



City of Lakewood City Council

Council At Large
Sarah Kepple, President
Thomas R. Bullock III
Angelina Hamilton Steiner

Ward Council
Kyle Baker, Ward 1, Vice President
Bryan Evans, Ward 2
Cindy Strebig, Ward 3
Matthew Bixenstine, Ward 4

Noticed 03/25/26

PUBLIC NOTICE – HOUSING, PLANNING, & DEVELOPMENT COMMITTEE

Housing, Planning, & Development Committee will meet Monday March 30, 2026 at 7:00 p.m. in the Auditorium at Lakewood City Hall, 12650 Detroit Ave. The meeting is open to the public.

The meeting will be livestreamed on the [City's website](#).

The agenda is as follows:

Approval of the minutes of the March 9, 2026 meeting of the Housing, Planning, & Development Committee.

Communication from Assistant Planning Director Baas regarding Zoning Refresh Standards Update - Development Standards. (*referred to HPD 2/2/26*)

Bryan Evans, Chair

HOUSING, PLANNING, & DEVELOPMENT COMMITTEE

PUBLIC COMMENT PROTOCOL

The public is invited to comment on agenda items by submitting a written comment in advance of the meeting using the [eComment platform](#). New users must create an eComment account. Committee Chairs may also accommodate in person public comment.

ADA PROTOCOL

Individuals with disabilities who require accommodations for participation in meetings must request accommodations at least 3 business days ahead of the scheduled meeting. Contact Michelle Nochta at (216) 529-5906 or michelle.nochta@lakewoodoh.gov.



PLANNING &
DEVELOPMENT
DEPARTMENT

12650 Detroit Avenue 44107 • (216) 529-6630 • FAX (216) 529-5907
www.onelakewood.com

January 27, 2025

City Council
City of Lakewood
12650 Detroit Avenue
Lakewood, Ohio 44107

RE: Lakewood Zoning Refresh Project (2024 – 2026) – UPDATE (Development Standards)

Dear Members of City Council,

Last month, the City's **Zoning Refresh Project** moved through another milestone with the completion of preliminary drafts of refreshed **Development Standards**. These draft standards were informed by the preliminary recommendations report and previous chapters, which, as reviewed during prior updates, represents the culmination of stakeholder engagement, the community survey, and existing conditions/conformity analysis work from our project consultant team at Houseal Lavigne.

Prior to this update, preliminary drafts of the following three documents were worked/reviewed by both the City Administration as well as the Zoning Policy Advisory Committee (ZPAC):

- General Development Standards
- Building Design Standards
- Parking and Access Standards
- Sign Standards

The intent of this communication is to provide these preliminary drafts to all members of Council with an opportunity for more detailed discussion in committee as we prepare to continue our work with:

- Subdivision Standards, Zoning Procedures, and Definitions.

As previously covered - all updated standards, procedures, and definitions will be worked through various steps of drafting, engagement, review, and refinement – before eventually being captured in draft legislation for Council consideration. For each step of the process - information and engagement opportunities will be published on the project website:

<https://lakewood-oh-zoning-hlplanning.hub.arcgis.com/>

Sincerely,

David Baas
Assistant Director, Planning & Development

Text marked in blue is under staff review

Text marked in pink should be discussed with ZPAC

Chapter 1104. General Development Standards

1104.01. Fence and Wall Standards..... 1
 1104.02. Screening 6
 1104.03. Vision Triangle 10
 1104.04. Outdoor Lighting 11
 1104.05. Buffer and Landscape Standards..... 18

1104.01. Fence and Wall Standards

A. General Provisions.

1. **Purpose.** The purpose of the fence and wall standards is to regulate the location, design, and maintenance of fences and walls to allow their use for safety, security, privacy, and screening while preserving Lakewood’s natural topography, maintaining visual harmony, and enhancing community appearance.
2. **Applicability.** The fence and wall standards established in this section shall apply as detailed in **Table #####.**

Table #####: Fence and Wall Standards Applicability Overview						
Key:		New Development	Major Redevelopment	Intermediate Redevelopment	Minor Redevelopment	Change of Use
● = Standards apply to entire development site						
○ = Standards apply to portion of site or building(s) impacted by development activity						
Blank = Standards do not apply						
Standard	Reference					
Location	#####	●	●	○	○	
Height	#####	●	●	○	○	
Materials	#####	●	●	○	○	
Opacity	#####	●	●	○	○	
Installation and Maintenance	#####	●	●	●	●	●

Text marked in blue is under staff review

Text marked in pink should be discussed with ZPAC

B. Location.

1. Fences and walls may be located anywhere within the following yards or along the following lot lines as detailed per district in **Table ####**. If a fence or wall is required by this Code for screening or buffering purposes, it shall be exempt from location restrictions.
2. Fences and walls may be located anywhere within or adjacent to property lines, except:
 - a. In a manner that inhibits the function or inspection of stormwater conveyance measures, or
 - b. Within the right-of-way, private stormwater easements, and/or any public easement, including but not limited to stormwater, drainage, utility, and tree easements unless written permission by the easement holder is received to place a fence or wall on or within the easement.
 - i. The City shall not be responsible for damage to, the repair of, or the replacement of fences or walls that must be removed to access such right-of-way or easements, if installed therein.
3. **Front Yard Fences Adjacent to a Public Right-of-Way.** A fence erected within a front yard and located parallel to a public right-of-way may be permitted, provided all of the following standards are met:
 - a. The fence shall not exceed three feet in height, measured from finished grade.
 - b. The fence shall not exceed 55 percent of the length of the foundation wall of the primary structure facing the public right-of-way.
 - c. The fence shall be located no more than eight feet from any portion of the primary structure, including porches.
 - d. The fence shall be set back a minimum of 10 feet from the public right-of-way line.
 - e. No gate or opening shall be permitted within the fence.
 - f. Any exceptions from the standards of this subsection shall require review and approval by the **Architectural Board of Review (ABR)**.

C. Height.

1. **Maximum Height.** The maximum heights of fences or walls shall be as detailed per district and yard / lot line in **Table ####**. If a fence or wall is required by this Code for screening or buffering purposes, it shall be exempt from height restrictions.

Text marked in blue is under staff review

Text marked in pink should be discussed with ZPAC

Table ####: Maximum Fence and Wall Height				
Yard / Lot Line	RS1, RS2, RS3, L	RM1, RM2	MD, C-1, C-2, C-3, M	I
Front	4 feet	4 feet	n/a	n/a
Street Side	4 feet [1]	4 feet	n/a	8 feet
Interior Side	6 feet	6 feet	6 feet	8 feet
Rear	6 feet	6 feet	6 feet	8 feet
Notes				
1] Maximum height of 6 feet allowed if fence/wall is set back a minimum of five feet from the street side lot line.				

2. Exceptions.

- a. Fences surrounding outdoor athletic courts, meeting the opacity standards of **Section ####**, may have a maximum height of eight feet; however, a greater height may be approved where required to meet nationally recognized athletic or safety standards, as determined by the **Planning Director**.



Example Diagram Only - Reference May Not Match Text

D. Materials. Allowed fence or wall materials shall be as detailed per district in Table ####.

Table ####: Allowed Fence and Wall Materials				
Material	RS1, RS2, RS3, L	RM1, RM2	MD, C-1, C-2, C-3	I
Masonry [1]	Allowed	Allowed	Allowed	Allowed
Stone	Allowed	Allowed	Allowed	Allowed
Decorative Metal	Allowed	Allowed	Allowed	Allowed

Text marked in blue is under staff review

Text marked in pink should be discussed with ZPAC

Table ####: Allowed Fence and Wall Materials				
<i>Material</i>	<i>RS1, RS2, RS3, L</i>	<i>RM1, RM2</i>	<i>MD, C-1, C-2, C-3</i>	<i>I</i>
Architectural Block	Allowed	Allowed	Allowed	Allowed
Stained or Painted Wood	Allowed	Allowed	Allowed	Allowed
Wood Composite	Allowed	Allowed	Allowed	Allowed
Vinyl / PVC	Allowed	Prohibited [3]	Prohibited [3]	Allowed
Coated Chain Link without Slats/Inserts	Allowed [2]	Prohibited [3]	Allowed [3]	Allowed
Coated Chain Link with Slats / Inserts	Prohibited	Prohibited	Prohibited	Allowed [4]
Barbed / Concertina Wire	Prohibited	Prohibited	Prohibited	Allowed [5]
Curved / Spear Tip	Prohibited	Prohibited	Prohibited	Allowed [5]
Above Ground Electrified	Prohibited	Prohibited	Prohibited	
Deer and Other Temporary Fence Material	Allowed [6]	Prohibited	Prohibited	Prohibited
Waste Materials	Prohibited	Prohibited	Prohibited	Prohibited
Notes				
[1] Masonry fences shall comply with the applicable provisions of the Building Code #### including requirements for footings and foundations, as set forth in Section ####.				
[2] Material is allowed in interior side and rear yards and along interior side and rear lot lines or surrounding outdoor athletic courts only.				
[3] Fences shall be installed only for temporary construction purposes and may be permitted administratively by the Planning Director.				
[4] Material is allowed in interior side and rear yards and along interior side and rear lot lines abutting another property in the same district only.				
[6] Material is allowed if located a minimum of six feet above ground.				
[6] Gardens may have a deer fence around the garden perimeter if the deer fence is located fully within the side and/or rear yard, the fence is set back a minimum of five feet from the property line, and the fence has a maximum height of six feet.				

E. Opacity.

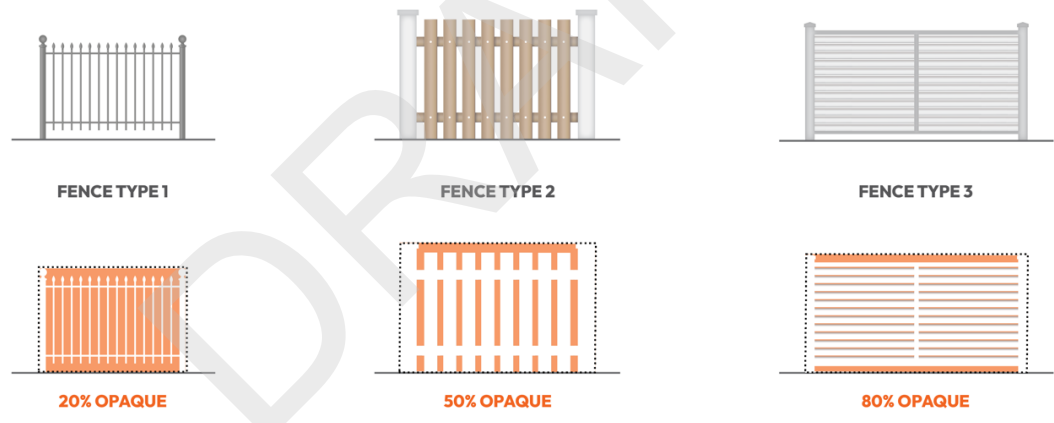
- 1. Maximum Opacity.** The maximum opacity of fences or walls shall be as detailed per district and yard / lot line in **Table 4.02.04**. If a fence or wall is required by this UDO for screening or buffering purposes, it shall be exempt from opacity restrictions.

Text marked in blue is under staff review
Text marked in pink should be discussed with ZPAC

Table ####: Maximum Fence and Wall Opacity				
Yard / Lot Line	RS1, RS2, RS3, L	RM1, RM2	MD, C-1, C-2, C-3	I
Front	50%	20%	n/a	n/a
Street Side	50% [1]	20%	n/a	100%
Interior Side	100%	100%	100%	100%
Rear	100%	100%	100%	100%
Notes				
[1] Maximum opacity of 100 percent allowed if fence/wall is setback a minimum of five feet from the street side lot line.				

2. Exceptions.

- a. Fences surrounding outdoor athletic courts, meeting the maximum height allowance of **Section ####**, shall have a maximum opacity of 20 percent.
- b. Fences or walls along a lot line directly abutting a principal arterial or higher classification roadway may be 100 percent opaque.



Example Diagram Only - Reference May Not Match Text

F. Installation and Maintenance.

- 1. Installation of any fence or wall, including replacement of an existing fence or wall, shall require a fence permit, in accordance with Section #### of the Building Code.
- 2. The finished side of a fence shall face the exterior of the property. The unfinished side, including posts, rails, braces, fasteners, and other structural or connecting elements, shall face the interior of the subject property.

Text marked in blue is under staff review

Text marked in pink should be discussed with ZPAC

3. Fences and walls shall be maintained in good repair, clean of visible mold and mildew, and in a safe condition.
4. Maintenance of fences and walls includes the replacement of missing, decayed, or broken elements and the repair of deteriorated or damaged materials, including sagging sections and posts that lean more than 10 degrees from vertical.
5. All repairs, partial replacements, or modifications to an existing fence or wall shall match the existing fence or wall in size, shape, material, and color.
6. Where a match cannot be achieved, the fence or wall shall be replaced in its entirety with a compliant fence or wall.

1104.02. Screening

A. Purpose and Applicability.

1. **Purpose.** The purpose of the screening regulations is to minimize views of waste receptacles, mechanical equipment, loading docks, and truck parking areas in order to improve the compatibility between uses and to enhance the appearance of the community.

2. **Applicability.** The screening standards established in this Section shall apply as detailed in **Table ####.**

Table 4.04.01 Screening Standards Applicability Overview						
Key:		New development	Major redevelopment	Intermediate redevelopment	Minor redevelopment	Change of use
● = Standards apply to entire development site ○ = Standards apply to portion of site or building(s) impacted by development activity Blank = Standards do not apply						
Standard	Reference					
Waste, Recycling, and Grease Disposal Receptacles [1]	####	●	●	○		
Ground- and Wall-Mounted Mechanical Units [2]	####	●	●	○ [1]		
Roof-Mounted Mechanical Units [1]	####	●	●	○		
Loading Docks and Truck Parking Areas [1]	####	●	●	○		
Notes						
[1] Standards shall apply to multi-unit dwellings, mixed use, and nonresidential development only.						
[2] Location standards shall apply to all development. All other standards shall apply to multi-family, mixed use, and nonresidential development only.						

Text marked in blue is under staff review

Text marked in pink should be discussed with ZPAC

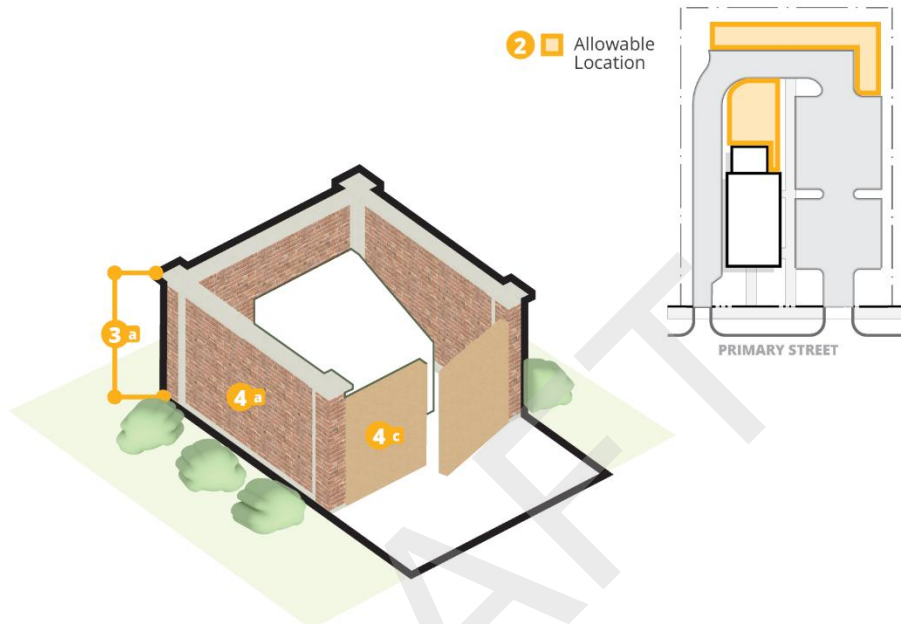
B. Grease Traps, Trash, and Recycling Receptacles. The following regulations shall apply to all nonresidential, mixed-use, and multi-family residential development:

1. Grease traps, trash, and recycling receptacles, including associated enclosures, shall not be located within any required front yard.
1. Grease traps, trash, and recycling receptacles shall be screened on three sides with a solid, opaque material with a minimum height of six feet and a maximum height of eight feet.
2. Materials used for screening shall complement the exterior building cladding materials of the primary building.
3. Materials and elevations for enclosures that are attached to buildings shall be designed to be integrated into the primary building.
4. If enclosures are to be attached to buildings, they shall comply with applicable fire and building codes.
5. Shrubs shall be installed every three feet along the exterior of the enclosure, with the exception of enclosure openings, to provide a softening effect.
6. Enclosure openings shall be gated with an opaque material.
7. Enclosure openings shall be kept closed at all times except for when the receptacle is being accessed.
8. Property owners shall be responsible for ensuring that grease traps, trash, and recycling receptacles are placed in the enclosure at all times other than when it is being accessed.
9. Access drives shall be constructed of materials and to a thickness which accommodates truck loading. Year-round access to the enclosure area for service trucks shall be maintained by the property owner or tenant.
10. Enclosures shall be of an adequate size to accommodate expected containers. The enclosure shall be designed to be expandable to accommodate future additional containers.
11. Enclosure structures shall be designed to protect the walls from damage by containers. Such protection may be provided by the use of barrier curbing, reinforced masonry walls, or other similar means.
12. Grease traps, trash, and recycling receptacle enclosures shall not occupy areas used for required parking spaces.

Text marked in blue is under staff review

Text marked in pink should be discussed with ZPAC

13. For multi-unit residential dwellings and commercial development, enclosure gates shall be operable and capable of being secured, and enclosures shall not be located within any required visibility triangle at driveways, sidewalks, or street intersections.

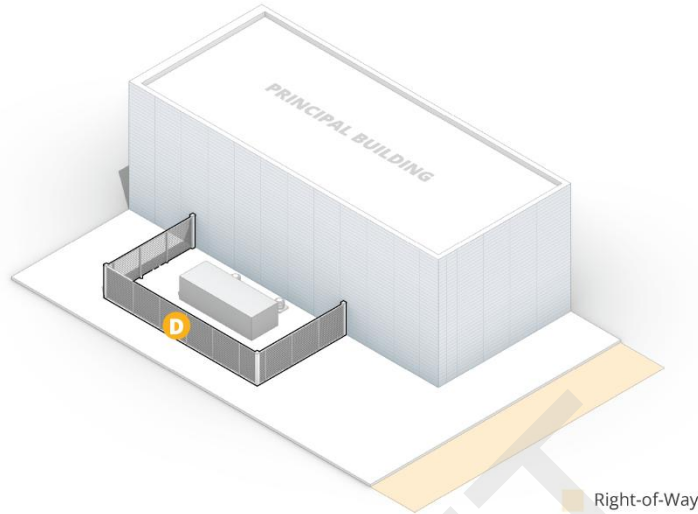


Example Diagram Only - Reference May Not Match Text

- C. **Ground- and Wall-Mounted Mechanical Units.** The following regulations shall apply to all ground- and wall-mounted mechanical units, including, but not limited to: generators, air-conditioning condensers, heat pumps, ventilation units, computer cooling equipment, and any related utility structures and equipment. Tanks and/or silos accessory to a brewery, winery, and/or distillery are exempt from these requirements.
1. Locating mechanical units within the primary building is strongly encouraged to minimize exterior visual impacts. Ground-mounted mechanical units are prohibited within the front yard, regardless of whether screening is provided.
 2. Ground- and wall-mounted mechanical units that are visible from any public right-of-way or adjacent residential property shall be screened from view.
 3. Materials used for screening shall be designed and established so that the area or element being screened is no more than 20 percent visible through the screen. Evergreen hedges or non-transparent walls such as stone masonry shall be allowed.
 4. Chain-link fences or slats in chain-link fences shall not be used to meet this requirement.

Text marked in blue is under staff review

Text marked in pink should be discussed with ZPAC



Example Diagram Only - Reference May Not Match Text

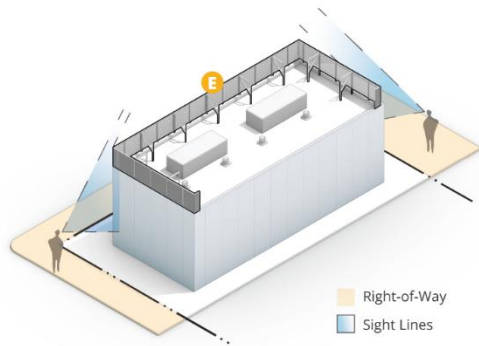
D. **Roof-Mounted Mechanical Units.** The following regulations shall apply to all roof-mounted mechanical units, including, but not limited to: air-conditioning condensers, heat pumps, ventilation units, computer cooling equipment, and any related utility structures and equipment which service multi-family residential, nonresidential, or mixed-use developments.

