENETRATIONS. PROVIDE FLASHING AT THESE LOCATIONS.
- REVIEW ALL ROOF DRAINAGE SIZES AND LOCATIONS WITH ARCHITECT PRIOR TO COMMENCEMENT OF THE WORK.

GN04. MASONRY

- CONCRETE MASONRY UNITS ASTM C90, TYPE 1 WITH A MINIMUM COMPRESSIVE STRENGTH OF 1500 PSI, EACH UNIT, NET CROSS-SECTIONAL AREA.
- MORTAR ASTM C270, TYPE S WITH A MINIMUM COMPRESSIVE STRENGTH OF 1800 PSI IN 28 DAYS.
- GROUT FILL F'W/2500PSI @ 28 DAYS. PER GRAVEL TEMPORARILY BRACE ALL MASONRY WALLS TO PROVIDE STABILITY DURING CONSTRUCTION UNTIL THE DESIGNED STRUCTURE IS COMPLETE AND CAN STABILIZE THE WALLS.

GN05. GENERAL FINISH NOTES

- CEILING AND WALL FINISHES SHALL CONFORM TO CBC FLAMESPREAD AND SMOKE DEVELOPMENT INDEX + CLASS C.
- PROVIDE SAMPLES OF ALL FINISH MATERIALS TO BUILDING DEPARTMENT FOR REVIEW.
- GNSB. GLASS
- ALL GLASS SHALL BE THERMAL-PANE LOW-E ARGON FILLED AND SAFETY GLASS WHERE REQUIRED BY CODE.

GN07. DEMOLITION

IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCES TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS DURING ERECTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF WHATEVER TEMPORARY BRACING, GUTS, OR TRUSSING MAY BE NECESSARY. SUCH MATERIAL SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT.

THE CONTRACTOR SHALL SUPPORT, BRACE AND SECURE EXISTING STRUCTURE AS REQUIRED. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE SAFETY OF THE EXISTING BUILDING DURING CONSTRUCTION. FIELD VERIFY ALL EXISTING DIMENSIONS, ELEVATIONS AND CONDITIONS WHICH AFFECT THE NEW CONSTRUCTION.



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- Code Data
- Location Map
- General Notes
- T2 Site Plan
- General Notes Continued

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- A3 Second Floor Plans
- A4 Third Floor Plans
- A5 Roof Plan
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- A7 West Elevation
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- A9 Salon Tenant Elevations
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- A11 Basement Egress Plan
- A12 First Floor Egress Plan
- A13 Second Floor Egress Plan
- A14 Third Floor Egress Plan
- A15 Roof Egress Plan