1. Locating mechanical units within the primary building is strongly encouraged to minimize exterior visual impacts.
2. Roof-mounted mechanical units that are visible from any public right-of-way or adjacent residential property shall be completely screened from view.
3. Materials used for screening shall be architecturally integrated with the building and shall be continuous and permanent.
4. screening shall be required when new roof-mounted mechanical equipment is installed. Routine maintenance or repair of existing equipment shall not trigger screening requirements.
5. Additional screening may be required due to topographic differences in the adjoining properties.

E. **Loading Docks and Truck-Parking Areas.** Loading docks and truck parking areas that are visible from any property in a residential district shall be completely screened from view with a **Type C buffer zone** as specified in **Table ####**.

Text marked in blue is under staff review

Text marked in pink should be discussed with ZPAC



1104.03. Vision Triangle

A. Purpose and Applicability.

1. **Purpose.** The purpose of the vision triangle regulations is to protect public safety by limiting development activity at intersections to minimize vision obstructions.
2. **Applicability.** The vision triangle regulations shall apply to all properties in the City of Lakewood.

B. Requirement.

1. No building, structure, landscape, or other obstruction greater than three feet in height shall be located in a vision triangle.
2. Structures may be located within the required vision triangle in **all zoning districts only where the Director of Public Works** and City Engineer determine that adequate safety precautions are provided.

C. Location. A vision triangle shall be established at:

1. The intersection of any driveway and a public right-of-way, including sidewalks located within the right-of-way; and
2. The intersection of two or more public rights-of-way or internal access drives, including intersections involving sidewalks and driveways.

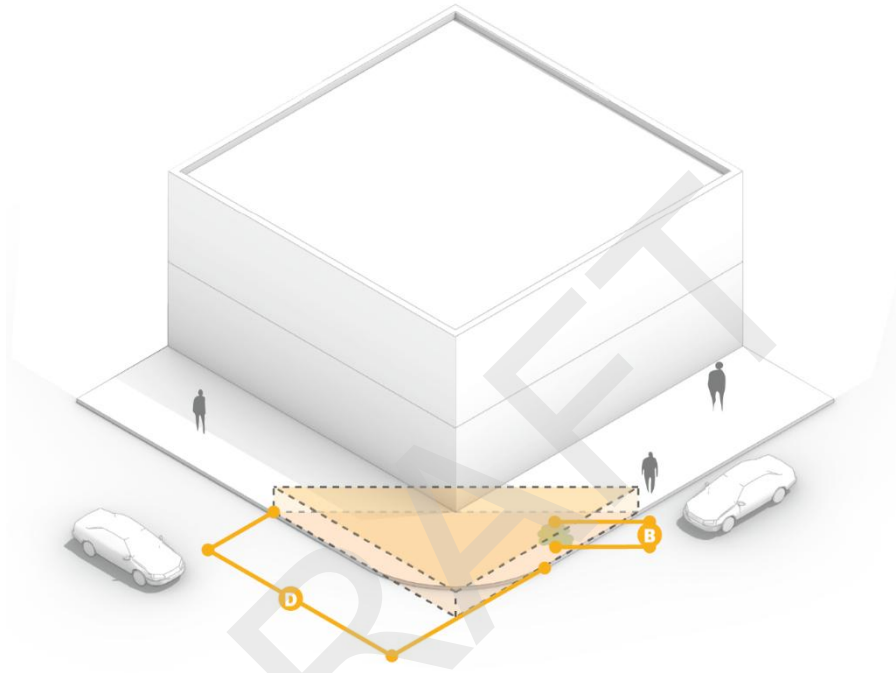
D. Minimum Size. A vision triangle shall be measured perpendicular to and starting at the back of curb of each intersecting right-of-way/internal access drive or driveway for the minimum depth established in **Table #####.**

Table #####: Minimum Vision Triangle Depth	
Intersecting Element	Minimum Required Depth
<i>Driveway</i>	10 feet
<i>Alley and Local Street Right-of-Way</i>	20 feet

Text marked in blue is under staff review

Text marked in pink should be discussed with ZPAC

<i>Collector and Arterial Street Right-of-Way</i>	40 feet
<i>State and Federal Highway Right-of-Way</i>	Per State or Federal standard
<i>Interior Access Drive</i>	10 feet



Example Diagram Only - Reference May Not Match Text

1104.04. Outdoor Lighting

A. Purpose and Applicability.

1. **Purpose.** The standards of this Section are designed to regulate the physical effects of lighting and minimize the negative impact that lighting may have on surrounding properties. It is the intent of this Section to:
 - a. Minimize light pollution, such as glare and light trespass,
 - b. Conserve energy and resources,
 - c. Maintain nighttime safety and utility,
 - d. Improve the nighttime visual environment.

Text marked in blue is under staff review

Text marked in pink should be discussed with ZPAC

2. Applicability.

Table #####: Outdoor Lighting Standards Applicability Overview						
Key:		New Development	Major Redevelopment	Intermediate Redevelopment	Minor Redevelopment	Change of Use
● = Standards apply to entire development site ○ = Standards apply to portion of site or building(s) impacted by development activity Blank = Standards do not apply						
Standard	Reference					
Prohibitions	#####	●	●	●	●	●
Exemptions	#####	●	●	●	●	●
LED Fixtures [1]	#####	●	●	○ [3]	○ [3]	○ [3]
Lighting Standards in Footcandles (Fc) [2]	#####	●	●	●	●	●
Fixture Classification [1]	#####	●	●	○ [3]	○ [3]	○ [3]
Pole and Fixture Design [1]	#####	●	●	○ [3]	○ [3]	○ [3]
Mounting Height [1]	#####	●	●	○ [3]	○ [3]	○ [3]
Specific Lighting Type Standards [1]	#####	●	●	○ [3]	○ [3]	○ [3]
Notes						
[1] Standards shall apply whenever new lighting is installed.						
[2] Perpetual compliance with standards is required.						
[3] Standards shall apply if property is adjacent to any residentially-developed parcel or residentially-zoned parcel only.						

B. Prohibitions. The following lighting types shall be prohibited within the City:

1. The use of laser source light or any similar high intensity light for outdoor advertising or entertainment,
2. The operation of searchlights for advertising purposes,
3. Site lighting that may be confused with warning, emergency, or traffic signals,
4. Lights that flash, move, revolve, rotate, scintillate, blink, flicker, vary in intensity or color, or use intermittent electrical pulsation, and
5. Colored light-emitting diode (LED) rope lighting that outlines windows, doors, or other architectural features.

C. Exemptions. The following exemptions shall be granted from the requirements of this Chapter:

1. Streetlights and other fixtures installed or temporarily used for public roadway illumination meeting all City standards,

Text marked in blue is under staff review

Text marked in pink should be discussed with ZPAC

2. All temporary emergency lighting needed by the Police or Fire Departments or other emergency services, as well as all vehicular luminaires,
 3. All hazard warning luminaires required by Federal regulatory agencies, except that all luminaires used must be red and must be shown to be as close as possible to the federally required minimum lumen output or color temperature for the specific task,
 4. Lighting associated with holiday, festival, or other temporary uses permitted in **Chapter ####**,
 5. Lighting of fountains or public art that has been permitted or otherwise approved by the City,
 6. Other Municipal or State lighting installed for the benefit of public health, safety, and welfare.
- D. **LED Fixtures.** All outdoor lighting utilizing an LED fixture shall meet the following standards:
1. **Color Rendering.** Outdoor LED fixtures shall be rated at a minimum Color Rendering Index (CRI) value of 70 or higher.
 2. **Color Temperature.**
 - a. Outdoor LED fixtures shall have a correlated color temperature between 2,700- and 3,000-degrees Kelvin.
 - b. Decorative and pedestrian-scale lighting may be less than 2,700 degrees Kelvin.
 - c. Outdoor LED fixtures with a correlated color temperature outside the range specified in **subsection (a)** above shall require **review and approval by the Architectural Board of Review (ABR)**.
 - d. Outdoor recreational lighting is exempt from color temperature requirements.
- E. **Lighting Standards in Footcandles (Fc).** Lighting levels shall adhere to the standards in **Table ####**, unless otherwise approved as an Administrative Adjustment (**Section ####**) in circumstances where there is a shared access drive or similar type and intensity of use.

Text marked in blue is under staff review

Text marked in pink should be discussed with ZPAC

Table 4.07.02 Lighting Standards in Footcandles						
Location	Measurement	Zoning of Adjacent Property				
		RS1, RS2, RS3, L	RM1, RM2	MD, C-1, C-2, M	C-3	I
Property Line [1]	maximum point of illuminance at the property line	0.1 Fc	0.3 Fc	0.8 Fc	1 Fc	1 Fc
Location	Measurement	Zoning of Subject Property				
		RS1, RS2, RS3, L	RM1, RM2	MD, C-1, C-2, M	C-3	I
Display / Canopy Areas	maximum point of illuminance at grade	8 Fc	12 Fc	15 Fc	15 Fc	15 Fc
Parking Lots [2]	minimum point of horizontal illuminance	1 Fc	1 Fc	2 Fc	2 Fc	2 Fc
	average point of horizontal illuminance	4 Fc	4 Fc	6 Fc	6 Fc	6 Fc
Pedestrian Walkways	minimum point of illuminance at grade	n/a	0.2 Fc	0.2 Fc	0.2 Fc	0.2 Fc
Building Entrances	minimum point of illuminance at grade	n/a	2 Fc	2 Fc	3 Fc	3 Fc
All Other On-Site Outdoor Lighting	maximum point of illuminance at grade	4 Fc	4 Fc	6 Fc	6 Fc	6 Fc
Notes						
[1] If a building is located 10 feet or less from the property line and uses only wall packs, light trespass may be greater than one foot-candle as long as the wall packs are fully shielded to direct light downward, have a light output of 1,600 lumens or lower, a correlated color temperature of 2,700 degrees Kelvin, and the light source (lamp) is not visible from off-site.						
[2] In all districts the maximum uniformity ratio shall be 4:1 on average. Minimum lighting in parking lots shall not apply to driveways serving neighborhood residential uses.						

F. Fixture Classification.

1. All outdoor lighting fixtures shall be LED luminaires. An Administrative Adjustment (Section ####) may be approved for another equally or more energy efficient fixture.
2. All outdoor lighting fixtures shall either have a fixture cutoff classification of “Full Cutoff” or be fully shielded, unless otherwise expressly permitted in this Ordinance.

3. Fully-shielded fixtures shall be directional fixtures (such as flood lights) and may be used provided they are aimed away from any residentially-developed parcel or residentially-zoned parcel.

G. Pole and Fixture Design.

1. Light poles and fixtures shall be of a matte or low-gloss finish, unless an Administrative Adjustment (Section #####) is approved for a special color scheme or theme.
2. The concrete pier utilized to mount a pole light shall be fully buried.

H. Mounting Height.

1. The maximum mounting height of all outdoor lighting with a 90 or less degree cut-off fixture shall be 30 feet.
2. The maximum mounting height of all outdoor lighting without a full 90 degree or less cut-off fixture shall be 16 feet.

I. Specific Lighting Type Standards.

1. Façade Lighting.

- a. Floodlights, spotlights, or similar lighting used to illuminate buildings or site features for nonresidential, mixed-use, and multi-unit dwellings shall not be permitted unless approved through an Administrative Adjustment (Section #####) as an integral architectural element.
- b. On-site lighting may be used to accent architectural elements but not used to illuminate entire building(s).
- c. Where accent lighting is used, the maximum illumination on any vertical surface or angular roof surface shall not exceed 5.0 average maintained footcandles.
- d. Building facade and accent lighting shall include light fixtures that are selected, located, aimed, and shielded so that light is directed only onto the intended target and spillover light is minimized.
- e. Lighting may be installed under canopies that light the sidewalk, or downlights onto the architectural features of a building.
- f. Wall packs on buildings may be used at entrances/exits where additional illumination is needed for visibility and safety and shall:
 - I. Be low profile and project from the wall a maximum of six inches,
 - II. Be consistent or complementary in color with the color of the building materials,
 - III. Be fully shielded to direct the light downward,

Text marked in blue is under staff review

Text marked in pink should be discussed with ZPAC

- IV. Have a light output of 1,600 lumens or lower, and
 - V. Shield the light source so it is not visible from offsite.
2. **Landscape Lighting.** Landscape and decorative lighting with a light output of eight hundred (800) lumens or less per fixture is permitted, provided the lighting is installed, aimed, and spaced to avoid excessive brightness, prevent light from spilling onto adjacent properties, and shield the light source from view from the public right-of-way.
 3. **Outdoor Recreational Lighting.** Ball fields, basketball courts, tennis courts, outdoor performance areas, and similar recreational uses are exempt from otherwise applicable outdoor lighting standards and shall instead adhere to the requirements below.
 - a. Outdoor recreational lighting shall not exceed a maximum permitted post height of 80 feet. The **Planning Director** may approve a lower maximum pole height where the specific recreational use does not require the full height.
 - b. Lights shall be shielded and positioned so as not to shine onto adjacent roadways or properties.
 4. **Parking Lot Lighting.** Backlight Uplight Glare (BUG) ratings are a published luminaire classification system to comprehensively address light pollution from all directions. Lighting fixtures in parking lots shall not exceed the BUG rating established per district in **Table ####**.

Table ####: BUG Rating per District

Zoning District	Backlight (B) Rating	Uplight (U) Rating	Glare (G) Rating
RS1, RS2, RS3, L	B2	U1	G1
RM1, RM2	B2	U2	G2
MD, C-1, C-2, M	B3	U2	G2
C-3, I	B4	U3	G3

5. **Parking Structure Lighting.**
 - a. Parking structures shall meet the lighting requirements established in **Table ####**. All areas of a parking structure shall have a horizontal uniformity ratio of 10:1.

Table ####: Parking Structure Lighting

Day / Night	Minimum Horizontal Illuminance [1]	Minimum Vertical Illuminance
Pedestrian Entrance Areas		
Day	50 Fc [2]	25 Fc
Night	1 Fc	0.5 Fc
Vehicle Entrance Areas		

Table ####: Parking Structure Lighting		
<i>Day / Night</i>	<i>Minimum Horizontal Illuminance [1]</i>	<i>Minimum Vertical Illuminance</i>
Day	2 Fc [2]	1 Fc
Night	1 Fc	0.5 Fc
Parking Areas and Drive Aisles		
Day	1 Fc	0.5 Fc
Night	1 Fc	0.5 Fc
Stairways		
Day	2 Fc	1 Fc
Night	2 Fc	1 Fc
Notes		
[1] Daylight may be considered in the design calculation.		
[2] A high illuminance level is required for the first 65 feet inside the structure to ensure a safe transition from bright daylight to a lower internal level.		

- b. Top levels of parking structures that are open to the sky shall:
 - I. Not exceed minimum horizontal illuminance of 0.5 Fc,
 - II. Not exceed horizontal illuminance maximum to minimum uniformity ratio of 15:1,
 - III. Not exceed minimum vertical illuminance of 0.25 Fc, and
 - IV. Provide full cutoff fixtures mounted no higher than 22 feet.

6. Security Lighting.

- a. Unshielded floodlights and spotlights, installed for security and activated by motion sensor, are allowed if mounted and aimed in a manner that minimizes up-lighting and light trespass.
- b. All floodlights and spotlights shall be installed such that the fixture shall be aimed down at least 45 degrees from vertical unless emitting 1,000 or more lumens, in which case the fixture shall be aimed at least 60 degrees down from vertical or shielded such that the light source is not visible from adjacent properties or the public street right-of-way.
- c. If located within 50 feet of a public right-of-way, floodlights and spotlights shall be mounted and aimed perpendicular to the right-of-way, with a side-to-side horizontal aiming tolerance not to exceed 15 degrees from perpendicular to the right-of-way.

- 7. **Vehicular Canopy Lighting.** Lighting under vehicular canopies shall be either recessed or flush with the bottom surface of the vehicular canopy.

Text marked in blue is under staff review

Text marked in pink should be discussed with ZPAC

1104.05. Buffer and Landscape Standards

A. Purpose and Applicability.

1. **Purpose.** The purpose of required buffer and landscape standards shall be as detailed per area in subsection B below.
2. **Applicability.** The buffer and landscape standards established in this Section shall apply as detailed in Table #####.

Table ##### Buffer and Landscape Standards Applicability Overview						
Key:		New development	Major redevelopment	Intermediate redevelopment	Minor redevelopment	Change of use
● = Standards apply to entire development site ○ = Standards apply to portion of site or building(s) impacted by development activity Blank = Standards do not apply						
Standard	Reference					
Buffer Area Design	#####	●	●	●	○	●
Building Foundation Landscape Area Design	#####	●	●	●		
Parking Lot Perimeter Landscape Area Design	#####	●	●	○ [2]	○ [2]	○ [2]
Parking Lot Interior Landscape Area Design	#####	●	●	○ [2]	○ [2]	○ [2]
Installation and Maintenance [1]	#####	●	●	●	●	●
Notes						
[1] Perpetual compliance with standards is required.						
[2] Standards shall apply when new parking lots are constructed or existing parking lots are expanded only.						

B. Establishment of Required Buffer and Landscape Areas.

1. **Buffer Area.**
 - a. **Purpose.** The purpose of the buffer area is to protect neighborhood residential land use areas from higher density residential areas and nonresidential areas to ensure privacy and the peaceful enjoyment of Lakewood neighborhoods.
 - b. **Location.** Buffer landscape shall be located on the subject property along the interior side and/or rear property line adjacent to any residentially-developed parcel or residentially-zoned parcel.

Text marked in blue is under staff review

Text marked in pink should be discussed with ZPAC

2. Building Foundation Landscape Area.

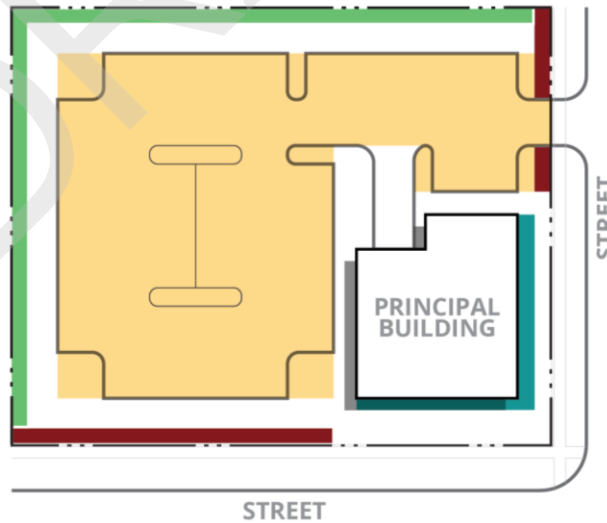
- a. **Purpose.** The purpose of the building foundation landscape area is to provide a softening effect and improve the appearance of multi-unit dwellings, mixed-use, and nonresidential buildings, with the exception of those in the I District, as viewed from the public right-of-way.
- b. **Location.** Building foundation landscape shall be located at the base of front and street side yard-facing building facades.

3. Parking Lot Perimeter Landscape Area.

- a. **Purpose.** The purpose of the parking lot perimeter landscape area is to screen vehicle bumpers and headlights from the public right-of-way, while maintaining views from the public right-of-way into parking lots for safety purposes.
- b. **Location.** Parking lot perimeter landscape shall be located between parking lots and public rights-of-way.

4. Parking Lot Interior Landscape Area.

- a. **Purpose.** The purpose of the parking lot interior landscape area is to improve on-site stormwater management, combat urban heat island effects, and provide shade within parking lots.



- Building Foundation Landscape Area
- Parking Lot Perimeter Landscape Area
- Parking Lot Interior Landscape Area
- Transition Landscape Area

Example Diagram Only - Reference May Not Match Text

- b. **Location.** Parking lot interior landscape shall be located within off-street, surface vehicle parking lots.

C. Establishment of Landscape Elements.

1. Specification and Planting Standards.

- a. Unless otherwise stated in this Section, all size specifications for plant materials shall be based upon the time of planting.
- b. When caliper is specified for tree planting, the caliper of the tree trunk shall be measured at four and one-half feet from the ground.
- c. When measuring the diameter of existing trees, the measurement shall be taken four and one-half feet from the ground.
- d. Plants identified as an invasive species by the **Ohio Department of Natural Resources Invasive Species List** as published are prohibited.
- e. Unless otherwise stated per landscape area requirements, all planting bed areas not utilized for required landscape elements shall be covered with groundcover or organic mulch three inches deep.

2. Plant Species Diversity Requirements.

All developments shall comply with the following plant species diversity requirements, unless otherwise approved as an Administrative Adjustment (**Section #####**) for vegetated stormwater management area purposes.

- a. For parcels less than one-half acre, a minimum of 50 percent of the plant material shall be drought-tolerant native species.
- b. For parcels greater than one-half acre and less than five acres, a minimum of 60 percent of the plant material on a parcel shall be drought-tolerant native species. Total plant material, excluding turf and other groundcover, shall not be comprised of more than 30 percent of any single species or 50 percent of any genus.
- c. For parcels greater than five acres, a minimum of 75 percent of the plant material on a parcel shall be drought-tolerant native species. Total landscape elements, excluding turf and other groundcover, shall not be comprised of more than 20 percent of any single species or 25 percent of any genus.

3. Planting Type, Size, and Dimensional Requirements.

- a. **Planting Types and Sizes.** Landscape elements required per landscape area shall include those established **Table #####** and shall meet all minimum planting size requirements.

Table ##### Planting Type and Size Requirements		
Planting Type	Description	Planting Size
Canopy Trees	Deciduous trees with single central axis which typically reach a minimum 40-foot mature height and a minimum 15-foot mature spread	1.5 inch caliper
Understory Trees	Deciduous trees with multiple stems which typically reach a minimum 15-foot mature height	1 inch caliper
Evergreen Trees	Trees having foliage that persists and remains green throughout the year which typically reach a minimum 20-foot mature height	6 feet in height
Shrubs	Deciduous or evergreen plants of low to medium height characterized by multiple stems continuous from its base	1 gallon pot
Native Grasses	Grasses that are native or adapted to the State of Ohio, not including noxious weeds	1 gallon pot
Groundcover	Herbaceous plants or prostrate shrubs which typically reach a maximum height of 18 inches at maturity, not including turf grass	n/a

- b. **Planting Dimensions.** All trees shall be planted in a location or structure providing the minimum soil volume and planting area dimensions per tree as established in Table ####. Multiple trees may be planted in a contiguous landscaped area with a minimum of 150 square feet of surface area per canopy tree, 100 square feet of surface area per understory or evergreen tree, and with a total soil volume meeting the standards of Table ####.

Table ####: Minimum Tree Planting Soil Volume				
Expected Tree Height at Maturity	Minimum Planting Soil Volume		Planting Area Dimensions at 3 ft depth	
	Cubic Feet	Cubic Yards	Length (ft)	Width (ft)
Less than 25 ft	400	14.8	11.5	11.5
25 ft to 40 ft	800	29.6	16.3	16.3
Greater than 40 ft	1,200	44.4	20	20

- c. **Administrative Adjustment.** An Administrative Adjustment may be approved in the event a specific type of tree is determined by the City Forester to be inappropriate for a site; or in the event the applicant demonstrates conclusively to the satisfaction of the City Forester that sufficient soil volume cannot be feasibly provided on the site, for required trees to be replaced with a minimum substitution of two large deciduous or evergreen shrubs for every one tree not provided.

D. Buffer Area Design.

1. Buffer Type Establishment.

- a. **Type A.** The intent of the Type A buffer is to create a semi-opaque buffer, having only seasonal horizontal openings, not to exceed 50 percent of the total width, from the ground to a height of six feet within two years of planting.
- b. **Type B.** The intent of the Type B buffer is to create a semi-opaque buffer, having only seasonal horizontal openings, not to exceed 25 percent of the total width, from the ground to a height of six feet within two years of planting.
- c. **Type C.** The intent of the Type C buffer is to create a completely opaque buffer, having no horizontal openings from the ground to a height of six feet within two years of planting.

2. **Buffer Type Requirement.** The required buffer type shall be determined based on the land use of the subject lot as detailed in Table ####.

Table ####: Buffer Type Requirement	
Subject Lot Land Use Category	Required Buffer Type
Multi-Unit Residential	A
Public and Institutional	A
Commercial	B
Automotive and Industrial	C

3. **Buffer Type Standards.** Three buffer types are established in recognition of the different contexts that may exist, as detailed in Table ####. An Administrative Adjustment (Section ####) to credit preserved trees for canopy trees and/or understory/evergreen trees required by Table #### may be approved if the intent of the buffer type is met.

Table ####: Buffer Type Standards				
Specification		Type A	Type B	Type C
a.	Minimum Width [1]	10 feet	20 feet	40 feet
b.	Minimum Fence/Wall Height [2]	optional	6 feet	6 feet
Minimum Number of Landscape Elements per 100 Linear Feet				
c.	Canopy Tree	3	6	12
d.	Understory/Evergreen Tree	3	6	12
e.	Shrubs/Native Grasses	15	30	60
Notes				
[1] Required building setbacks may be utilized for buffer requirements.				
[2] Fences/walls shall meet the standards of Section ####.				

4. Administrative Adjustment.

- a. An Administrative Adjustment (Section ####) may be approved for the minimum number of required trees in Table #### if a bioswale is planted. Design and plant selection shall be reviewed for performance as stormwater green infrastructure.
- b. An Administrative Adjustment (Section ####) may be approved to replace the fence/wall requirement in Table #### if a berm, with a minimum height of six feet as measured from the toe of the berm and a maximum slope of 3:1, is provided.

E. Building Foundation Landscape Area Design.

1. **Width.** A building foundation landscape area shall have a minimum width of four feet.

2. **Design.**

- a. Landscape elements planted in a building foundation landscape area shall be installed along a minimum percentage of the front and/or street side facing façade, as detailed per district in Table #### below.

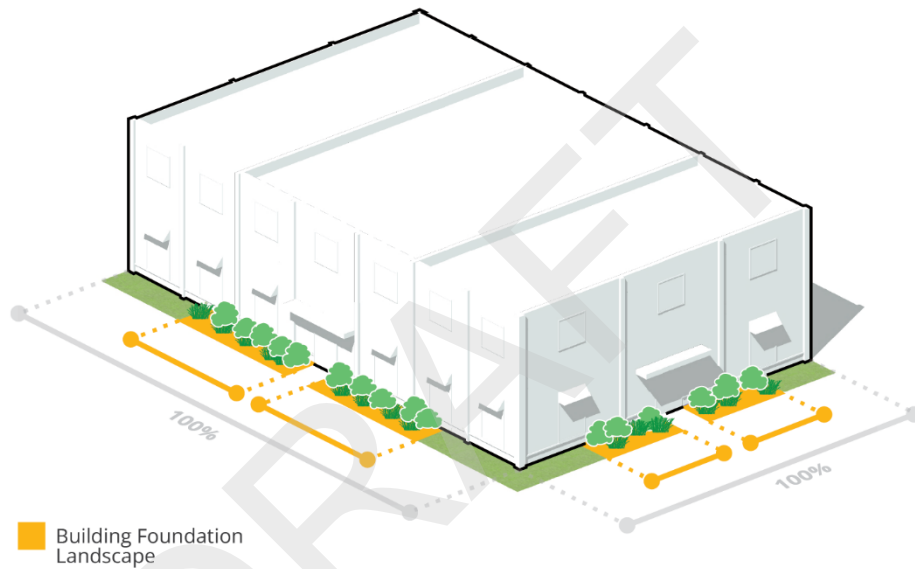
Table ####: Required Building Foundation Landscape Element Coverage	
Districts	Minimum Required Planting (% of Façade Length)
RS1, RS2, RS3	n/a
RM1, RM2	80% [1]
MD, C-1, C-2, M	80% [2]
C-3	60%
I	30% [3]
Notes	
[1] In RM1 and RM2 districts, where the ground floor includes structured or enclosed parking, the required building foundation landscape area shall be measured along the building façade above the parking level.	
[2] Buildings with a 0-5-foot building setback are exempt from this requirement.	
[3] The Planning Director may approve a reduction or waiver of this requirement for uses in the I district where compliance is impracticable due to operational needs or health/ federal regulations requiring vegetation to be set back from building foundations.	

- b. Landscape elements planted in a building foundation landscape area shall be designed to enhance architectural features and visually soften long expanses of walls.

Text marked in blue is under staff review

Text marked in pink should be discussed with ZPAC

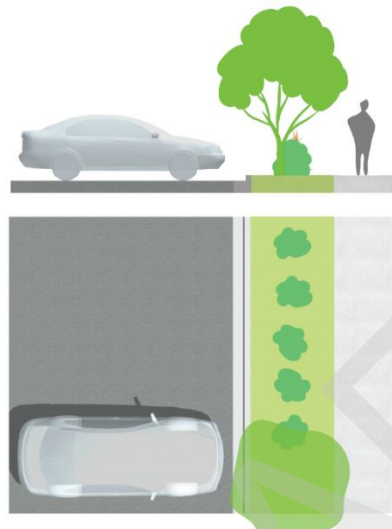
- c. Landscape elements planted in a building foundation landscape area may include trees, shrubs, native grasses, and groundcover. Trees and shrubs may shade or screen but shall not obstruct windows.
3. **Administrative Adjustment.** An Administrative Adjustment (Section ####) may be approved where the area between the building and right-of-way is entirely paved for pedestrian use. In this case canopy trees shall be provided in lieu of foundation landscaping at a quantity of one tree per 50 linear feet of building façade. The canopy trees shall be planted in tree pits with grates, providing a minimum structural soil volume of 600 cubic feet of structural soil per tree pit.



Example Diagram Only - Reference May Not Match Text

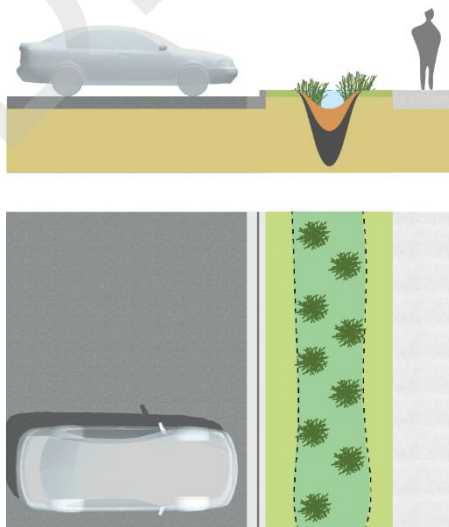
F. Parking Lot Perimeter Landscape Area Design.

- 1. **Width.** A parking lot perimeter landscape area shall have a minimum width of seven feet.
- 2. **Traditional Design Option.** One shrub or native grasses, the height of which shall not be less than three feet nor greater than five feet, shall be planted for every three feet of landscape area length.



Example Diagram Only - Reference May Not Match Text

- 3. **Rain Garden Design Option.** If a rain garden is provided, it may be credited towards required stormwater management.



Example Diagram Only - Reference May Not Match Text

- a. A curb shall be utilized to separate the parking lot perimeter landscape from the parking lot.
 - b. One curb cut or inlet structure shall be located in the curb line every 40 feet of parking lot perimeter landscape length.
 - c. A vegetated ponding area with a minimum width of five feet and a minimum depth of 18 inches below the surface of the parking lot shall be provided and shall meet the following standards:
 - i. **Top Layer.** The top layer of the vegetated ponding area shall be planted with native flowers, grasses, and shrubs, and have a four-inch-thick layer of hardwood mulch.
 - ii. **Middle Layer.** The middle layer of the vegetated ponding area shall consist of a 24-inch layer of highly-permeable mixture of engineered soil including sand and compost.
 - iii. **Bottom Layer.** The bottom layer of the vegetated ponding area shall consist of 36 inches of gravel.
 - iv. **Underdrain.** An underdrain, consisting of a perforated pipe running along the bottom of the vegetated ponding area at the top of the bottom layer and connecting to an adjacent sewer inlet, shall be provided at the discretion of the **City Engineer**.
 - d. A perimeter with a minimum width of two feet shall be provided on either side of the vegetated ponding area which shall be planted in native, living groundcover, not including turf grass.
4. **Administrative Adjustment.** An Administrative Adjustment (**Section #####**) may be approved to increase the spacing of required perimeter landscape elements in a traditional parking lot from three feet to ten 10 feet when a low masonry wall or fence, not exceeding three feet in height, is provided for screening. Landscaping shall be placed between the sidewalk and the wall or fence.

G. Parking Lot Interior Landscape Area Design.

1. Requirements by Parking Lot Size.

- a. The parking lot interior landscape area standards of **subsection 2** below shall apply to parking lots with **20 or more** parking spaces.
- b. Parking lots with **fewer than 20** parking spaces shall include parking stall bay end caps (**Section #####**) at the end of each parking stall bay.

2. **Requirements by Parking Lot Location.** The amount of required parking lot interior landscape shall be determined by the location of the off-street parking lot as detailed below.

a. **Off-Street Parking Lots in Front or Street Side Yards in C-1, C-2, C-3, M, and I Districts.**

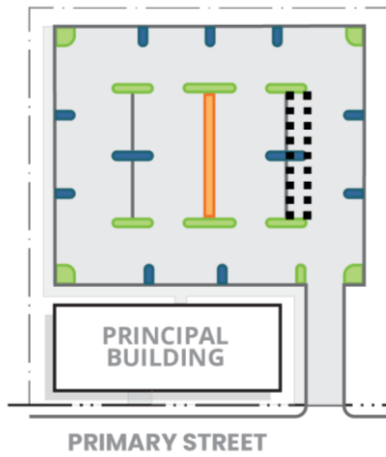
- i. **Parking Stall Bay End Caps.** A parking stall bay end cap shall be located at the end of any bay of parking bordered by a drive aisle, public or private street, pedestrian walkway, or internal access drive in **Section #####**.
- ii. **Parking Lot Medians.** Parking area medians shall be placed between every third parking stall bay.
- iii. **Parking Lot Islands.** Parking area islands shall be located on parking stall bays which are not required to have parking lot medians. Parking area islands shall be spaced not more than **20** continuous spaces apart.





b. **Off-Street Parking Lots in Interior Side Yards in all the Districts.**

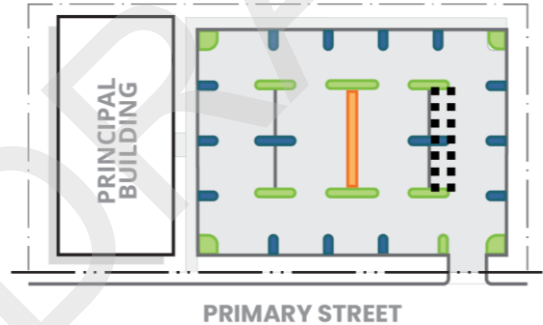
- i. **Parking Stall Bay End Caps.** A parking stall bay end cap shall be located at the end of any parking stall bay bordered by a drive aisle, public or private street, pedestrian walkway, or internal access drive in **Section #####**.
- ii. **Parking Lot Medians or Parking Lot Islands.** The developer may choose to install either parking lot medians or parking lot islands, in compliance with the requirements location and spacing of **subsection 2.a** above.

Text marked in blue is under staff review

Text marked in pink should be discussed with ZPAC



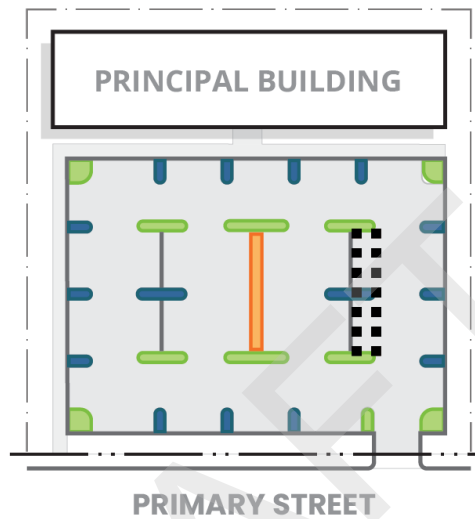
-  Parking Area End Cap
-  Parking Area Median
-  Parking Area Island
-  Parking Row



Example Diagram Only - Reference May Not Match Text

c. **Off-Street Parking Lots in Rear Yards** in all the Districts.

- i. **Parking Stall Bay End Caps.** A parking stall bay end cap shall be located at the end of any bay of parking bordered by a drive aisle, public or private street, pedestrian walkway, or internal access drive in Section #####.



- Parking Area End Cap
- Parking Area Median
- Parking Area Island
- Parking Row

Example Diagram Only - Reference May Not Match Text

3. **General Design Standards.**

- a. Unless otherwise specified, all parking lot interior landscape area elements shall have a minimum soil depth of 36 inches.
- b. All parking lot interior landscape area elements shall be protected with concrete curbing or other suitable barriers approved by the Planning Director, and shall be properly drained or irrigated as appropriate to the site conditions to ensure survivability of plant materials or proper stormwater management function.

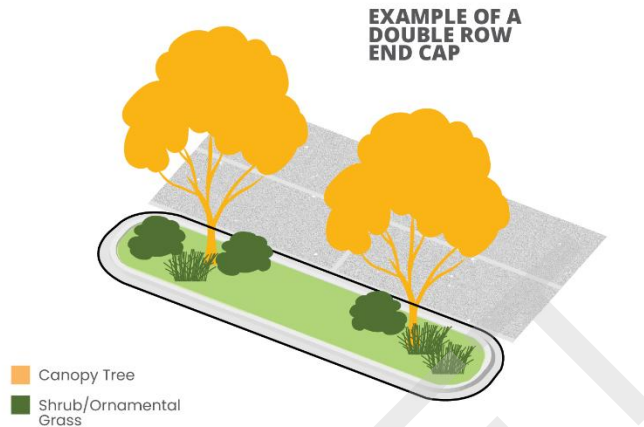
4. **Parking Stall Bay End Cap Design Standards.**

- a. **Size.** Parking area end caps shall be a minimum of nine feet wide by 18 feet long. Double rows of parking shall provide parking stall bay end caps opposite one another to form continuous single end cap.

Text marked in blue is under staff review

Text marked in pink should be discussed with ZPAC

- b. **Planting.** A minimum of one canopy tree and three shrubs or native grasses shall be provided for every parking stall bay end cap. If the end cap extends the width of a double bay, then two canopy trees shall be provided.

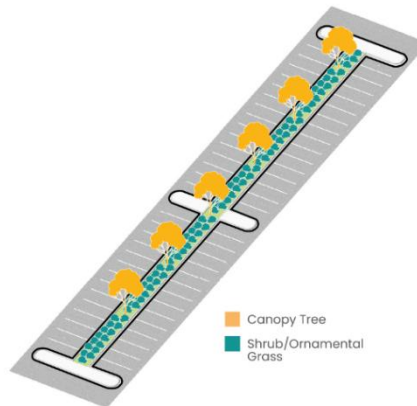


Example Diagram Only - Reference May Not Match Text

5. Parking Lot Median Design Standards.

a. Traditional Design Option.

- i. **Area Required.** Traditional parking lot medians shall have the following minimum dimensions:
 - a) **Width.** 10 feet, and
 - b) **Length.** Full length of a parking stall bay, excluding end caps.
- ii. **Plant Materials Required.** A minimum of one canopy tree and 20 shrubs or native grasses shall be planted for every 50 linear feet of traditional parking lot median.



Example Diagram Only - Reference May Not Match Text

- b. **Rain Garden Option.** If a rain garden is provided, it may be credited towards required stormwater management.
- i. A curb shall be utilized to separate the parking lot median from the parking lot. One curb cut or inlet structure shall be located in the curb line every 40 feet of parking lot perimeter landscape length.
- ii. A vegetated ponding area with a minimum width of six feet and a minimum depth of 18 inches below the surface of the parking lot shall be provided and shall meet the following standards:
- a) **Top Layer.** The top layer of the vegetated ponding area shall be planted with native flowers, grasses, and shrubs, and have a four-inch-thick layer of hardwood mulch.
- b) **Middle Layer.** The middle layer of the vegetated ponding area shall consist of a 24-inch layer highly-permeable mixture of engineered soil including sand and compost.
- c) **Bottom Layer.** The bottom layer of the vegetated ponding area shall consist of 36 inches of gravel.
- d) **Underdrain.** An underdrain, consisting of a perforated pipe running along the bottom of the vegetated ponding area at the top of the bottom layer and connecting to an adjacent sewer inlet, shall be provided at the discretion of the City Engineer.

H. Required Landscape Installation.

1. All required landscape shall conform to the most recently approved American Standard for **Nursery Stock (ANSI Z60.1)**, published by the American National Standards Institute.
2. All required landscape shall be installed prior to the issuance of a Certificate of Occupancy.
3. Prior to landscape installation, soil erosion shall be controlled and is the sole responsibility of the developer.
4. An Administrative Adjustment (**Section #####**) may be approved for an exception to the requirement for installation of landscaping prior to approval of a Certificate of Occupancy for applications submitted **between November and March**.

I. Maintenance.

1. Required landscape areas shall be perpetually maintained in a manner that complies with all requirements of this Section.
2. If required landscape elements die, they shall be replaced within 60 days.