E. Electrical Plans

H. HVAC Plans

P. Plumbing Plans

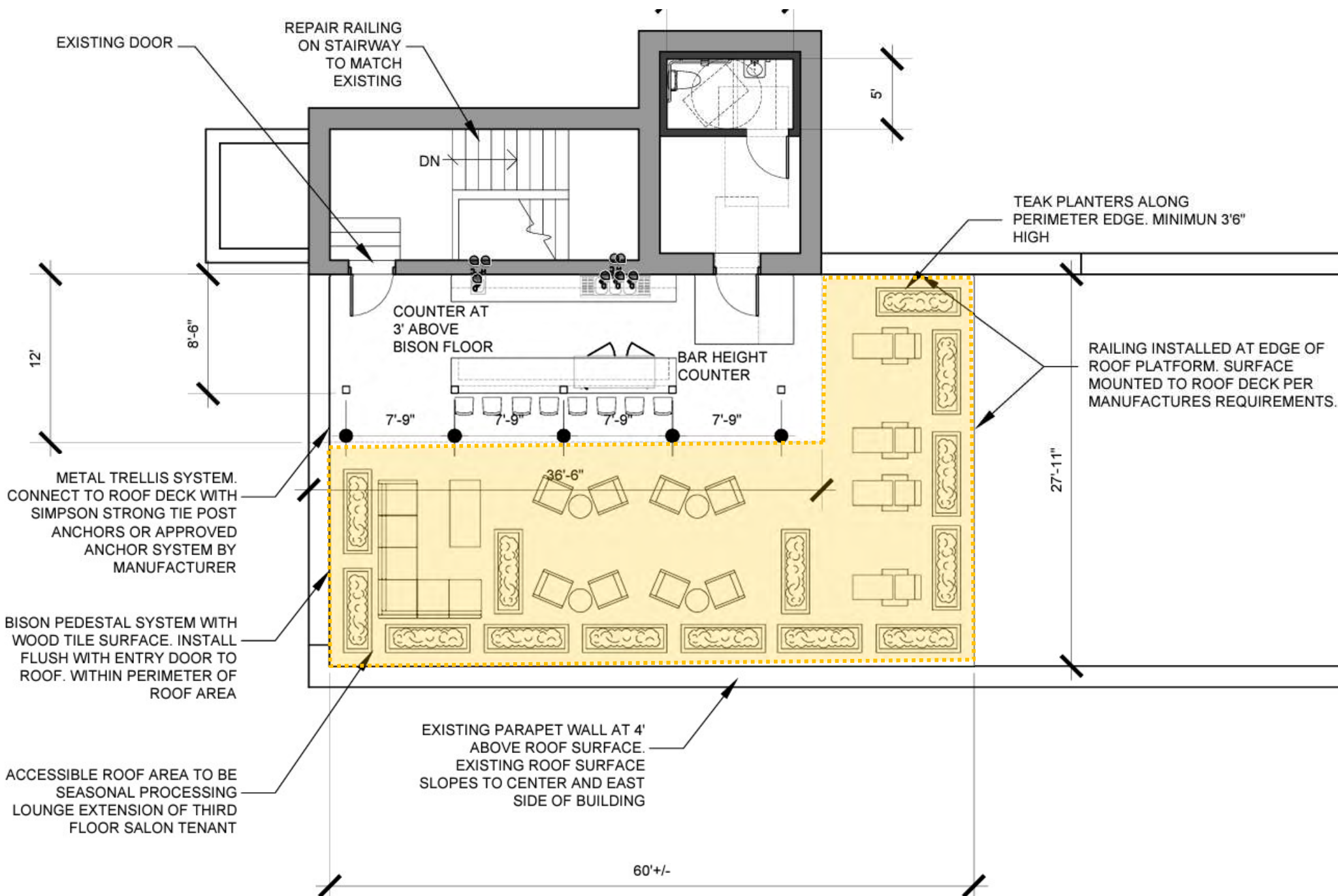


412.720.0424
DavidJManiet@gmail.com

Name | Project Address



14414 Detroit Ave



EXISTING DOOR

REPAIR RAILING ON STAIRWAY TO MATCH EXISTING

DN

5'

TEAK PLANTERS ALONG PERIMETER EDGE. MINIMUM 3'6" HIGH

COUNTER AT 3' ABOVE BISON FLOOR

BAR HEIGHT COUNTER

RAILING INSTALLED AT EDGE OF ROOF PLATFORM. SURFACE MOUNTED TO ROOF DECK PER MANUFACTURERS REQUIREMENTS.

12'

8'-6"

7'-9"

7'-9"

7'-9"

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27'-11"

METAL TRELLIS SYSTEM. CONNECT TO ROOF DECK WITH SIMPSON STRONG TIE POST ANCHORS OR APPROVED ANCHOR SYSTEM BY MANUFACTURER

BISON PEDESTAL SYSTEM WITH WOOD TILE SURFACE. INSTALL FLUSH WITH ENTRY DOOR TO ROOF. WITHIN PERIMETER OF ROOF AREA

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ACCESSIBLE ROOF AREA TO BE SEASONAL PROCESSING LOUNGE EXTENSION OF THIRD FLOOR SALON TENANT

EXISTING PARAPET WALL AT 4' ABOVE ROOF SURFACE. EXISTING ROOF SURFACE SLOPES TO CENTER AND EAST SIDE OF BUILDING

60' +/-

14414 Detroit Ave



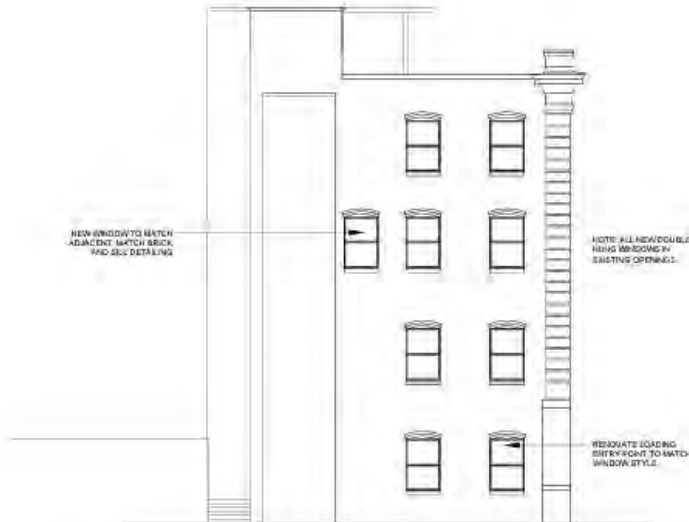
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Existing North Elevation
 $\frac{1}{8}'' = 1'-0''$



Existing South Elevation (Detroit)
 $\frac{1}{8}'' = 1'-0''$



MA
MANIET
 ARCHITECTS

412.720.0424
 David.J.Maniet@gmail.com

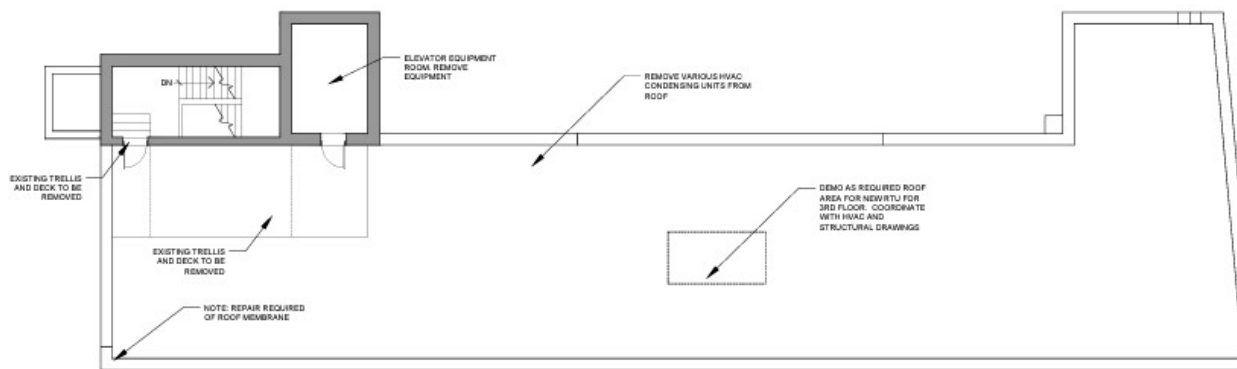
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The Marlowe Building
 14414 Detroit Avenue
 Lakewood, Ohio 44107

Issue For: _____
 Plans - Revision 1

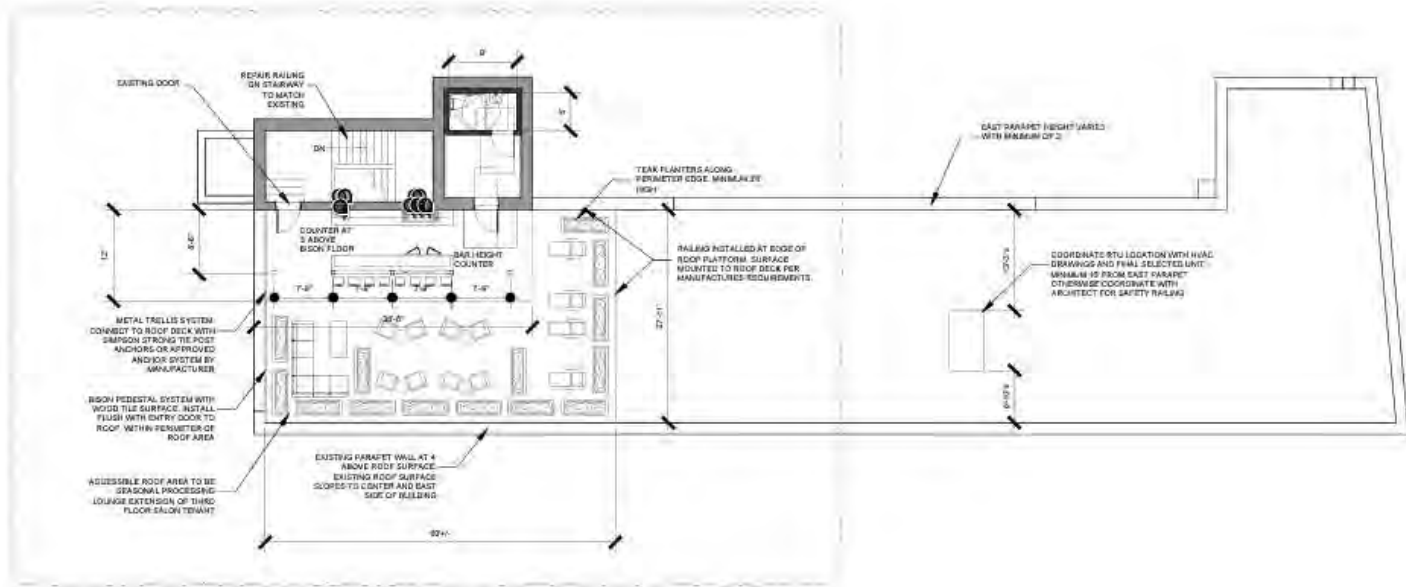
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14414 Detroit Ave



Existing Roof Floor Plan
3/4" = 1'-0"



Proposed Roof Floor Plan
3/4" = 1'-0"

T2 Site Plan
General Notes Continued

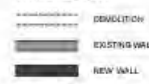
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WALL TYPES

- 1) EXISTING EXTERIOR MULTI-WYTHE BRICK MASONRY WITH PLASTER FINISH
- 2) EXISTING INTERIOR CMU PARTITION
- 3) EXISTING FRAMED PARTITION WALL
- 4) NEW 1/2" X 3/4" METAL STUD WALL WITH 5/8" TYPE X GYPSUM BOARD FINISH WITH ROCKWOOL SAFE-N-SONIC BATT INSULATION BETWEEN STUDS - U=14.0
- 5) NEW 1/2" X 1/2" METAL STUD WALL WITH 5/8" TYPE X GYPSUM BOARD FINISH WITH ROCKWOOL SAFE-N-SONIC BATT INSULATION BETWEEN STUDS

-USE GREEN BOARD GYPSUM IN BATHROOMS AND AT CIGARETTE AREA.
-ALL WALLS FROM FLOOR TO UNDERFACE OF CONCRETE SLAB AND BEAMS UNLESS OTHERWISE NOTED