Text marked in blue is under staff review

Text marked in pink should be discussed with ZPAC

3. If required landscape elements die due to disease or environmental conditions, they shall be replaced with more suitable or appropriate species of the same type (e.g. tree, shrub, groundcover).
4. The burning of any landscape element is prohibited.
5. All landscape elements shall be maintained in a healthy, neat, trimmed, clean, and weed-free condition.

DRAFT

Chapter 1105. Building Design Standards

1105.01. General Provisions 1
 1105.02. Multi-Unit Residential, Mixed-Use, and Non-Residential Design Standards 2
 1105.03. Two-Unit, Three-Unit, and Four-Unit Design Standards 7
 1105.04. Townhome Design Standards 8
 1105.05. Residential Front Porches and Railing Design Standards 11

1105.01. General Provisions

- A. **Purpose.** The purpose of the building design standards is to:
1. Ensure that the physical characteristics of proposed development are compatible with the context of surrounding areas;
 2. Preserve the unique visual character and streetscapes of Lakewood;
 3. Create unique and inspiring places that support the pedestrian experience and promote economic vitality; and
 4. Encourage creativity and innovation while avoiding obtrusive, incongruous structures.

B. **Applicability.** The standards of this **Chapter** shall apply as detailed in Table ####.

Table #### Building Design Standards Applicability Overview						
Key:		New development	Major redevelopment	Intermediate redevelopment	Minor redevelopment	Change of use
● = Standards apply to entire development site ○ = Standards apply to portion of site or building(s) impacted by development activity Blank = Standards do not apply						
Standard	Reference					
Multi-Unit Residential, Mixed-Use, and Non-Residential Design Standards	####	●	●	○		
Two-Unit, Three-Unit, and Four-Unit Design Standards	####	●	●			
Townhome Design Standards		●	●			
Residential Front Porches and Railing Standards	####	●	●	○		●

- C. **Standard Exterior Building Cladding Material Tiers.** The exterior building cladding material tiers established in this subsection ##### shall apply citywide and shall be used consistently throughout this Chapter #####.
1. **Tier I Materials.** Tier I materials are characterized by their high quality, long-term durability, and traditional architectural character. These materials are intended to serve as primary façade materials and unifying elements throughout the City. Tier I materials include:
 - a. Solid brick;
 - b. Natural stone;
 - c. Brick or stone veneer with a minimum thickness of one and three-quarters (1¾) inches;
 - d. Fiber cement siding or panels.
 2. **Tier II Materials.** Tier II materials are medium-to-high quality materials that provide architectural variety, texture, and visual interest. These materials may require more frequent maintenance than Tier I materials and are generally lower in cost. Tier II materials include:
 - a. Engineered wood, natural wood, or wood-composite siding;
 - b. Architectural concrete masonry units (CMU);
 - c. Manufactured stone;
 - d. Non-corrugated metal or metal-composite panels.
 3. **Tier III Materials.** Tier III materials are lower-cost or more visually monolithic materials that may require increased maintenance. These materials may be permitted in limited locations or percentages as regulated by the applicable building type standards. Tier III materials include:
 - a. Natural or synthetic stucco;
 - b. Precast concrete panels;
 - c. Corrugated metal or corrugated metal-composite panels; and
 - d. Vinyl siding.
 4. **Prohibited Materials.** The following materials are prohibited on all building façades unless expressly permitted by a specific Section of this Chapter:
 - a. Unfinished concrete block; and
 - b. Prefinished or painted masonry.

1105.02. Multi-Unit Residential, Mixed-Use, and Non-Residential Design Standards

- A. **Applicability.** The standards of this Section shall apply to all uses in the multi-unit residential, public and institutional, commercial, and industrial and automotive land use categories, including buildings with a mix of uses, as detailed in **Table #####**.
- B. **Exterior Building Cladding Materials.** Exterior building cladding materials shall comply with the Standard Exterior Building Cladding Material Tiers established in **Section 1105.01.C**.
 - 1. **Tier Percentage Requirements.** **Table #####** below details the requirements for exterior building cladding materials on front and street side yard facing building façades, by district. Glazing and building entrances shall not be included in the material calculations.

Table ##### Exterior Building Cladding Material Tier Requirements			
Zoning District	Tier 1 (Minimum)	Tier 2 (Maximum)	Tier 3 (Maximum)
RM2, MD	50%	50%	Prohibited
C-1	75%	25%	25%
C-2	50%	50%	25%
C-3	50%	50%	50%
M	50%	50%	25%
I	0%	100%	75%

- 2. **Building Height Application.**
 - a. Tier 1 materials shall be required on the first floor of all buildings.
 - b. Tier 2 materials may be used on stories above the first floor, subject to the maximum percentages in **Table #####**.
 - c. Tier 3 materials, where permitted, shall be permitted only on stories above the first floor.
- 3. **Exterior Building Cladding Material Colors.** The use of high-intensity, metallic, fluorescent, day glow, or neon colors is prohibited.

DIAGRAM TO BE INSERTED HERE LATER IN PROCESS

- C. **Glazing.**
 - 1. **Ground Floor Requirements.** The ground floor of front and street side yard facing façades shall include a minimum percentage of glazing, as detailed in **Table #####**.

Table #### Minimum Required Ground Floor Glazing		
Zoning District	Front Yard Facing Façade	Street Side Yard Facing Façade
RM2, MD	50%	40%
C-1	60%	40%
C-2	40%	20%
C-3	25%	n/a
M	40%	20%
I	20%	n/a

- Upper Floor Requirements.** For each story above the ground floor, a minimum 20 percent glazing shall be provided on the front yard facing façade.
- Materials.** Required glazing shall not be mirrored or tinted in a manner that renders the glass opaque.
- Maintenance.** Required glazing shall not be obstructed by interior walls, window displays, or other permanent installations during hours of operation, unless otherwise permitted by this Code.

DIAGRAM TO BE INSERTED HERE LATER IN PROCESS

D. Building Entry Design.

- Each commercial building shall include a primary entrance oriented toward a public street or public space.
- For each front façade segment, the building may incorporate one (1) or more of the following entrance treatment options:

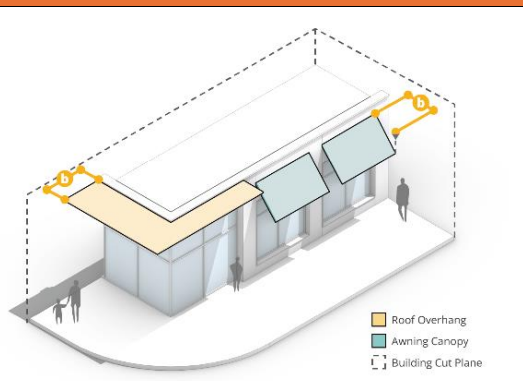
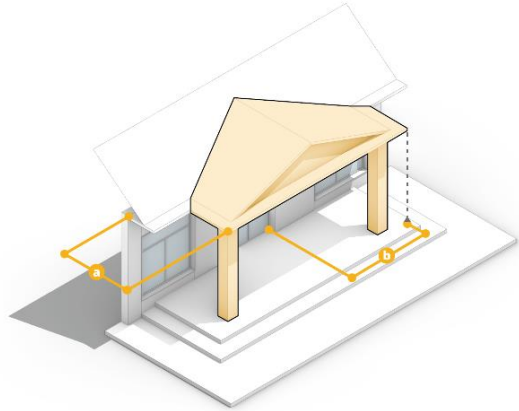
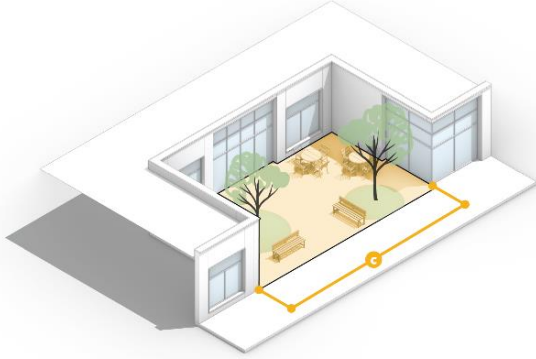
Table ### Building Entryway Design Standards	
Standards	Diagram
1. Canopy / Roof Overhang	
a. Shall be located above all ground floor windows and doors.	
b. Shall project a minimum of three and a maximum of six feet from the façade of the building.	
2. Portico	
a. Shall project a minimum of eight feet from the façade of the building.	

Table ### Building Entryway Design Standards	
Standards	Diagram
<p>b. Shall extend a minimum of five feet from either side of the building entry.</p> <p>c. Portico columns shall be wrapped with one of the required exterior building cladding materials utilized on the building.</p>	
3. Plaza	
<p>a. Shall be located within a recessed portion of the building that is enclosed on two or three sides.</p>	
<p>b. Shall be a minimum of 100 square feet.</p>	
<p>c. Shall have a minimum width of 20 feet.</p>	

E. Façade Articulation.

1. Buildings in District RM2, MD, C-1, C-2, C-3, M, and I Districts.

a. Single Tenant and Common Entrance Buildings.

- i. **Bay / Section Façade Articulation Requirements.** The front and street side yard facing façades of a single tenant or common entrance building shall be divided into architecturally distinct sections or bays with each section taller than it is wide. In no instance shall the width of a bay / section exceed the height of the façade.
- ii. **Dividing Elements.**
 - a) Sections or bays shall be visually established by dividing elements such as columns, ribs, pilasters or piers, changes in plane, or an equivalent element approved by the Planning Director that visually subdivides the wall with a roof or cap feature that provides a rational terminus and integrates with the overall design of the façade.

- b) Required dividing elements shall extend at least the full height of the ground floor of the building.
- c) The width of required dividing elements shall be a minimum of 12 inches.
- d) The required projection of dividing elements shall be based on the width of the dividing element in accordance with **Table #####**:

DIAGRAM TO BE INSERTED HERE LATER IN PROCESS

Table #####: Minimum Projection of Façade Dividing Elements	
<i>Width of Façade Dividing Element</i>	<i>Minimum Projection of Façade Dividing Element</i>
12-23.99 inches	4 inches
24-35.99 inches	8 inches
36 or more inches	12 inches

b. Multi-Tenant Buildings.

- i. On the front and street side yard facing façades of a multi-tenant building, ground floor tenant spaces shall be visually distinguished from one another through either the use of:
 - a) Dividing elements that meet the standards of **subsection 1.a.ii** above;
 - b) Different building entryway designs per **Section #####**; or
 - c) Variated exterior building cladding materials including:
 - (i) Solid brick;
 - (ii) Brick/stone veneer with a minimum thickness of one and three quarters inches;
 - (iii) Architectural concrete masonry units;
 - (iv) Fiber cement, engineered wood, natural wood, and wood composite siding;
or
 - (v) Non-corrugated metal or metal composite panels.
- ii. The design element utilized on a subject tenant space shall not be utilized on adjacent tenant space(s).
- iii. **Subsections i and ii** above shall not apply to multi-tenant industrial buildings.
- iv. On the front and street side yard facing façades of a multi-tenant building, upper floors shall meet the façade articulation requirements of **subsection 1** above.

DIAGRAM TO BE INSERTED HERE LATER IN PROCESS

- c. **All Building Facades Facing a Parking Lot or Neighborhood Residential Use.**
Expanses of blank elevations may not exceed 20 feet in length or 30 feet in height unless at least one of the following is provided:
 - i. Glazing;
 - ii. Public art;
 - iii. Vertical trellises or planters with landscaping integrated with the building wall;
 - iv. Canopies with a minimum depth of three feet;
 - v. At least one horizontal or vertical change in wall plane with a minimum depth of two feet for every 60 linear feet of wall length; or
 - vi. Decorative masonry such as soldier course, rowlock quoins, flat or segmental arches, or protruding brickwork. Decorative masonry may be done with solid brick or brick/stone veneer with a minimum thickness of one and three quarters inches.

F. Roofline and Upper-Story Design.

- 1. **Roofline Articulation.** Roofline articulation shall occur at intervals not exceeding sixty (60) feet through variations in parapet height (minimum two (2) feet), roof form, dormers, or other architectural features.
- 2. **Parapets.**
 - a. Flat roofs shall include parapets on all façades facing a street or public space.
 - b. Parapets shall screen rooftop equipment and prevent views of the rear or unfinished sides of parapets from public areas. When rooftop equipment is not fully screened by parapets, the equipment shall be screened in accordance with the requirements of **Section #####.**

1105.03.Two-Unit, Three-Unit, and Four-Unit Design Standards

- A. **Applicability.** The standards of this Section shall apply to two-, three-, and four-unit dwellings.
- B. **Exterior Building Cladding Materials.** Exterior building cladding materials shall comply with the Standard Exterior Building Cladding Material Tiers established in **Section 1105.01.C.**
 - 1. **Tier Percentage Requirements.** **Table #####** below details the required exterior building cladding material distribution by façade. Glazing and doors shall not be included in the material calculations.
 - 2. Tier III exterior building cladding materials are prohibited on all building façades.

Table ##### Required Exterior Building Cladding Materials		
Building Façade Elevation	Tier I	Tier II
Front and Street Side [1]	Minimum 50%	Maximum 50%
Interior Side and Rear	N/A	N/A
<i>Note</i>		
[1] Street-side exterior building cladding material requirements shall also apply to façades facing private streets.		

- C. **Orientation.** A minimum of one and a maximum of two dwelling entrances shall be oriented toward the front lot line.
- D. **Roof Type.** A pitched roof shall be required.
- E. **Garages.**
 - 1. **Attached Front Yard-Facing Garages.** Attached garages on the front elevation of two-, three-, and four-unit developments shall be prohibited.
 - 2. **Street-Facing Garages.** Garages facing a public street shall include at least one of the following architectural features visible from the street:
 - a. Raised or recessed panels on the garage door;
 - b. Trim or molding around the garage door; or
 - c. Material or color accents that match or complement the primary building façade.

1105.04. Townhome Design Standards

- A. **Applicability.** The standards of this Section shall apply to Dwelling, Townhome units and clusters.
- B. **Exterior Building Cladding Materials.** Exterior building cladding materials shall comply with the Standard Exterior Building Cladding Material Tiers established in **Section 1105.01.C.**
 - 1. **Tier Percentage Requirements.** **Table #####** below details the requirements for exterior building cladding materials on front and street side yard facing building façades, by district. Glazing and building entrances shall not be included in the material calculations.

Table ##### Exterior Building Cladding Material Tier Requirements			
Zoning Districts	Tier I	Tier II	Tier III
RM2	Minimum 50%	Maximum 50%	Prohibited
MD	Minimum 50%	Maximum 50%	Maximum 25%

DIAGRAM TO BE INSERTED HERE LATER IN PROCESS

2. **Exterior Building Cladding Material Colors.** The use of high-intensity, metallic, fluorescent, day glow, or neon colors is prohibited.

C. **Orientation.** Townhome units shall be oriented with their primary entrances either:

1. Toward the designated front lot line (the primary entrance of end unit townhomes on corner lots may be oriented toward the designated front or street side lot line), or
2. Toward an internal courtyard space (the primary entrance of end unit townhomes closest to the designated front lot line shall be oriented toward the designated front lot line).

DIAGRAM TO BE INSERTED HERE LATER IN PROCESS

D. **Townhome Clusters.**

1. A maximum of eight townhome units shall be allowed in a townhome cluster.
2. Individual townhome units in a cluster shall be articulated via:
 - a. Dividing elements that meet the standards of **Section ##.02.E.1.a.ii**;
 - b. Different unit entryway designs including:
 - i. Porches;
 - ii. Canopies;
 - iii. Covered stoops; or
 - iv. Recessed vestibules.
 - c. Variation in Tier I or Tier II exterior building cladding materials;
 - d. Variation in exterior building cladding material colors;
 - e. Distinctions in roof pitch, such as through the use gables, dormers, shed dormers, flat roofs, or towers, that are visually apparent as seen from the ground;
 - f. Variation in roof materials, such as on roof accent elements; or
 - g. Variation of at least two feet in unit height.
3. The siting of townhome units in a cluster shall be staggered in order to define street edges, entry points, and public gathering spaces.

DIAGRAM TO BE INSERTED HERE LATER IN PROCESS

- E. **Attached Front Yard Facing Façade Garages.** An attached garage shall be allowed on the front yard facing façade of a townhome unit if one of the following standards is met:
1. The second story of the unit extends above the attached garage. In this case, up to a two-car garage is allowed.
 2. The garage is recessed a minimum of five feet from the front elevation or front porch of the unit. In this case up to a two-car garage is allowed.
 3. The garage is in line with the front elevation or front porch of the unit. In this case up to a one-car garage is allowed.

1105.05. Residential Front Porches

- A. **Purpose.** The purpose of this Section is to preserve the architectural character and human-scale design of front porches and railings in Lakewood's #### districts.
- B. **Applicability.** These standards shall apply to all new or replacement front porches on residential buildings that are visible from a public street or right-of-way, including front porches located on either the front lot line or street side lot line of a corner lot.
- C. **Materials.**
1. The following materials are permitted for front porch construction:
 - a. Wood, including cedar, cypress, fir, or mahogany;
 - b. Composite or engineered materials designed to resemble traditional wood; and
 - c. Decorative metal.
 2. The following materials are prohibited for front porch construction:
 - a. Vinyl;
 - b. Plastic;
 - c. Unfinished pressure-treated lumber; and
 - d. Hollow PVC or snap-together porch railing systems.
- D. **Finish and color.**
1. Porch elements shall be finished with paint or opaque stain that complements and is compatible with the colors and finishes of the principal building or structure.
 2. Neon, fluorescent, or metallic colors shall be prohibited.

Administrative Approval. If a proposed porch meets all applicable standards of this Section ####, it may be approved by the Building Department (Section ####).

Chapter 1106. Parking and Access Standards

- 1106.01. General Provisions 1
- 1106.02. Internal Access Drive Standards 2
- 1106.03. Vehicle Parking 4
- 1106.04. Loading 13
- 1106.05. Driveways 13
- 1106.06. Bicycle parking 16
- 1106.07. Sidewalks, Trails, and Pedestrian Walkways 17

1106.01. General Provisions

- A. **Purpose.** The purpose of this Chapter is to regulate vehicular, pedestrian, and bicyclist access in a manner that:
1. Ensures the safety of all transportation system users through design that prioritizes pedestrian and bicyclist movements over automobile movements where appropriate, maintains a safe separation of movements in other cases, and avoids unnecessary or unsafe conflicts,
 2. Supports the efficient movement of people and goods through a multi-modal, interconnected transportation network to improve public health and quality of life, support the local economy, and facilitate rapid emergency response,
 3. Minimizes negative impacts on the environment through a reduction in carbon emissions associated with automobile use,
 4. Prioritizes a human-scaled built environment that accommodates pedestrians to improve physical, mental, and emotional health,
 5. Relieves traffic congestion on streets by limiting curb cuts and promoting alternative modes of transportation, and
 6. Provides adequate, but not excessive, off-street parking.

B. **Applicability.** The standards of this Chapter shall apply as detailed in Table ####.

Table ##### Access and Mobility Standards Applicability Overview						
Key:		New development	Major redevelopment	Intermediate redevelopment	Minor redevelopment	Change of use
<p>● = Standards apply to entire development site</p> <p>○ = Standards apply to portion of site or building(s) impacted by development activity</p> <p>Blank = Standards do not apply</p>						
Standard	Reference					
Internal Access Drives	#####	●	●			
Vehicle Parking – Allowed Parking Lot Locations	#####	●	●	○ [1]	○ [1]	
Vehicle Parking – Minimum and Maximum Parking Space Standards	#####	●	●	●	●	
Vehicle Parking – Parking Space and Drive Aisle Dimensional Requirements	#####	●	●	○ [1]	○ [1]	
Vehicle Parking – Parking Lot Design	#####	●	●	○ [1]	○ [1]	
Driveways	#####	●	●	○		
Bicycle Parking	#####	●	●	○ [1]	○ [1]	
Sidewalks, Trails, and Pedestrian Walkways	#####	●	●			
Note						
[1] Standards shall apply when new parking lots and/or areas are constructed or existing parking lots are expanded only.						

1106.02. Internal Access Drive Standards

- A. **Applicability.** Internal access drives shall be required in all developments with uses in the multi-unit residential, public and institutional, and/or commercial use categories and with either five acres or more of gross development site area or 100 or more parking spaces, unless an Administrative Adjustment (Section #####) is approved by the Planning Director based on site-specific conditions or limitations.
- B. **Primary Internal Access Drive Standards.** Primary internal access drives shall connect a site to the public right-of-way, provide access to secondary internal access drives, and meet the standards established in Table ####. If the developer chooses to include elements not required in Table ####, the elements shall meet the standards of Section #####.

Table ##### Primary Internal Access Drive Standards	
Required Element	Standards
Travel Lane	Shall meet the travel lane width and number requirements of minor collector roadways (Table #####)
Planted Median	Shall be improved with a mountable curb with a minimum height of nine

Table #### Primary Internal Access Drive Standards	
Required Element	Standards
	inches and a gutter with a minimum width of nine inches Shall taper to a minimum of two feet in width at intersections May have breaks to accommodate turning movements Shall be planted with a minimum of one canopy tree, two understory trees, and 10 shrubs or native grasses every 50 feet
<i>Curb and Gutter</i>	Per Engineering Specifications
<i>Parkway</i>	Shall meet the parkway standards for minor collector roadways per Section ####
<i>Pedestrian Walkway – both sides of drive</i>	Shall meet the sidewalk standards of Section ####

DIAGRAM TO BE INSERTED HERE LATER IN PROCESS

C. **Secondary Internal Access Drive Standards.** Secondary internal access drives shall connect primary internal access drives to buildings and parking lots on a site and meet the standards established in Table ####. If the developer chooses to include elements not required in Table #### the elements shall meet the standards of primary internal access drives or Section ####.

DIAGRAM TO BE INSERTED HERE LATER IN PROCESS

Table #### Secondary Internal Access Drive Standards	
Required Element	Standards
<i>Travel Lane</i>	Shall meet the travel lane width and number requirements of local roadways (Table ####)
<i>Curb and Gutter</i>	Per Engineering Specifications
<i>Parkway</i>	Shall meet the parkway standards for local roadways per Section ####
<i>Pedestrian Walkway – one side of drive</i>	Shall meet the sidewalk standards of Section ####

1106.03. Vehicle Parking

A. **Permitted Parking Area Locations.** The allowed location of accessory parking lots shall be in accordance with Table #####.

Table ##### Allowed Parking Lot Location			
District	Front and/or Street Side Yard	Interior Side Yard	Rear Yard
RS1, RS2, RS3, L		●	●
RM1, RM2, MD		●	●
M, C-1, C-2	●	●	●
C-3, I	● [1]	●	●
Notes			
[1] If a parking lot is located in a front and/or street side yard, the parking lot shall be separated from the principal building(s) by a secondary internal access drive meeting the standards of Section 5.05.			

B. **Minimum and Maximum Parking Space Standards.**

1. **Multi-Use Development Sites.** Where more than one use is included within any single building, or on any lot, the parking requirements shall be the sum total of the requirements of the various uses in Table #####.
2. **Uses Undetermined.** If the ultimate use(s) of a proposed building(s) is not determined at the time of development approval, the Planning Director shall determine which use to utilize in the calculation of minimum required and maximum allowed parking based on the district in which the development is located and the purpose of this Chapter.
3. **Minimum Parking Requirement.** The number of required off-street parking spaces shall be calculated according to the formulas established in Table #####.
 - a. **Per Square Footage.** “Sq ft” shall mean the sum of the gross leasable horizontal area of all floors of a nonresidential building or nonresidential portion of a mixed-use building, not including storage or mechanical space.
 - b. **Per Other.** Other variables are measured according to their common meanings.

Table ####: Minimum Parking Required per Use	
Use	Minimum and Maximum Parking Spaces Required
<i>Residential Principal Uses</i>	
Adult Family Home	Min. 5 / employee max. 1/employee or 1 space/bed
Adult Group Home	
Assisted Living Facility	
Dwelling, One-Unit	1 / unit; 1 space required in a garage
Dwelling, Two-Unit	
Dwelling, Three-Unit	
Dwelling, Four-Unit	2 / unit
Dwelling, Townhome	1 / bedroom
Dwelling, Multi-Unit, 5–12 Units	
Dwelling, Multi-Unit, 13+ Units	
Dwelling, Multi-Unit, Complex	1.5 / unit
Dwelling, Multi-Unit; Above Ground Floor Only	
Dwelling, Multi-Unit; Rear Ground Floor	Min. 5 / employee max. 1/employee or 1 space/bed
Nursing Home	
Roomer	1 / bedroom
<i>Public and Institutional Uses</i>	
Child Day Care	1 / 300 sq ft
College	1 / 500 sq ft
Community Service Facility	
Funeral Home	1 / 300 sq ft
Hospital	1 / 2 Beds
Library	1 / 300 sq ft
Municipal Facility	1 / 500 sq ft
Places of Worship	1 / 300 sq ft of assembly area
Public Park and Playground	1 / 1,000 active recreation sq ft
School, Elementary	1 / 500 sq ft

Table ####: Minimum Parking Required per Use	
Use	Minimum and Maximum Parking Spaces Required
School, Secondary	
School, High	
School, Trade/Vocational	
<i>Commercial Uses</i>	
Administrative, Business, Professional and Medical Office	Min 2 / 1,000 sq ft; Max 3/5 / 1,000
Animal Clinic/Hospital	1 / 300 sq ft
Artisan Manufacturing	
Auditorium	1 / 4 seats
Bar, Tavern, Nightclub	1 / 200 sq ft
Bed and Breakfast Establishment	Minimum is same for residential use Max 1 / guest room, in addition to requirement for residential use
Body Art Establishment	1 / 300 sq ft
Body Piercing, Cosmetic and Medical Tattoo Establishments	
Co-working Space	
General Retail, less than 2,500 sq ft	Off-street Parking Not Required
General Retail, 2,500 sq ft or more	Min 1 / 1,000 sq ft max 2.5 / 1,000 sq ft
Hotel	Min 0.5 / room max of 1 / room
Motel	
Indoor Commercial Recreation /Entertainment	1 / 300 sq ft
Meeting/Event Facility	
Instruction Studio	
Medical Clinics/Urgent Care Facility	1 / 500 sq ft
Museum/Art Gallery	
Personal Care and Professional Services	1 / 300 sq ft
Restaurant	1 / 200 sq ft
Sexually Oriented Business	1 / 300 sq ft

Table ####: Minimum Parking Required per Use	
Use	Minimum and Maximum Parking Spaces Required
Short Term Rental	2 / unit
Smoke Shop	1 / 300 sq ft
<i>Industrial and Automobile Uses</i>	
Assembly and Packaging Facility	1 / 1,500 sq ft
Building Materials and Lumber Sales Yard	1 / 1,000 sq ft
Car Wash	No minimum max 1 / employee
Gasoline Service Station	1 / 300 sq ft of retail area + 1 / 200 sq ft of restaurant area
Industrial, Heavy	Min 0.25 / employee Max 1.5 / employee.
Industrial, Light	
Manufacturing	
Marijuana Dispensary	1 / 200 sq ft
Parking Deck / Garage	n/a
Research and Development Facility	Min 0.25 / employee Max 1.5 / employee.
Self-Storage Facility	0.5 / storage unit
Storage/Distribution Warehouse	Min 1 / employee max 1.5 / employee
Trade Service	Min 0.25 / employee Max 1.5 / employee.
Vehicle Sale and Leasing	
Vehicle Services - Major Repair/Body Work	0.5 / service stall
Vehicle Services - Minor Maintenance/Repair	
Wholesale Trade Operation	Min 0.25 / employee Max 1.5 / employee.
Wireless Telecommunication Facility	No Minimum max 1 / facility
<i>Accessory Uses</i>	
Accessory Structure	n/a
Accessory Dwelling Unit	1 / unit
Boat Storage Facility	n/a
Boat Trailers	n/a

Table ####: Minimum Parking Required per Use	
Use	Minimum and Maximum Parking Spaces Required
Drive-Through	1 / drive-through lane
Family Child Care (Type A)	1 / 200 sq ft
Family Child Care (Type B)	
Swimming Pool or Wading Pool	n/a
Home Occupation (Type A)	Min. same as residential use; max. of 3, in addition to requirement for residential use.
Home Occupation (Type B)	
Outdoor Dining	1 / 200 sq ft
Outdoor Storage Yard	n/a
Parking Deck / Garage	
Solar Energy Collection System, Canopy	
Solar Energy Collection System, Ground Mounted	
Solar Energy Collection System, Roof Mounted	

- Maximum Parking Allowance.** An accessory parking lot shall be limited to no more than 50 percent above the minimum parking requirement for the use served, unless otherwise approved as an Administrative Adjustment (Section ####) per Table ####.

C. Administrative Adjustments.

- Adjustments to Minimum Parking Requirements.** Deviations from the minimum parking required per use may be approved as an Administrative Adjustment (Section ####) per Table ####. A maximum of 50 percent of required parking may be waived.

Table #### Adjustments to Minimum Parking Requirements		
Type	Criteria	Adjustment
Transit	Use is located within 500 feet of a public transit stop or station and is connected to the stop or station via a continuous sidewalk and/or pedestrian walkway system.	A maximum of 25 percent of required parking may be waived.
Joint Use Parking	Standards of Section #### are met.	In accordance with Section ####.

Table #### Adjustments to Minimum Parking Requirements		
Type	Criteria	Adjustment
On-Street Parking in Municipal (M) District	Required parking spaces are located within 1,000 feet of a publicly available off-street municipal parking lot, as determined by the Planning Director.	A maximum of 20 percent of required parking may be waived.
Affordable Dwelling Units	A unit of a multi-unit residential dwelling is deed restricted to be affordable to households making 80 percent or less of the City of Lakewood’s median income.	A maximum of 0.5 parking spaces per deed restricted affordable unit may be waived.

2. **Adjustments to Maximum Parking Allowances.** Deviations from the maximum parking allowed per use may be approved as an Administrative Adjustment (Section ####) per Table ####.

Table #### Adjustments to Maximum Parking Allowances		
Type	Criteria	Adjustment
Shared Parking	The parking lot is under a Shared Parking Agreement (Section ####).	An Administrative Adjustment of up to a 30 percent increase in allowed parking may be approved.
Parking Study	A parking study (Section ####) identifies a need for more parking spaces than allowed.	An Administrative Adjustment may be approved for the amount of parking identified as necessary in the parking study.

D. Shared and Joint Use Parking.

1. **Shared Parking.**
 - a. One parking lot may contain required parking spaces for several different uses so long as the required parking spaces are located within 500 feet of the associated development site.
 - b. Enforcement of the use of parking spaces in a shared parking lot shall be the responsibility of the property owner.
2. **Joint Use Parking.** In a shared parking lot, a maximum of 50 percent of the required parking spaces assigned to one use may be counted or assigned to another use(s) if the uses

1106 | Parking and Access Standards

Vehicle Parking

All text marked in pink should be discussed with ZPAC

operate at different peak times. Joint use parking shall be approved as an Administrative Adjustment (Section #####).

- 3. **General Provisions.** An applicant proposing the use of shared and/or joint use parking shall:
 - a. Demonstrate that the legal right to use the parking spaces in question has been obtained,
 - b. Provide a shared and/or joint use parking agreement detailing how the parking spaces will be allocated to or jointly used by the uses. The agreement shall be recorded with the County Recorder upon approval, and
 - c. Sign an acknowledgement that the continuing validity of the applicant’s development permit depends upon the continuing ability to provide the requisite number of parking spaces. If the shared and/or joint use parking is no longer available or the property owner fails to comply with the requirements of this Section, the parking requirement reverts to those requirements found in Table ####, and the property owner or applicant must demonstrate compliance with said requirements, or the development permit shall be revoked.
 - d. Submit an updated shared and/or joint use parking agreement should there be a change in owner, change in use, or expansion or reduction in building or parking lot area.
- D. **Parking Study.** A parking study shall include estimates of parking demand based on recommendations of the Institute of Traffic Engineers (ITE), or other acceptable estimates as approved by the Planning Director, and should include other reliable data collected from uses or combinations of uses that are the same as, or comparable with, the proposed use. Comparability will be determined by density, scale, bulk, area, type of activity, and location. The study shall document the source of data used to develop the recommendations.
- E. **Parking Space and Drive Aisle Dimensional Requirements.** All parking spaces and drive aisles shall meet the minimum dimensional requirements detailed in Table ####.

Table #### Minimum Parking Space and Drive Aisle Dimensional Standards				
Parking Space Layout	Parking Space Width (A)	Parking Space Length (B)	One-Way Drive Aisle Width (C)	Two-Way Drive Aisle Width (D)
90 Degree	9 ft	18 ft	14 ft	24 ft
60 Degree	9 ft	18 ft	14 ft	n/a
45 Degree	9 ft	18 ft	12 ft	n/a
0 Degree (parallel)	8 ft	18 ft	11 ft	22 ft

- 1. **Compact Car Spaces.** Compact car spaces may be provided in parking garages and public parking areas if the following standards are met:

- a. No more than 15 percent of total parking spaces may be designated as “compact car” spaces.
- b. Compact car spaces shall be 90-degree spaces only.
- c. Compact car spaces shall be a minimum of eight feet in width and 16 feet in length.
- d. Spaces must be clearly marked with a sign or with pavement markings as compact spaces.

F. Parking Lot Design Standards.

1. **Surfacing Materials.** All off-street parking which is constructed after adoption of this ordinance shall be constructed of permanent, non-erodible surface treatment limited to masonry, concrete, or asphalt, with an exception that alternative surface materials allowing greater water infiltration within floodplain areas may be approved by the **City Engineer**.
2. **Arrangement and Orientation.** All off-street parking shall be arranged so that vehicle ingress and egress to parking areas is by forward motion of the vehicle, except for drives (parking bays) serving single-family detached units, duplex units, and mobile home spaces and lots. Additionally, all off-street parking shall be arranged and sized in accordance with the parking area design standards #####.
3. **Maintenance, Markings, and Use.** Required parking spaces shall be properly maintained and shall not be converted to other uses. Each required parking space shall be clearly delineated by painted lines at least four inches wide and at least as long as the stall depth. Alternate means of delineation may be approved by the **Planning Director**.
4. **Parking Area Landscape.** Parking lots shall provide the required perimeter and interior landscape per **Section #####**.
5. **Reserved Parking Spaces.**
 - a. **Accessible Parking.** All development shall provide accessible parking in accordance with the Americans with Disabilities Act, as amended, regardless of whether vehicle parking is required by the City.
 - b. **Short-Term Parking.** Parking spaces reserved for curb-side pickup patrons, rideshare pick-up and drop-off, or other short-term parking needs shall be located away from main building entrances, near employee exits, or in another location approved by the **Planning Director** so as not to inhibit pedestrian travel between the principal building entrance and parking lot.
 - c. **Electric Vehicle Charging Stations.** Any parking lot or structure containing 50 or more parking spaces shall provide electric vehicle-ready parking spaces equal to at least five percent of the total number of parking spaces, or 10 spaces, whichever is fewer.

6. **Vehicular Connectivity.** Adjoining parking lots serving (or potentially serving) any use in a use category other than the residential use category or the industrial and automotive use category shall be interconnected as follows:
- a. At least one vehicular connection shall be provided at all lot lines that are coincident for at least 60 feet with another applicable property.
 - b. The vehicular connection shall:
 - i. Be at least 20 feet wide,
 - ii. Align with a vehicular connection that has been previously constructed on an adjacent property or shall be stubbed for future vehicular connection if the adjacent site is undeveloped or does not include a vehicular connection stub,
 - iii. Not be placed where a building on an adjacent property is within 50 feet of the lot line which would hamper traffic movements within the parking lot, and
 - iv. Be placed in an area which will not require the removal of significant natural features such as wetlands or trees with a caliper of 20 inches or more.
 - c. An Administrative Adjustment (Section #####) may be approved to waive one or more of the vehicular connectivity requirements of this subsection where the applicant demonstrates that compliance is not feasible due to site-specific physical, environmental, or safety constraints, or where the required connection would result in unsafe or undesirable traffic circulation.
 - d. Where a vehicular connection is required, an easement for ingress and egress to adjacent lots shall be recorded by the property owner with the County Recorder, in a form acceptable to the City.

1106.04. Loading

- A. **Required Loading.** On the same premises with every building erected and occupied wholly or in part for any nonresidential use involving the receipt or distribution of vehicles, materials, or merchandise, there shall be provided and maintained adequate, designated space for standing, turning, loading, and unloading services in a manner that does not interfere with required vehicle or bicycle parking, pedestrian walkways, or with the public use of rights-of-way.
- B. **Location.**
1. All required loading bays shall be located on the same lot as the use served.
 2. Loading bays shall not be located:
 - a. In any front yard or street side yard in RS1, RS2, RS3, L, RM1, RM2, MD, C-1, C-2, C-3, or M Districts,
 - b. Within 25 feet of the nearest point of intersection of any two streets,
 - c. In a fire lane,
 - d. In a manner that intrudes into any portion of or prevents access to an internal access drive, parking lot drive aisle, or parking space, and
 - e. Closer than 50 feet to any property in RS1, RS2, and RS3 districts if serving vehicles over two tons capacity.
- C. **Access.** Every loading bay shall be:
1. Designed to provide access to a street or easement by the largest vehicle likely to serve the lot in a manner which will least interfere with traffic movements and without having to make any backing movement onto a public right of way, and
 2. Provided with sufficient maneuvering space to accommodate the largest vehicle likely to serve the lot.
- D. **Utilization.** Space allocated to any loading bay shall not be used to satisfy the requirements for any vehicle or bicycle parking space.

1106.05. Driveways

- A. **Number of Allowed Driveways.**
1. **Residential Use Category.** Uses in the residential use category are allowed driveway access points as approved by the **Director of Public Works and the City Engineer.**
 2. **All Other Use Categories.** Uses in all other use categories are allowed driveway access points as approved by the **Director of Public Works and the City Engineer.**

B. Location of Driveway Access Points.

1. Access shall be taken from an alley if an alley exists.
2. Access shall be taken from the lower-classified fronting roadway in scenarios where a through lot or corner lot fronts on roadways of different classifications. An Administrative Adjustment (**Section #####**) may be approved, if:
 - a. The frontage along the lower-classified roadway is less than 50 feet in width,
 - b. The shape of the parcel and/or placement of existing buildings would require the driveway to be 50 or more feet longer than if the access was taken from the higher-classified street,
 - c. The lower-classified roadway primarily serves uses in the residential use category and the use of the subject lot is in any other use category, or
 - d. If necessary to protect public safety.
3. Driveways serving any use in the neighborhood residential use category shall be constructed at least two feet from any property line. Driveways serving uses in any other use category shall be constructed at least five feet from any property line.
4. **The Director of Public Works and the City Engineer** shall have the authority to restrict driveway access to locations they deem appropriate for the operational needs of the site and existing infrastructure, such as protecting the function, safety, and efficiency of travel on the roadway and any associated bicycle and pedestrian facilities. There is no guarantee of access to the applicant's preferred driveway location or access point.
5. The **Director of Public Works and the City Engineer** may restrict access to less than full access movement and if so, the infrastructure shall be improved in accordance with the **City's Engineering Specifications.**
6. The minimum distance between driveways/curb cuts, as measured from back of curb to back of curb (or back of pavement to back of pavement if no curb is present), on the same side of the street shall be in accordance with **Table #####**. The required separation shall be based on the roadway classification of the higher-classified roadway within the intersection.

DIAGRAM TO BE INSERTED HERE LATER IN PROCESS

Roadway Type	Signalized Intersections	Unsignalized Intersections	Other On-Site / Off-Site Driveways
Local	100 ft	25 ft	n/a
Collector Arterial	200 ft	75 ft	75 ft / 50 ft
Minor Arterial	200 ft	100 ft	100 ft / 50 ft
Principal Arterial	250 ft	150 ft	100 ft

C. Driveway Dimensions.

1. **Driveway Width.** The minimum and maximum width of a driveway, as measured at the property line shall be in accordance with Table ####. At other points on the property the width of a driveway may vary.

District	Minimum Width – One Way Driveway	Maximum Width – One Way Driveway [1]	Minimum Width – Two Way Driveway [2]	Maximum Width – Two Way Driveway [1] [2]
RS1, RS2, RS3, L	8 ft	20 ft [3]	12 ft	30 ft
RM1, RM2, M	8 ft	20 ft	12 ft	30 ft
MD, C-1	12 ft	30 ft	16 ft	36 ft
C-2, C-3	12 ft	30 ft	16 ft	36 ft
I	12 ft	32 ft	16 ft	40 ft
Notes				
[1] An Administrative Adjustment (Section #####) may be approved for wider driveways where required by the turning radii of vehicles accessing the site or to accommodate existing topography as certified by a licensed design or engineering professional, or a traffic report prepared by a licensed design or engineering professional indicates the need for a wider driveway.				
[2] Two-way driveways are prohibited on any property with a use in the residential use category.				
[3] Or 40 percent of lot width, whichever is lesser, if the driveway is located in the front yard of a property with a use in the neighborhood residential use category.				