WALL LEGEND



412.720.0424
DavidJManiet@gmail.com

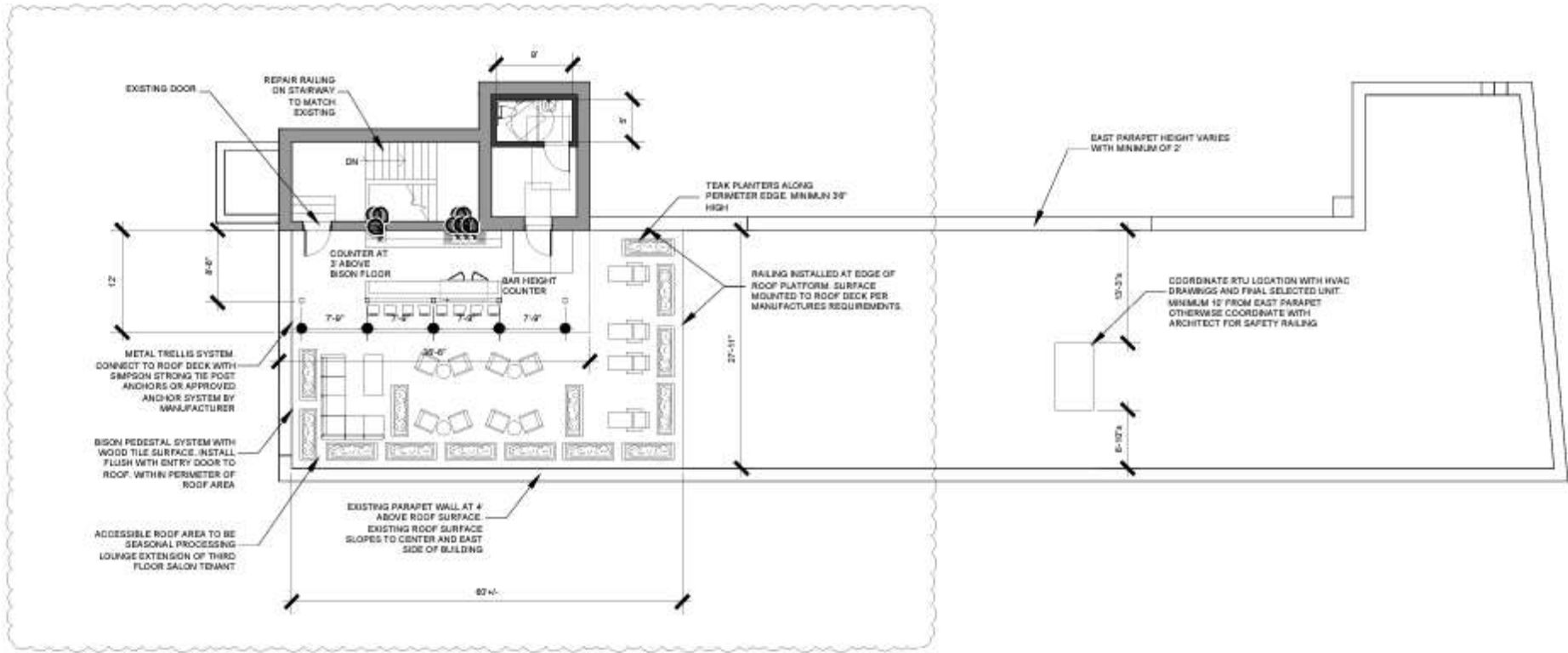
Name / Project Address
The Marlowe Building
14414 Detroit Avenue
Lakewood, Ohio 44107