DIAGRAM TO BE INSERTED HERE LATER IN PROCESS

2. Driveway Length.

- a. **Residential Use Category.** Driveways serving uses in the residential use category shall have a minimum length of 25 feet. A reduced driveway length may be approved by the Planning Director where site-specific conditions demonstrate that vehicles can fully

queue and maneuver on-site without stopping, queuing, or backing into the public right-of-way.

- b. **All Other Use Categories.** Driveways serving uses in all other use categories shall have no minimum length.

1106.06. Bicycle parking

A. Minimum Bicycle Parking Requirements.

- 1. **Minimum Short-Term Bicycle Parking Requirements.** All multi-unit development, nonresidential development, and mixed-use developments shall provide short-term bicycle parking in accordance with **Table ####.**

Table #### Minimum Short-Term Bicycle Parking Requirements	
<i>District</i>	<i>Minimum Required Number of Bicycle Parking Spaces</i>
<i>RS1, RS2, RS3, RM1, RM2, M, L</i>	1 per 20 vehicle parking spaces or 5, whichever is greater
<i>MD, C-1</i>	1 per 40 vehicle parking spaces or 5, whichever is greater
<i>C-2, C-3, I</i>	1 per 60 vehicle parking spaces or 4, whichever is greater

- 2. **Minimum Long Term Bicycle Parking Requirements.** All uses in the residential use category with the exception of assisted living facilities and nursing home facilities shall provide long-term bicycle parking in accordance with **Table ####.**

Table #### Minimum Long-Term Bicycle Parking Requirements	
District	Minimum Required Number of Bicycle Parking Spaces
<i>All Districts</i>	1 per 20 vehicle parking spaces or 8, whichever is greater

B. Bicycle Facility Standards.

1. **General Bicycle Facility Standards.**

- a. **Surfacing.** Bicycle parking, except for long-term indoor bicycle parking facilities, shall be provided on a hard-surface, all-weather pavement of asphalt or concrete.
- b. **Placement.**
 - i. Proposed bike parking facilities shall comply with the following spacing standards:
 - a) **Side-by-Side Rack.** Four-foot separation.
 - b) **End-to-End Rack.** Five-foot separation.
 - c) **Other Rack Type.** As approved by the City Engineer.
 - ii. Bicycle parking facilities shall be located two feet away from walls, fences, and the edge of landscaping at the time of maturity, as measured from the edge of the rack closet to the wall, fence, or landscape area.

- iii. Bicycle parking facilities adjacent to a pedestrian walkway shall be sited to ensure that a minimum five-foot walkway clearance is maintained.
- iv. If provided outdoors, bicycle parking facilities shall be sited within 30 feet of a primary entrance of a building.
- v. If provided indoors, bicycle parking facilities shall be located within an easily accessible common area designated for secure bicycle storage.

c. Rack Types.

- i. Bicycle racks shall meet all requirements of the Americans with Disabilities Act. Inverted U or Post and Ring bicycle racks are preferred.
- ii. Grid, wave, and spiral bicycle racks are prohibited.
- iii. Bicycle lockers or similar types of facilities are permitted and count towards required bicycle parking standards.

2. Long Term Bicycle Facility Standards.

- a. Long-term bicycle parking facilities shall be covered and weather resistant.
- b. Storage within a dwelling shall not be considered a long-term bicycle parking space.

3. Parking Structures. Bicycle parking shall be located on the level closest to the street and/or a pedestrian entrance.

1106.07. Sidewalks, Trails, and Pedestrian Walkways

A. Sidewalks and Walkways.

1. Requirements.

- a. Sidewalks and walkways shall be provided on-site to ensure safe pedestrian circulation and to connect off-street parking areas, on-site destinations, and public sidewalks.
- b. On-site walkways shall connect all buildings on the site to one another and to parking areas.
- c. On-site walkways shall connect building entrances to adjacent public sidewalks along direct routes of travel.
- d. Where public sidewalks do not exist, sidewalks shall be provided along each site frontage to allow for future pedestrian connectivity.
- e. New sidewalks shall connect to existing sidewalks or walkways on adjacent properties, or to the planned future location of sidewalks or walkways on those properties.
- f. The **Planning Director** may waive this requirement where such connection would create a safety hazard.

1106 | Parking and Access Standards

Sidewalks, Trails, and Pedestrian Walkways

All text marked in pink should be discussed with ZPAC

- g. Where driveways, parking areas, or loading areas intersect pedestrian walkways, the walkway shall be designed to maintain safe and continuous pedestrian movement.

B. Trails.

1. Where existing or planned trails, as identified in the Cuyahoga County Planning Commission Greenways Plan, the County Lakefront Public Access Plan, or another adopted City plan, are adjacent to or traverse a development site, the developer shall:
 - a. Provide a public access trail easement or outlot to preserve the planned trail corridor, with a width as determined by the **City Engineer**, considering site conditions, topography, environmental constraints, utility locations, and public safety considerations.
 - b. Construct the trail in accordance with City standard specifications where required by a Development Agreement (**Section #####**), or, where construction is not required at the time of development, provide a fee-in-lieu contribution toward future trail construction as established in the Development Agreement.

DRAFT

Chapter 1107. Sign Standards

1107.01. General Provisions	1
1107.02. Allowed Signs by Zoning Districts	3
1107.03. Prohibited Signs and Content	5
1107.04. General Sign Standards	6
1107.05. Standards for Permanent Building Signs	9
1107.06. Standards for Permanent Ground Signs	11
Standards for Temporary Attached Signs.	15
1107.07.....	15
1107.08. Standards for Temporary Freestanding Signs.	16
1107.09. Sign Design Incentives	19
1107.010. Comprehensive Sign Plan	20
1107.011. Safety, Maintenance, Removal, and Abandonment	21
1107.012. Signs Definitions.....	22

1107.01. General Provisions

A. **Purpose.** The purpose of this Chapter is to preserve and protect the public health, safety, and welfare by regulating signs of all types. It is intended to:

1. Enhance the physical appearance of the City of Lakewood;
2. Create an attractive economic and business climate;
3. Reduce sign distractions which may increase traffic accidents;
4. Eliminate hazards caused by unsafe signs;
5. Relieve pedestrian and traffic congestion; and

Ensure that sign design is compatible with surrounding development and constructed of durable, high-quality materials.

B. Applicability. The standards of this Chapter shall apply as follows:

1. **New Development and Major Redevelopment.** All signs located on a development site shall comply with all applicable standards of this Chapter when installed or maintained in conjunction with new development or major redevelopment, as defined by this Code.
2. **Installation or Modification of Signs.** All standards of this Chapter shall apply to any sign that is newly installed, replaced, relocated, enlarged, re-faced, or otherwise structurally or materially modified, regardless of whether the site is subject to new development or redevelopment.
3. **Change of Use.**
 - a. A change of use on a site or within a building shall not, by itself, require existing legally established signs to be removed, replaced, or brought into compliance with current sign standards, provided such signs are not expanded, relocated, re-faced, or otherwise modified.
 - b. In such cases, only the following provisions of this Chapter shall apply to all signs on the site:
 - i. Prohibited Content (Section 1107.03.B);
 - ii. Illumination (Section 1107.04.C);
 - iii. Electronic Message Boards (Section 1107.04.D);
 - iv. Temporary Signs (Sections 1107.07 and 1107.08); and
 - v. Safety, Maintenance, Removal, and Abandonment (Section 1107.011).
4. **Relationship to Allowed Sign Types and Permits.**
 - a. All signs subject to this Chapter shall comply with the allowed sign types by zoning district (Section 1107.02); and All general and sign-type-specific standards applicable to the sign.
 - b. Whether a sign requires a permit shall be determined in accordance with Section ####.

1107.02. Allowed Signs by Zoning Districts

- A. Sign types shall be allowed by district as detailed in **Table #####**. The following key shall be used in the interpretation of **Table #####**.
- Sign Types Requiring a Permit.** Sign types marked as “●” in the table are allowed subject to all applicable regulations of this Code and only after the issuance of a as detailed in **Section #####**.
 - Sign Types not Requiring a Permit.** Sign types marked as “○” in the table shall be allowed subject to all applicable regulations of this Code without the issuance of a Sign Permit.
 - Prohibited Sign Types.** A blank space in the table indicates that a sign type is prohibited.
 - Interpretation of Similar Sign Type.** If a proposed sign is not listed in the table, the **Planning Director** shall determine, via the Interpretations process (**Section #####**), if the sign is substantially similar to a sign listed in the table. If so, the standards for the substantially similar sign shall be applied to the proposed sign. If not, the sign shall be regarded as prohibited.

Table ##### Allowed Sign Types by District						
Sign Type	RS-1 RS-2 RS-3 L	RM1 RM2 MD	C-1 C-2	C-3	I	M
<i>Permanent Building Signs</i>						
Awning Sign [1]		●	●	●	●	●
Blade Sign		●	●	●	●	●
Bracket-Mounted Sign		●	●	●	●	●
Canopy Sign		●	●	●	●	
Wall Sign [1]	●	●	●	●	●	●
Window Sign (Permanent) [1]	●	●	●	●	●	●
<i>Permanent Ground Signs</i>						
Drive-Through Sign				●		
Monument Sign	●	●	●	●	●	●
Neighborhood Entry Sign [2]	●	●				●
On-Site Circulation Safety Sign	●	●	●	●	●	●
Post Sign, Permanent		●	●			●
<i>Temporary Attached Signs</i>						
Athletic Field Fence Sign					○	○
Construction Site Fence Sign	●	●	●	●	●	●
Light Pole Banner Sign		●	●	●	●	●
Wall Mounted Banner Sign	●	●	●	●	●	●
Window Sign, Temporary		○ [3]	○	○	○	○
<i>Temporary Freestanding Signs</i>						

Table #### Allowed Sign Types by District						
Sign Type	RS-1 RS-2 RS-3 L	RM1 RM2 MD	C-1 C-2	C-3	I	M
Ground-Mounted Banner Sign			●	●	●	
Post and Panel Sign	●	●	●	●	●	●
Post Sign, Temporary	●	●	●	●	●	●
Sidewalk / A-Frame Sign			○	○	○	
Yard Sign [4]	○	○	○			
Notes						
[1] Sign shall be allowed for Assisted Living Facility, Adult Family Home, Adult Group Home, Nursing Home, dwelling-multi-unit, mixed-use, and nonresidential uses only.						
[2] Sign shall be allowed at the entrance of neighborhoods or subdivisions only.						
[3] This standard shall apply only where commercial use is present or where a leasing office is associated with the development						
[4] Sign shall be allowed for dwelling-one-unit, dwelling-townhouse, dwelling-three/four-unit, and dwelling-two-unit uses only.						

1107.03. Prohibited Signs and Content

A. **Prohibited Signs.** All signs not specifically allowed by this Chapter are prohibited. The following types of signs are expressly prohibited:

1. Feather Sign or Wind Flag Sign;
2. Pole/Pylon Sign;
3. Pennant Sign;
4. Balloon signs;
5. Marquee signs;
6. Off-premises signs;
7. Signs which have flashing, moving, or oscillating lights;
8. Signs containing moving or animated parts, nor have the appearance of having any moving or animated parts;
9. Signs erected so as to impair access to a roof;
10. Signs located, erected or maintained upon, over or project into any public right-of-way or easement unless otherwise allowed by this Chapter;
11. Signs in conflict with traffic signals, vehicular or pedestrian travel, access to fire hydrants and fire lanes and exits, and other signs which reasonably impede or impair public health, safety and welfare; and
12. Signs on vehicles, boats, or trailers parked for a period of more than 72 hours so as to be visible from a public right-of-way.

B. **Prohibited Content.**

1. The following content is prohibited without reference to the viewpoint of the individual speaker:
 - a. Text or graphics of an indecent or immoral nature and harmful to minors;
 - b. Text or graphics that advertise unlawful activity;
 - c. Text or graphics that are obscene, fighting words, defamation, incitement to imminent lawless action, or true threats; or
 - d. Text or graphics that present a clear and present danger due to their potential confusion with traffic control signs or signs that provide public safety information (for example, signs that use the words "Stop," "Yield," "Caution," or "Danger," or comparable words,

phrases, symbols, or characters in such a manner as to imply a safety hazard that does not exist).

2. The narrow classifications of content that are prohibited by this subsection are either not protected by the United States or Ohio Constitutions or are offered limited protection that is outweighed by the substantial governmental interests in protecting the public safety and welfare. It is the intent of the **Building Commissioner** that each paragraph of this Subsection be individually severable in the event that a court of competent jurisdiction were to hold one or more of them to be inconsistent with the United States or Ohio Constitutions.

C. Murals and Public Art Not Regulated as Signs.

1. A mural or public art display that does not include a business name, logo, slogan, product, service, price, or other advertising message shall not be regulated as a sign and shall not be counted toward maximum permitted sign area.
2. Murals or public art that include a commercial message, business identification, or advertising content shall be regulated as a wall sign and shall comply with **Section 1107.05.D (Wall Sign)**, unless approved as part of a Comprehensive Sign Plan (**Section 1107.010**)

1107.04. General Sign Standards

A. Sign Measurement.

1. Sign Height.

- a. Sign height shall be measured by the total distance between the highest point on the sign to the average elevation of the ground upon which the sign supports are placed, except when:
 - i. The sign supports rest upon a berm or other area elevated above the surrounding ground; or
 - ii. The sign supports rest upon a ditch or other area lower than the surrounding ground.
- b. In the cases detailed in **subsections a. and b.** above, the elevation of the centerline of the adjacent roadway shall be considered as the ground level.

2. Sign Area.

- a. Unless otherwise defined, sign area is determined by the total area enclosed by a continuous perimeter along the edges of a sign, including any frame or border. The base of a monument sign is not included in this measurement.

- b. The area of a sign composed of channel letters is determined by the total area of the smallest geometric shape enclosing the copy.
- c. A maximum of two geometric shapes may be utilized in sign area calculation.



Example Diagram Only - Reference May Not Match Text

B. Location and Encroachment. All signs regulated by this Chapter shall be located:

1. Outside of any easements, except for sign easements;
2. Outside the public right-of-way;
3. Outside required vision triangles (Section #####);
4. Outside of required buffer and/or landscape areas (Section #####), with the exception of neighborhood entry signs and monument signs which may be located in a required street buffer;
5. So as to not obstruct building or site ingress, egress, or public safety features, such as fire hydrants and standpipes; and

In a sign easement if the sign serves a common development site and is located on a property not owned by the homeowner's/property owner's association. The easement shall allow use and access for maintenance of the sign.

C. Illumination.**1. Location and Design of Light Source.**

- a. Whenever an external artificial light source is used for a sign, the light source shall be shielded and directed toward the sign face and shall comply with the outdoor lighting standards of this Code (Section #####).
- b. No receptacle or device housing a permitted light source for a sign shall protrude more than 24 inches from the face of the sign or building to which it is attached except if such light source is ground mounted, locked in place, and cannot be redirected.

2. Installation and Level of Illumination.

- a. Illumination of signs shall meet all applicable outdoor lighting standards (Section #####).
- b. All artificial illumination shall be designed, located, shielded, and directed to prevent glare or direct light from shining onto any public right-of-way, any developed residential property, or any property zoned for residential use.
- c. Flashing, blinking, strobing, pulsating, or intermittently illuminated signs or light sources are prohibited.
- d. All artificial illumination shall be certified by the manufacturer as compliant with the standards of a. and b. above.

3. Prohibited Lighting.

- a. No flashing or intermittent illumination shall be permitted on any sign or structure.

D. Electronic Message Boards.

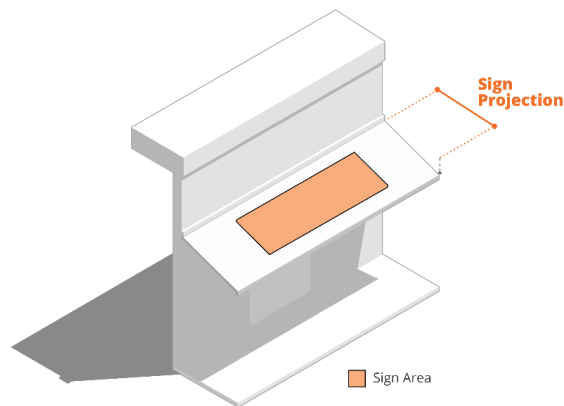
1. Electronic Message Boards are permitted for municipal and commercial developments, subject to the standards of this Section #####.
2. 25 percent of the sign area must be permanent sign copy.
3. The area of the sign devoted to an electronic message board shall be part of, not in addition to, the maximum sign area allowed.
4. Sign placement shall not interfere with traffic control devices within 300 feet of the sign or traffic circulation upon roadways. If deemed necessary by the Planning Director, a report from the Director of Public Works certifying that the proposed sign does not interfere with the design characteristics of the traffic circulation and traffic control devices may be required.

5. If the **Planning Director** determines that an Electronic Message Board does not comply with the illumination, display, or location standards of this Chapter after installation and operation, the Planning Director may require corrective action or refer to the **Building Commissioner** for further review.
 6. Upon referral, the **Building Commissioner**, in coordination with the Planning Director, may require modification or removal of the Electronic Message Board to achieve compliance with this **Chapter #####**.
 7. **Display Standards.**
 - a. The message will contain a static message or image only and not have movement, or the appearance of movement, during the static display period.
 - b. The transition to change from one message or image to another shall be instant and not dissolve, fade, scroll, travel, or have similar transitions.
 - c. The message shall not change more frequently than once every 8 seconds.
 - d. Electronic message boards shall be equipped with a default mechanism that will stop the messaging or freeze the image in one position when a malfunction in electronic programming occurs.
 8. **Illumination.**
 - a. Electronic message boards shall be equipped with a sensor or other device that automatically determines the ambient illumination and is programmed to automatically dim according to light conditions.
 - b. If the **Planning Director** determines that an Electronic Message Board does not comply with the illumination standards of this Chapter, the Planning Director may require corrective action in accordance with **Section 1107.04.D**.
- E. **“OPEN” Sign Allowance.**
1. Each tenant storefront is permitted one illuminated or non-illuminated “OPEN” sign displayed in a window to indicate when the business is open.
 2. An “OPEN” sign shall not be counted toward the maximum permitted window sign area (**Section ##### and Section #####**) and shall not exceed two square feet in area.
- F. **Window Treatments Not Considered Signs.** Window tinting, window shades, blinds, curtains, frosted glass, sun-control film, or similar window treatments that do not contain text, symbols, logos, or graphics intended to convey a message to the public shall not be considered signs and shall not be counted toward permitted window sign area.

1107.05. Standards for Permanent Building Signs

A. Awning Sign.

1. **Maximum Area.** 50 percent of the awning to which the sign is affixed.
2. **Maximum Number of Signs.** One sign per awning structure.
3. **Illumination.** Prohibited.
4. **Location.** Awnings located on the ground floor only.



Example Diagram Only - Reference May Not Match Text

5. **Other Provisions.** Shall not be displayed on the same façade as a bracket mounted sign or wall sign.

B. Canopy Sign.

1. **Maximum Area.** One square foot per linear foot of the length of the portion of the canopy to which the sign shall be affixed.
2. **Maximum Height of Sign Copy.** Two feet.
3. **Maximum Number of Signs.** One per canopy structure.
4. **Illumination.** Internal or external illumination is allowed.
5. **Location.**
 - a. **Building Canopies.** Mounted on top of or to the front of a canopy structure located on the ground floor only.
 - b. **Freestanding Canopies.** Mounted on the front of the canopy structure and shall not extend above or below the canopy structure.

C. Blade Sign/ Bracket Mounted Sign.

1. **Maximum Area.**
 - a. **Building Mounted Blade Sign.** 25 square feet.
 - b. **Canopy Mounted Blade Sign.** Four square feet.
2. **Maximum Projection.** Four feet from the building or canopy to which it is attached.
3. **Minimum Vertical Clearance.** 10 feet above the established grade immediately below.
4. **Maximum Number of Signs.** One per single tenant building or common entrance building and one per tenant in a multi-tenant building.
5. **Illumination.** Internal illumination is allowed.
6. **Location.**
 - a. **Building Mounted Blade Sign.** Shall not extend above the roofline of the building to which it is affixed.
 - b. **Encroachment.** Encroachment over a public right-of-way is allowed with the approval of ###.
7. **Other Provisions.** Shall not be displayed on the same façade as an awning sign or wall sign.

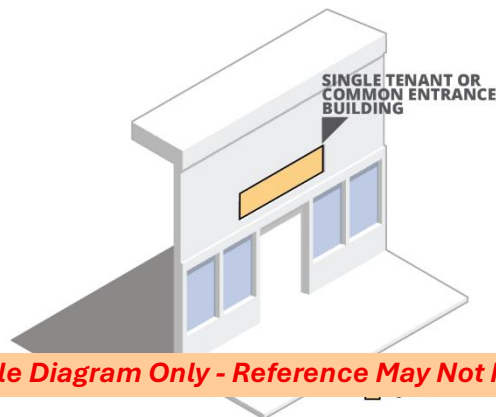


Example Diagram Only - Reference May Not Match Text

D. Wall Sign.

1. **Maximum Area.** 15 percent of the area of the wall to which the sign is affixed.
2. **Maximum Projection.**
 - a. 12 inches from the building to which it is affixed.