Notes for Sheet - Section 1
Date: 4/11/2024
Drawn By: DJM

Sheet
A5



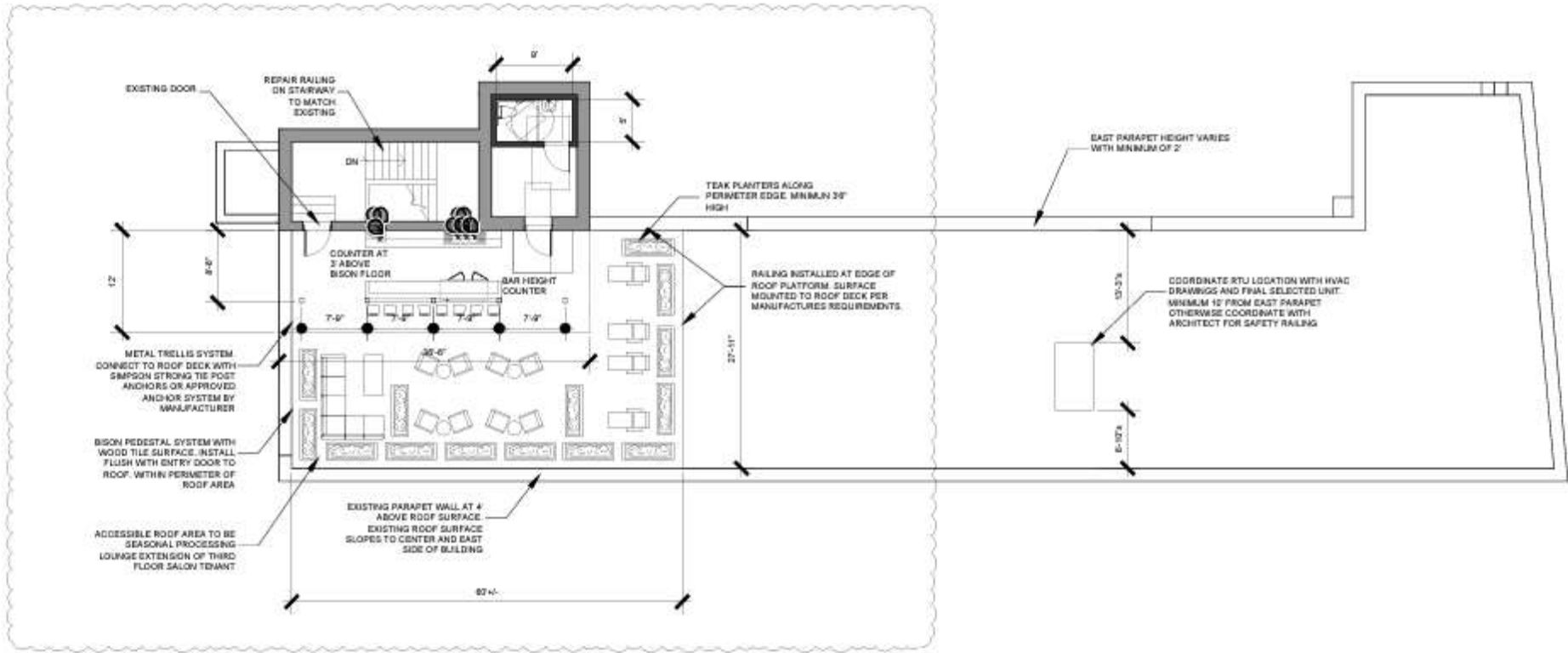
14414 Detroit Ave





Proposed Roof Floor Plan
 3/8" = 1'-0"



14414 Detroit Ave




Proposed Roof Floor Plan
 3/8" = 1'-0"



14414 Detroit Ave

- LISSAAN MAP
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Existing Marlowe Avenue Elevation
 $\frac{1}{8}'' = 1'-0''$



Proposed Marlowe Avenue Elevation
 $\frac{1}{8}'' = 1'-0''$



Name / Project Address:
The Marlowe Building
14414 Detroit Avenue
Lakewood, Ohio 44107

Issue for: Phase I - Revision 1	Sheet:
Date: 4/11/2024	A7
Drawn by:	



14414 Detroit Ave



14414 Detroit Ave



14414 Detroit Ave



14414 Detroit Ave



14414 Detroit Ave

Owner/agent responses- 1173.04 Variances

Please review each of the below 9 points and respond "Not Applicable", "Yes" or "No". If your answer is "Yes" or "No", please provide a brief explanation.

(1) Whether there exist site conditions, such as narrowness, shallowness, or topography, unique to the property in question that are not applicable generally to other lands or structures in the same zoning district;

Not applicable

(2) Whether the property in question is located near a non-conforming or non-harmonious use, structure, or site conditions, or whether the property in question abuts a less restrictive zoning district;

No

(3) Whether the property in question will yield a reasonable return or whether there can be any beneficial use of the property without the variance(s);

Yes

(4) Whether the variance(s) is substantial;

No

(5) Whether the essential character of the neighborhood would be substantially altered or whether adjoining properties would suffer a substantial detriment as a result of the variance(s);

No. The proposed roof deck area is minimal to comply with occupancy requirements and not want to cover the entire area. By minimizing the roof covering it help minimize the impact on a building that is contributing to the downtown historic district.

(6) Whether the variance(s) would adversely affect the delivery of governmental services (e.g., water, sewer, refuse removal);

No

(7) Whether the property owner purchased the property with knowledge of the zoning restriction;

NA

(8) Whether the property owner's predicament feasibly can be obviated through some method other than a variance(s); and

No

(9) Whether the spirit and intent of the Code would be observed and substantial justice done by granting the variance(s).