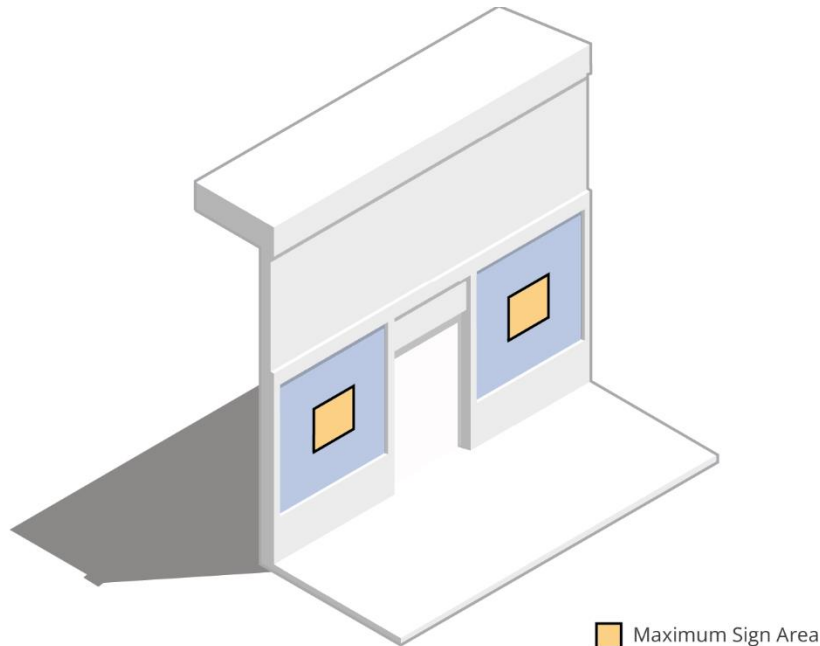
- b. Not extending beyond the perimeters of the wall to which it is affixed.
- 3. **Maximum Number of Signs.**
 - a. One wall sign per street frontage.
 - b. One per multi-tenant building tenant entrance.
- 4. **Sign Copy.**
 - a. Channel letters on a raceway or individually affixed to the building or applied vinyl or printed/etched graphics on a sign panel or backing plate may comprise up to 100 percent of the sign copy.
 - b. A box/cabinet sign may comprise up to 20 percent of the total sign area, provided the remaining 80 percent consists of channel letters (on a raceway or individually affixed to the building).
- 5. **Illumination.** Internal or external illumination is allowed.
- 6. **Location.**
 - a. For a building without a parapet wall, shall not extend above the roof deck.
 - b. For a building with a parapet wall, may extend two feet above the roof deck, provided no portion of the extends above the parapet.
 - c. For a building with a pitched roof, shall not extend above the lower eave line of the building.
 - d. Shall not be affixed to HVAC screening, elevator overrun, or other structures protruding from the roof of the building.



Example Diagram Only - Reference May Not Match Text

E. Window Signs, Permanent.

1. **Maximum Area.** The total area of sign on a tenant storefront shall not exceed 30 percent of the total ground-floor window area of that tenant storefront.
2. **Sign Copy.** Applied vinyl or a comparable adhesive window film.
3. **Illumination.** Internal or external illumination is allowed.
4. **Location.** Window signs shall be limited to glazing located on the ground floor, except for commercial uses where the primary business entrance or customer-facing space is located on an upper floor.



Example Diagram Only - Reference May Not Match Text

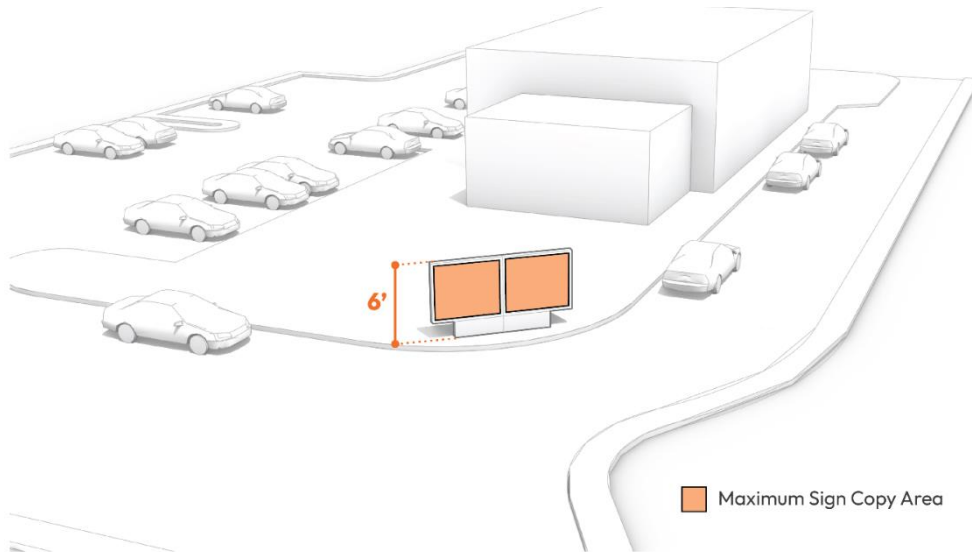
1107.06. Standards for Permanent Ground Signs

A. Drive-Through Sign.

1. **Maximum Area per Sign.** 40 square feet.
2. **Maximum Height.** Six feet.
3. **Maximum Number.** Two per drive-through lane.
4. **Illumination.** Internal illumination is allowed during business hours only.
5. **Location.** Within five feet of the drive-through lane(s) and meeting all other location standards established in **Section #####**.



6. Electronic Message Boards (EMBs) are permitted as part of a drive-through sign.



Example Diagram Only - Reference May Not Match Text

B. Monument Sign.

1. Maximum Area.

- a. **Districts RS-1, RS-2, RS-3, RM1, RM2, RM2, MD, and M.**

i. **All Buildings.** 36 square feet.

- b. **Districts C-1, C-2, C-3 and I.**

i. **Single Tenant and Common Entrance Buildings.** 50 square feet.

ii. **Multi-Tenant Buildings.** 75 square feet.

2. Maximum Height.

- a. **Districts RS-1, RS-2, RS-3, RM1, RM2, RM2, MD, and M.**

i. **All Buildings.** Six feet, including minimum two-foot sign base.

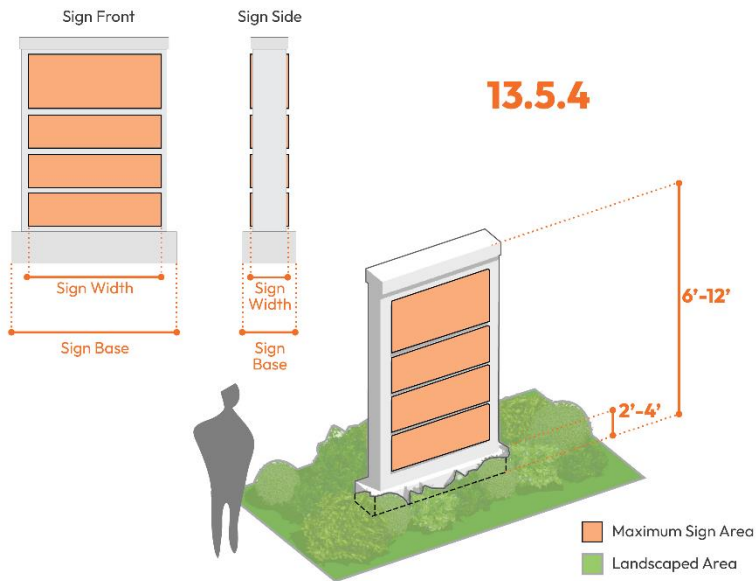
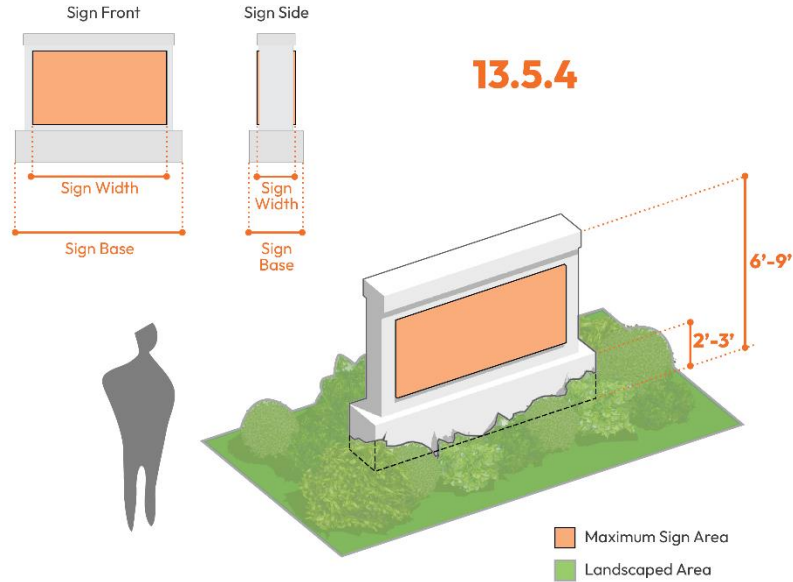
- b. **Districts C-3 and I.**

i. **Single Tenant and Common Entrance Buildings.** Maximum nine feet, including minimum two-foot sign base.

ii. **Multi-Tenant Buildings.** Maximum 10 feet, including minimum three-foot sign base.

3. **Maximum Number of Signs.** One per development site frontage abutting a public right-of-way.
4. **Sign Copy.**
 - a. Channel letters (on a raceway or individually affixed to the building), or applied vinyl, printed, etched graphics installed on a sign panel or backing plate may comprise up to 100 percent of the sign copy.
 - b. A box/cabinet sign may comprise up to 20 percent of the total sign area, provided the remaining 80 percent consists of channel letters (on a raceway or individually affixed to the building).
5. **Sign Base.**
 - a. Sign base, including all structural components, shall extend from the sign face on at least one side, a minimum of 10 percent and a maximum of 40 percent of the width of the sign face.
 - b. Sign face may extend a maximum of 40 percent off the sign base.
 - c. Sign base shall consist of a **Tier 1** material allowed in **Table #####** which complements the exterior cladding materials and colors of the principal building.
6. **Landscape.** Monument signs shall meet the following **landscape standards:**
 - a. A landscape area at the sign base shall be required to be planted and maintained by the property owner in perpetuity.
 - b. The required landscape area shall be not less than 50 percent of the sign area, provided the configuration and shape of the landscape area shall be subject to approval by the Architectural Board of Review.
 - c. Landscape areas shall be planted with shrubs, native grasses, annuals, and/or perennials at a rate of one planting per three square feet of required landscape area.
7. **Illumination.** Internal or external illumination is allowed.
8. **Location.** Meeting all location standards established in **Section #####.**

9. **Other Provisions.** Shall not be displayed on the same development site frontage as a permanent post sign.



Example Diagram Only - Reference May Not Match Text

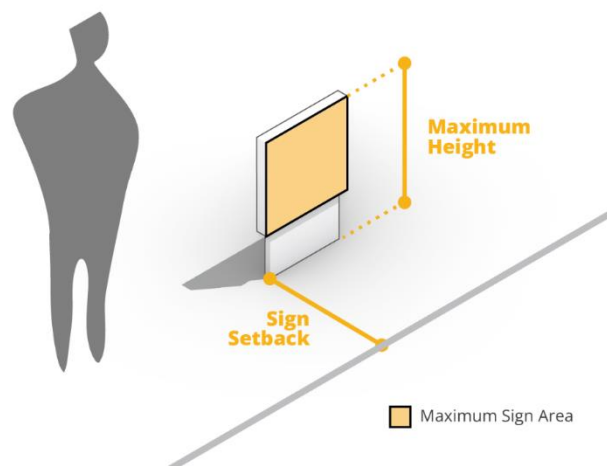
C. Neighborhood Entry Sign.

1. **Maximum Area.** 25 square feet.
2. **Maximum Height.** Six feet, including minimum two-foot sign base.
3. **Maximum Number of Signs.** One per development site frontage with vehicular, pedestrian, and/or bicyclist access to a public right-of-way.
4. **Sign Copy.** Channel letters (on a raceway or individually affixed) or applied vinyl or printed/etched graphics installed on a sign panel or backing plate.
5. **Sign Base.**
 - a. Sign base, including all structural components, shall extend from the sign face on at least one side, a minimum of 10 percent and a maximum of 40 percent of the width of the sign face.
 - b. Sign face may extend a maximum of 40 percent off the sign base.
 - c. The sign base shall be constructed of durable materials.
6. **Landscape.**
 - a. Neighborhood entry sign shall meet the following **landscape standards #####**.
 - b. A landscape area at the sign base shall be required to be planted and maintained by the property owner in perpetuity.
 - c. The required landscape area shall be not less than 50 percent of the sign area, provided the configuration and shape of the landscape area shall be subject to approval by the Architectural Board of Review.
 - d. Landscape areas shall be planted with shrubs, native grasses, annuals, and/or perennials at a rate of one planting per three square feet of required landscape area.
7. **Location.** At the entrance of neighborhoods or subdivisions only and meeting all location standards established in **Section #####**.
8. **Illumination.** External, low-intensity accent illumination, including uplighting, downlighting, or halo lighting, is permitted, provided such lighting is shielded and directed toward the sign face to minimize glare and light trespass, and internal illumination is prohibited.

D. On-Site Circulation Safety Sign.

1. **Maximum Area.** Four square feet.
2. **Maximum Height.** Three feet.

3. **Maximum Number of Signs.** Two per site entrance/exit and two per drive aisle, internal access drive, or drive-through lane intersection.
4. **Illumination.** Prohibited.
5. **Location.** Meeting all location standards established in **Section #####.**
6. **Sign Area Accounting.** On-site circulation safety signs shall not be counted toward the maximum permitted sign area for the development site.
7. **Review Authority.** On-site circulation safety signs shall be approved administratively by the **ABR Secretary.**

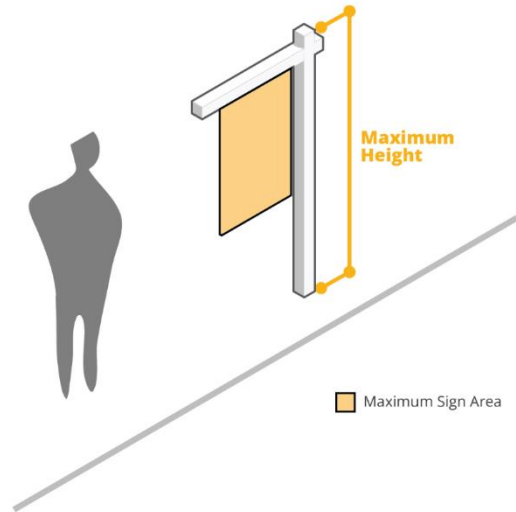


Example Diagram Only - Reference May Not Match Text

E. Post Sign, Permanent.

1. **Maximum Area.** Six square feet.
2. **Maximum Height.** Six feet.
3. **Maximum Number of Signs.** One per development site frontage abutting a public right-of-way.
4. **Sign Copy.** Shall be channel letters individually affixed to the sign backing or be printed, etched, or otherwise directly incorporated on the sign backing.
5. **Sign Base.** Shall be aluminum, aluminum composite, acrylic, PVC board, exterior-grade plywood, or other weather resistant, purpose-built material **approved by the Planning Director.**
6. **Illumination.** Prohibited.
7. **Location.** Meeting all location standards established in **Section #####.**

8. **Other Provisions.** Shall not be displayed on the same development site frontage as a monument sign.

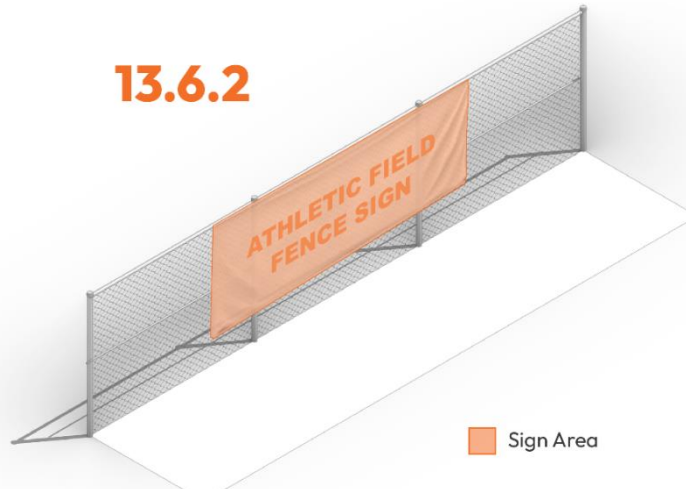


Example Diagram Only - Reference May Not Match Text

1107.07. Standards for Temporary Attached Signs.

A. Athletic Field Fence Sign.

1. **Maximum Area.** No maximum area.
2. **Maximum Number of Signs.** No maximum number.
3. **Maximum Projection.** Shall be affixed flat against the fence to which they are mounted.
4. **Sign Material.**
 - a. 18-oz vinyl or a similarly heavy-duty material purpose made for outdoor display.
 - b. If larger than 32 square feet, shall utilize wind resistant measures.
5. **Illumination.** Prohibited.
6. **Location.**
 - a. No portion may extend above or beyond the fence to which it is mounted.
 - b. Shall be oriented in a manner where sign copy is not visible from the right-of-way and/or adjacent property.
7. **Duration of Display.** Shall not be limited so long as all maintenance requirements (Section ####) are met.



Example Diagram Only - Reference May Not Match Text

A. Light Pole Banner Sign.

1. Maximum Length.

- a. Districts RM1, RM2, MD, C-1, and C-2. Four and one-half feet.
- b. Districts C-3 and I. Six feet.

2. Maximum Width. Two and one-half feet.

3. Minimum Clearance. 11 feet.

4. Maximum Number of Signs. One per light pole.

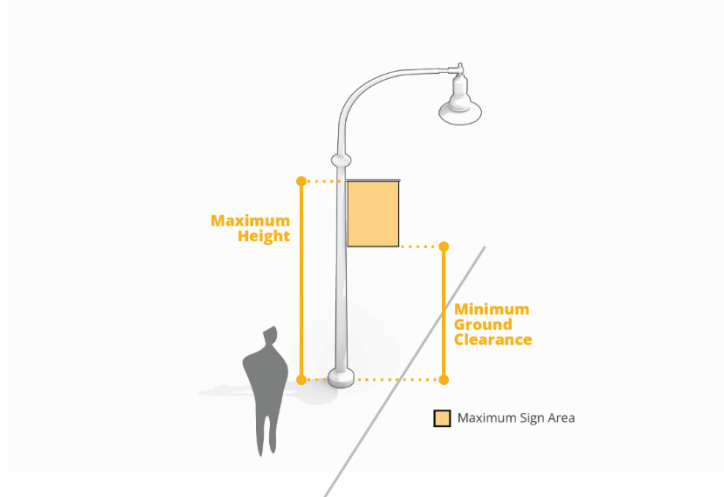
5. Sign Material.

- a. PVC flex material, laminated for outdoor use.
- b. Shall have wind flaps or utilize wind deflecting mounting brackets.

6. Illumination. Prohibited.

7. Location. Attached to functioning, non-wooden light poles only.

8. Duration of Display. Shall not be limited so long as all maintenance requirements (Section ####) are met.



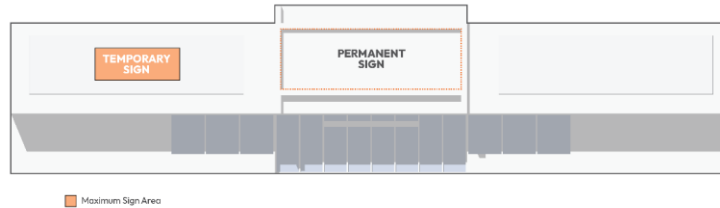
Example Diagram Only - Reference May Not Match Text

B. Wall-Mounted Banner Sign.

1. **Maximum Area.** 32 square feet.
2. **Maximum Length.** Eight feet.
3. **Maximum Projection.** Affixed flat against the building to which it is mounted.
4. **Maximum Number of Signs.** One per front and street side yard facing building façade.
5. **Sign Material.** 18-oz vinyl or a similarly heavy-duty material purpose made for outdoor display.
6. **Illumination.** Prohibited.
7. **Location.**
 - a. For a building without a parapet wall, shall not extend above the roof deck.
 - b. For a building with a parapet wall, may extend two feet above the roof deck, provided no portion of the extends above the parapet.
 - c. For a building with a pitched roof, shall not extend above the lower eave line of the building.
 - d. Shall not be affixed to HVAC screening, elevator overrun, or other structures protruding from the roof of the building.
8. **Duration of Display.**
 - a. **Display Period.** Maximum of 30 consecutive days.