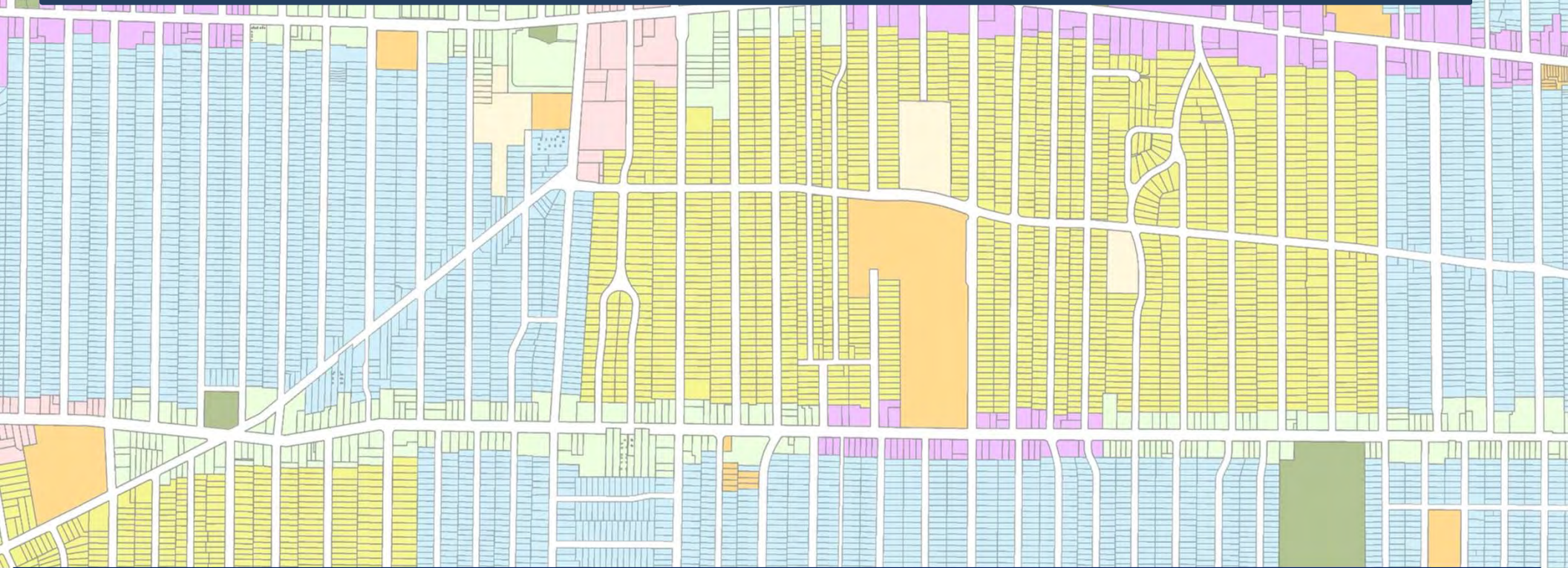
No



14414 Detroit Ave

Administrative Comments

- Proposal was approved at April 11, 2024 Architectural Board of Review meeting, contingent on BZA approval of variances.
- The board has granted similar requests, with no negative consequences being observed or reported.



14414 Detroit Ave



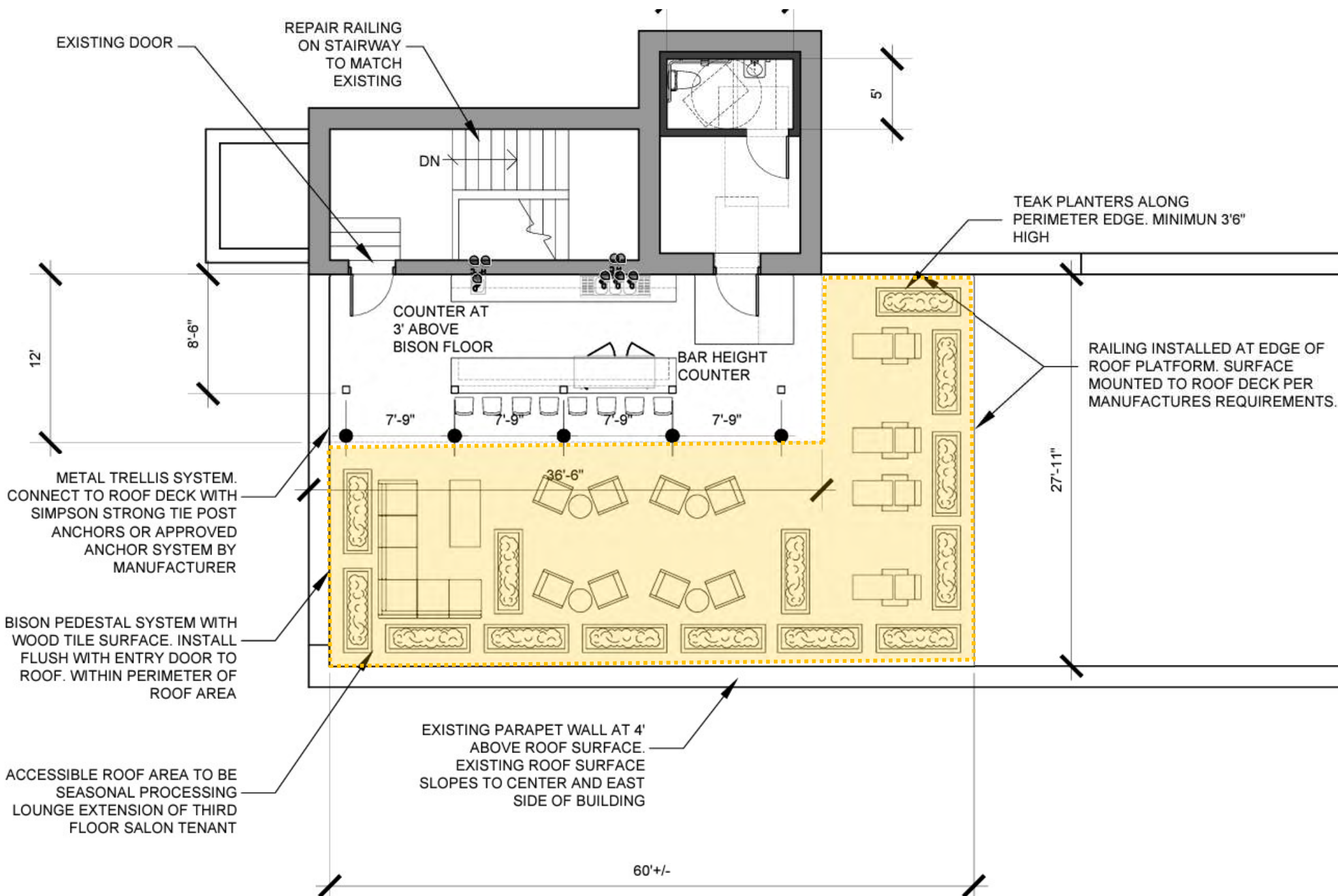
Public Comment

Received via email-

Meeting attendee(s)-



12534 Lake Ave



EXISTING DOOR

REPAIR RAILING ON STAIRWAY TO MATCH EXISTING

DN

5'