- b. **Number of Display Periods.** Three per year with a minimum of 30 days between display periods, except when the **Planning Director** determines that consecutive display periods are appropriate due to an ongoing event, or similar circumstance.

13.6.6

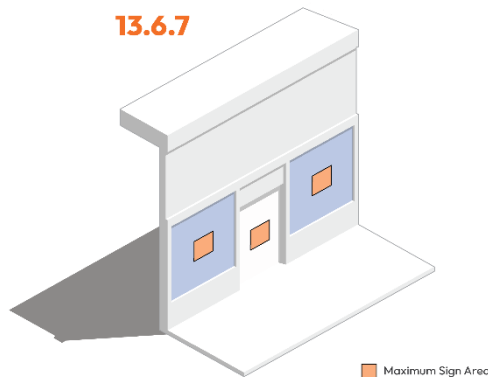


Example Diagram Only - Reference May Not Match Text

C. **Window Sign, Temporary.**

1. **Maximum Area.** The total area of all window signs on a tenant storefront shall not exceed 30 percent of the total ground-floor window area of that tenant storefront.
2. **Illumination.** One illuminated temporary window sign allowed per single tenant or common entrance building or tenant of a multi-tenant building.
3. **Location.** Glazing located on the ground floor only.
4. **Duration of Display.** Shall not be limited so long as all maintenance requirements (**Section ####**) are met.

13.6.7



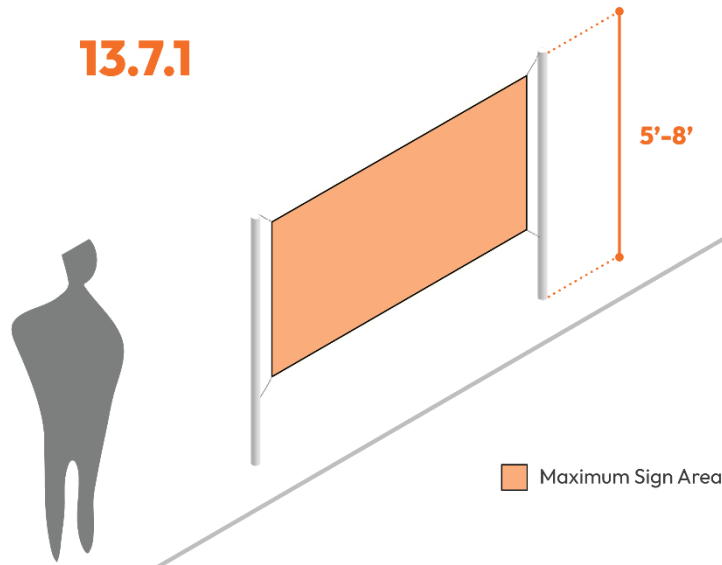
Example Diagram Only - Reference May Not Match Text

1107.08. Standards for Temporary Freestanding Signs.

A. Ground-Mounted Banner Sign.

1. **Maximum Area.**
 - a. **Districts C-1 and C-2.** 15 square feet.
 - b. **Districts C-3 and I.** 32 square feet.
2. **Maximum Height.** Five feet.
3. **Maximum Number of Signs.** One per development site frontage abutting a public right-of-way.
4. **Sign Material.** 18-oz vinyl or a similarly heavy-duty material purpose made for outdoor display.
5. **Sign Base.** Metal, PVC, wood, or a similarly durable material purpose made for outdoor display.
6. **Illumination.** Prohibited.
7. **Location.** Meeting all location standards established in **Section #####**.
8. **Duration of Display.**
 - a. **Display Period.** Maximum of 30 consecutive days.
 - b. **Number of Display Periods.** Three per year with a minimum of 30 days between display periods, except when the **Planning Director** determines that consecutive display periods are appropriate due to an ongoing event, or similar circumstance.

9. **Other Provisions.** Shall not be displayed on the same development site frontage as a post and panel sign or temporary post sign.

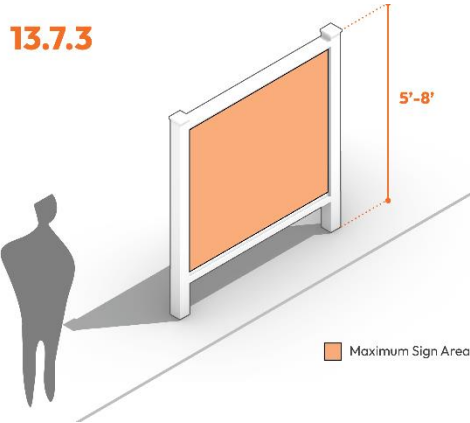


Example Diagram Only - Reference May Not Match Text

B. Post and Panel Sign.

1. **Maximum Area.** 32 square feet.
2. **Maximum Height.** Eight feet.
3. **Maximum Number of Signs.** One per development site frontage abutting a public right-of-way.
4. **Sign Material.** 10 mm gauge engineered corrugated plastic, aluminum composite, finished wood, wood composite, or comparable material.
5. **Sign Base.** Minimum of two metal or finished wood posts.
6. **Illumination.** Prohibited.
7. **Location.** Meeting all location standards established in **Section #####**.
8. **Duration of Display.**
 - a. **Display Period.**
 1. If displayed during construction activity, from the approval of a **construction plan** to the issuance of a certificate of occupancy for the final phase of construction, so long as all maintenance requirements (**Section #####**) are met.

- 2. If displayed while property is actively marketed for sale or lease, until the property is no longer actively marketed for sale or lease, so long as all maintenance requirements (Section ####) are met.
- b. **Number of Display Periods.** One per year.
- 9. **Other Provisions.** Shall not be displayed on the same development site frontage as a ground mounted banner sign or temporary post sign.

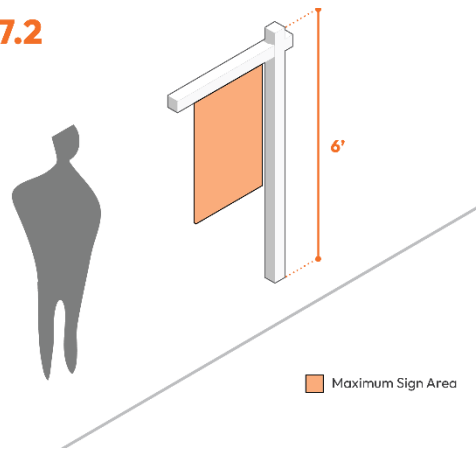


Example Diagram Only - Reference May Not Match Text

C. Post Sign, Temporary.

- 1. **Maximum Area.** Six square feet.
- 2. **Maximum Height.** Six feet.
- 3. **Maximum Number of Signs.** One per development site frontage abutting a public right-of-way.
- 4. **Sign Copy.** Shall be channel letters individually affixed to the sign backing or be printed, etched, or otherwise directly incorporated on the sign backing.
- 5. **Sign Base.** Shall be aluminum, aluminum composite, acrylic, PVC board, exterior-grade plywood, or other weather resistant, purpose-built material approved by the Planning Director.
- 6. **Illumination.** Prohibited.
- 7. **Location.** Meeting all location standards established in Section ####.
- 8. **Duration of Display.**
 - a. **Display Period.**

1. If displayed during construction activity, from the approval of a **construction plan** to the issuance of a certificate of occupancy for the final phase of construction, so long as all maintenance requirements (**Section #####**) are met.
 2. If displayed while property is actively marketed for sale or lease, until the property is no longer actively marketed for sale or lease, so long as all maintenance requirements (**Section #####**) are met.
- b. **Number of Display Periods.** One per year.
9. **Other Provisions.** Shall not be displayed on the same development site frontage as a ground mounted banner sign or post and panel sign.

13.7.2

Example Diagram Only - Reference May Not Match Text

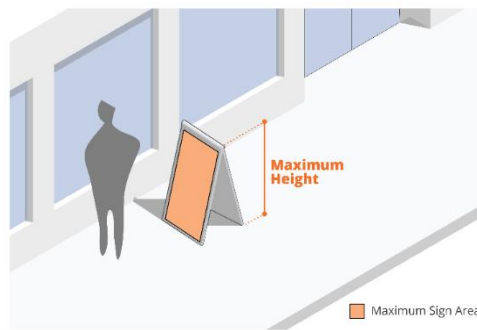
D. Sidewalk / A-Frame Sign.

1. **Maximum Area.** Six square feet.
2. **Maximum Height.** Four feet.
3. **Maximum Number of Signs.** One per single tenant or common entrance building and per tenant of a multi-tenant building.
4. **Sign Material.** Vinyl, plastic, chalkboard, marker board, or comparable material.
5. **Sign Base.** Metal, plastic, or a similarly durable material purpose made for outdoor display.
6. **Illumination.** Prohibited.
7. **Location.**
 - a. Shall be separated from all other sidewalk signs by at least 15 feet.

1107 Base and Overlay Zoning Districts Standards

Standards for Temporary Freestanding Signs.

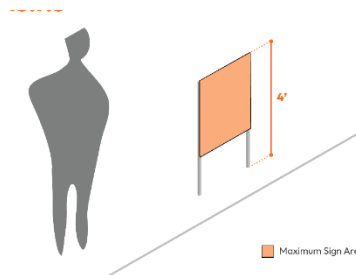
- b. Shall be placed in a manner to preserve a continuous and unobstructed pedestrian clear path in compliance with applicable sidewalk width and accessibility standards of the Codified Ordinances of the City of Lakewood, including ADA requirements.
 - c. Shall not block points of ingress or egress.
 - d. Shall be placed no more than six feet from the building entrance of the building or tenant space of a building to which the sign is associated.
 - e. Shall not be placed in or within five feet of an ADA ramp.
8. **Duration of Display.** During the operating hours of the use to which the sign is associated.



Example Diagram Only - Reference May Not Match Text

E. Yard Sign.

- 1. **Maximum Area.** Three square feet.
- 2. **Maximum Height.** Two feet.
- 3. **Maximum Number of Signs.** There shall be no limit on the number of yard sign, provided the total sign Area does not exceed 25 square feet.
- 4. **Location.** Meeting all location standards established in **Section #####**.
- 5. **Duration of Display.** Shall not be limited so long as all maintenance requirements (**Section #####**) are met.



Example Diagram Only - Reference May Not Match Text

1107.09. Sign Design Incentives

- A. **Intent.** This section establishes incentives that allow additional sign area or height in exchange for incorporating higher-quality design features.
- B. **Eligibility Criteria.** A sign is eligible for incentives when it:
1. Meets all applicable standards of this Chapter;
 2. Uses lighting that does not create glare or light spillover;
 3. Incorporates the enhanced design features listed in subsection C.
- C. **Design Standards for Incentives.** A sign may qualify for incentives when it includes one or more of the following:
1. Enhanced illumination that reduces glare, improves visibility;
 2. Tier I materials (####) that complement the design and materials of the principal building;
or
 3. Wall signs with individual channel letters directly affixed to the building, without a raceway or cabinet backing.
- D. **Incentive Allowances.** When all eligibility and design standards are met, the following incentives may be granted:
1. **Additional Sign Area.** Up to a 10 percent increase in maximum sign area.
 2. **Additional Sign Height.** Up to a 10 percent increase in maximum sign height.

1107.010. Comprehensive Sign Plan

- A. **Intent.** The intent of the Master Sign Plan is to set forth a theme as to the placement, lettering style, color, materials, mounting method, and other related design considerations of signs.
- B. **Applicability.**
1. Any building or development on any lot, including multi-tenant or multi-building developments, may elect to submit a Master Sign Plan to receive additional aggregate sign area beyond the maximum established in Section ####.
 2. Master Sign Plans are intended for buildings or developments with multiple tenants or multiple buildings and are not typically necessary for single-tenant or individual storefronts.
 3. Following approval of a Master Sign Plan, no permanent sign shall be erected, placed, or maintained except in conformance with the approved Plan.



- C. **Conditions.** The Sign Review Board may attach conditions, requirements, or standards necessary to assure that the signs covered by the Master Sign Plan will not be materially detrimental to persons or property in the vicinity. In making its determination, the Sign Review Board shall not base any condition on the content of a sign.
- D. **Evaluation Criteria.**
1. **Placement.** All signs shall be placed where they are visible and legible. Factors to be considered include:
 - a. The location of a sign relative to traffic movement and access points,
 - b. Site features,
 - c. Other structures, and
 - d. Orientation relative to viewing distances and viewing angles.
 - e. For tenants without direct visibility from the public right-of-way, the wall sign otherwise permitted by this Chapter may be placed on an alternate exterior wall facing a public street or internal drive, provided that no additional wall signs are permitted as a result of such placement.
 2. **Quantity.** One ground sign per public street frontage, only where ground or monument signs are otherwise permitted by this Chapter, and one wall sign per tenant space.
 - a. **Additional Wayfinding Signs.** Developments with internal drives may include:
 - i. One wayfinding sign for every **TBD acres** of developed site area; and
 - ii. One additional wayfinding sign at each internal intersection of three or more drive aisles.
 - b. **Multi-Building Developments.** For developments with three or more buildings, a maximum of two additional directional signs may be approved to support on-site circulation.
 - c. **Maximum Cap.** The total number of signs shall not **exceed X signs per acre**, unless the master sign plan demonstrates that additional signs are required due to unique site constraints.
- E. **Review and Action.** The **Planning Director** shall review the Master Sign Plan application for compliance with the **evaluation criteria (Subsection D)** and shall approve, approve with conditions, or deny the application only if the application demonstrates compliance with all applicable criteria of this Section.



1107.011. Safety, Maintenance, Removal, and Abandonment

A. Safety and Maintenance.

1. All signs, including their supports, braces, guys, and anchors, shall be kept in good repair at all times. Any sign which is not maintained properly shall be subject to removal per subsection **B** below.
2. If any sign is unmaintained, unsafe, or insecure; or is a menace to the public, the **Planning Director** shall give written notice to the owner, agent, or person having the beneficial interest in the building or the premises on which such sign is located.
3. Correction of the condition which caused the **Planning Director** to give the notice shall be completed within 30 days after receipt of the notice.
4. If the condition is not corrected after the conclusion of the 30-day period, the **Planning Director** is authorized to cause the sign to be removed per **subsection #####** below.

B. Removal.

1. The **Building Commissioner** may remove or cause to be removed any and all defective, unsafe, abandoned, unmaintained, or illegal non-conforming signs when the owner or agent has failed to comply with all orders issued by the **City**. Such removal shall be completed by the **City or the City's agent**, and such cost shall be billed to the owner of the premises.
2. The **Planning Director** is authorized to cause any sign to be removed summarily and without notice, at the expense of the owner, agent, or person having the beneficial interest in the building or premises on which such sign is located, whenever they determine that such sign is an immediate peril to persons or property.

C. Abandonment.

1. Any sign, whether existing or installed after the effective date of this Code, that is associated with a use that is no longer active on the premises shall be removed or fully covered within **60 days**.
2. If a sign associated with a use that is no longer active on the premises is not removed or fully covered within 60 days, the sign shall be deemed abandoned. Upon such determination, written notice shall be provided to the owner, agent, or any party holding a beneficial interest in the building or premises on which the sign is located.
3. Removal of the sign shall be completed within 30 days after receipt of the notice from the **Planning Director**. If such sign is not removed after the conclusion of such 30-day period, the **Planning Director** is authorized to cause the sign to be removed per subsection **B.1** above.

1107.012. Signs Definitions

A. Permanent Building Signs.

1. **Awning Sign.** A roof-like cover, often of fabric, plastic, metal, or glass on a support, which projects above a doorway, walkway, window or similar.
2. **Blade Sign.** A sign that projects perpendicular from a building's supporting wall and does not swing or otherwise move via natural, manual, or automated methods.
3. **Bracket-Mounted Sign.** A sign affixed, attached, or secured to a wall or another structure through the use of a bracket or another type of supportive hardware and may swing or otherwise move via natural methods.
4. **Canopy Sign.** A sign that is mounted to a canopy that is otherwise permitted by the City.
5. **Wall Sign.** A sign attached to the wall of a building or structure in such a manner that the wall becomes the supporting structure for, or forms the background surface of, the sign and whose face is parallel to the façade of the building upon which it is attached.
6. **Window Sign (Permanent).** A sign that is applied or attached to the exterior or interior of a window or located within the interior of a structure so that its copy can be read from the exterior of the structure. Window film, decals, and clings which are more than fifty percent opaque and/or contain sign copy shall be considered a window sign. Permanent window signs are those that are affixed to the window or its frame in a manner intended to be long-lasting or fixed, such as etched glass or permanently adhered vinyl.

B. Permanent Ground Signs.

1. **Drive-Through Sign.** A sign appurtenant to a drive-through facility as defined herein.
2. **Monument Sign.** A detached sign mounted directly to the ground with a solid base and not supported by exposed posts or poles, where the sign has no more than two sides.
3. **Neighborhood Entry Sign.** A freestanding sign that is located at a vehicular entrance to a residential subdivision that is supported primarily by an internal structural framework or integrated into landscaping or other solid structural features other than support poles.
4. **On-Site Circulation Safety Sign.** A sign which conveys information to drivers, cyclists, and pedestrians that is pertinent to protect public safety, including but not limited to signs that identify one-way drive-aisles and access points, areas of low clearance, and the location of drive-through lanes.
5. **Post Sign, Permanent.** A freestanding sign affixed to the ground with one or no more than two wood stakes or poles with an arm from which the sign hangs.

C. Temporary Attached Signs.

1. **Athletic Field Fence Sign.** A sign located within and affixed to the fence of an athletic field or court used for sports programs.
2. **Construction Site Fence Sign.** A sign placed on a temporary construction fence during active construction, demolition, or excavation for the purpose of public safety or site identification, which should be removed upon completion of construction.
3. **Light Pole Banner Sign.** A sign made of cloth, fabric, or other lightweight material with only material for backing and designed for hanging from light poles or light posts.
4. **Wall Mounted Banner Sign.** A sign consisting of cloth, paper, plastic or other materials enclosed in a rigid frame attached and mounted to a building.
5. **Window Sign, Temporary.** A sign that is applied or attached to the exterior or interior of a window or located within the interior of a structure so that its copy can be read from the exterior of the structure. Window signs shall include window film, decals and clings which are more than 50 percent opaque and / or contain sign copy. Temporary window signs include items like open/closed signs, hours of operation signs, or electronic "open" signs, which are intended to be easily removed or changed.

D. Temporary Freestanding Signs.

1. **Ground-Mounted Banner Sign.** A sign consisting of cloth, paper, plastic or other materials enclosed in a rigid frame attached and secured to the ground.
2. **Post and Panel Sign.** A sign consisting of non-rigid, flexible, fabric like materials enclosed in a rigid frame attached and secured to the ground.
3. **Post Sign, Temporary.** A freestanding sign affixed to the ground with one or no more than two weather-resistant wood, aluminum, aluminum composite, or wrought iron stakes or poles with an arm from which the sign hangs.
4. **Sidewalk / A-Frame Sign.** A sign constructed in such a manner as to form an "A", "T", or a tent-like shape and not secured or attached to the ground.
5. **Yard Sign.** A freestanding, moveable sign on a wire or plastic frame, wood stake or similar support.

E. Additional Definitions.

1. **Permanent Sign.** A sign that is constructed of durable materials and permanently affixed to a building, structure, or the ground, such that its removal would require tools, excavation, or structural alteration.
 - a. **Permanent Building Sign.** A permanent sign that is attached to, painted on, or integrated into a building façade or architectural feature, and that relies on the building

for structural support, including wall signs, projecting signs, awning signs, canopy signs, and similar sign types.

- b. **Permanent Ground Sign.** A permanent sign that is supported by one or more structures embedded in or anchored to the ground and not attached to a building, including monument signs, pole signs, and similar freestanding sign types.
2. **Temporary Sign.** A sign that is not permanently affixed to a building, structure, or the ground and is designed to be installed, displayed, and removed without structural alteration.
 - a. **Temporary Attached Sign.** A temporary sign that is attached to a building, fence, wall, or other structure by non-permanent means, including tape, rope, zip ties, brackets, or similar fasteners, and that does not rely on permanent anchoring or structural support

Temporary Freestanding Sign. A temporary sign that is self-supported or supported by removable frames, stakes, or weighted bases, is not embedded in or permanently anchored to the ground, and is capable of removal without excavation or surface repair