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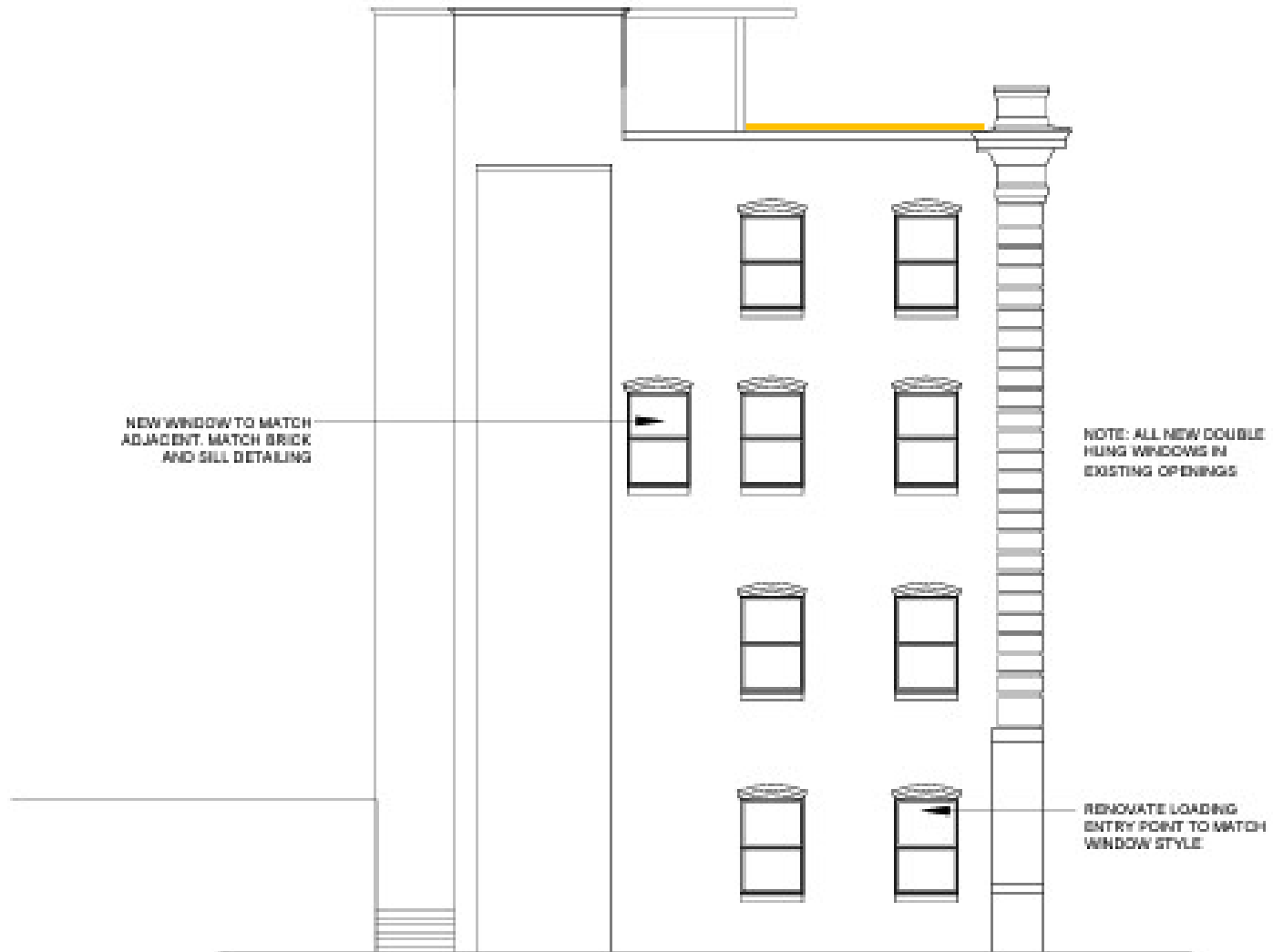
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EXISTING PARAPET WALL AT 4' ABOVE ROOF SURFACE. EXISTING ROOF SURFACE SLOPES TO CENTER AND EAST SIDE OF BUILDING

60'+/-



14414 Detroit Ave



NEW WINDOW TO MATCH
ADJACENT. MATCH BRICK
AND SILL DETAILING

NOTE: ALL NEW DOUBLE
HUNG WINDOWS IN
EXISTING OPENINGS

RENOVATE LOADING
ENTRY POINT TO MATCH
WINDOW STYLE

Proposed North Elevation

1/8" = 1'-0"



14414 Detroit Ave

**14414 Detroit Ave.
The Marlowe Building**

Applicant David Maniet of Maniet Architects proposes a partially covered rooftop deck. The project was approved by the Architectural Board of Review at its April 11, 2024, meeting. The property is located in the C2, Commercial Retail District. (Page 11)

- Variance 1: Proposed alterations to the existing structure include a rooftop patio, a portion of the proposed deck will be covered by a trellis and a portion will be uncovered. Request a variance for the unroofed portion of the patio which is approx. 867 square feet in area and at an elevation of 53 feet 9 inches. The maximum permitted area of an unroofed patio deck is 300 sq. feet and the maximum permitted height is 42 inches, request a variance of 567 feet in area and 50 feet in elevation, as proposed. Pursuant to section 1129.03 (Ord. 91-95. Passed 10-7-1996.) and 1127.03(d) (Ord. 24-98. Passed 5-18-1998.)



14414 Detroit Ave



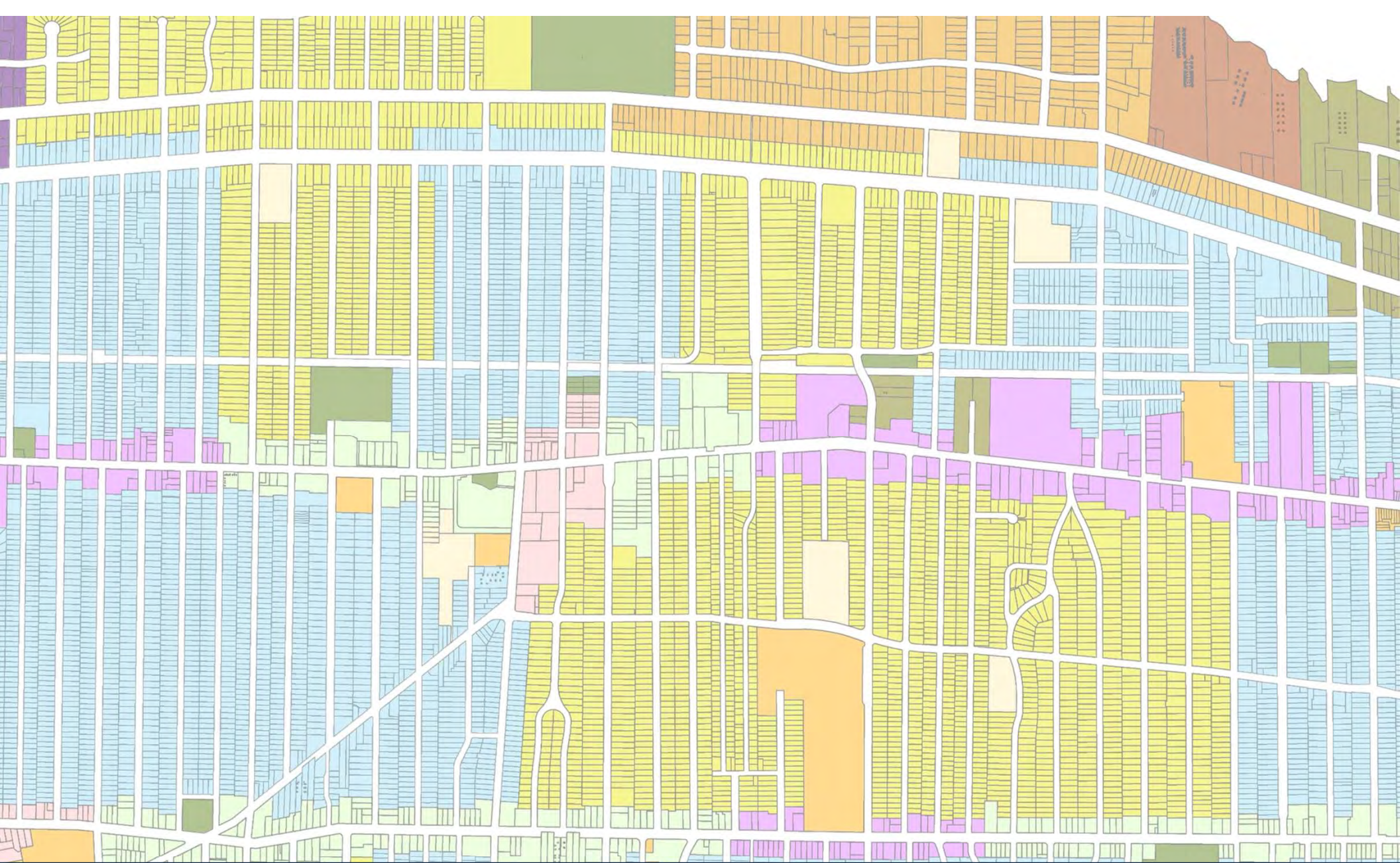
1114 Detroit Ave

A detailed zoning map of a city, showing various colored zones (yellow, blue, orange, green, purple) and street layouts. A large white rectangular box with a black border is centered over the map.

Adjourn



Board of Zoning Appeals



Board of Zoning Appeals

Administrative Comments

- Similar BZA Cases – Detached Garages (Mean Heights):
 - 02-15-24-(1062 Leedale)-Garage/golf simulator (15'11") lot size 4,600 square feet, initial request was 21' 6", applicant changed plans from a gable style roof to a mansard to reduce the request
 - **05-08-23 (1464 Riverside)-19' request-DENIED**
 - 04-06-23 (1077 Wilbert)- Garage request 19' 31/2 " deferred and then withdrawn
 - 02-02-23(2183 Eldred) Garage proposed at 17', deferred. Applicant returned with plans modified for a 16'4" proposal- approved.
 - 11-30-22(1466 Cohasset)-Garage/office changed plans to reduce the height to 15'. Variance granted to exceed rear lot coverage by 82 sq. ft no het variance required.
 - 03-06-21 (1527 Wayne) Garage proposed at 17', request withdrawn by the applicant
 - 06-16-21 17717 Hilliard Ave- Garage proposed at 17" ,request deferred, new proposal of 15'6" was approved.
 - 09-18-20 (18147 Clifton) – Garage/Art Studio (19.67') Lot size 17, 986 square feet, garage 125 ft from the public right of way.
 - 02-03-19 (1235 Summit) – Garage/Art Studio (16.5')

